

**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 2131 Wilmore Drive

**SUMMARY OF REQUEST:** Addition, tree removal, chimney removal

**APPLICANT:** Jason Murphy

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure is a one story cottage ranch style duplex constructed in 1940. The surrounding context is a similar variety of 1 and 1.5 story homes.

#### *Proposal*

The proposal is a conversion to a single family house including an addition of columns and roof over the front porch, new windows, removal of a tree in the front yard and removal of chimneys. Other improvements are a new driveway, sidewalk and a new tree planted further from the house in the front yard. Porch columns are brick with wood posts. Trim materials and windows are wood.

### **Policy & Design Guidelines - Additions**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.

4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

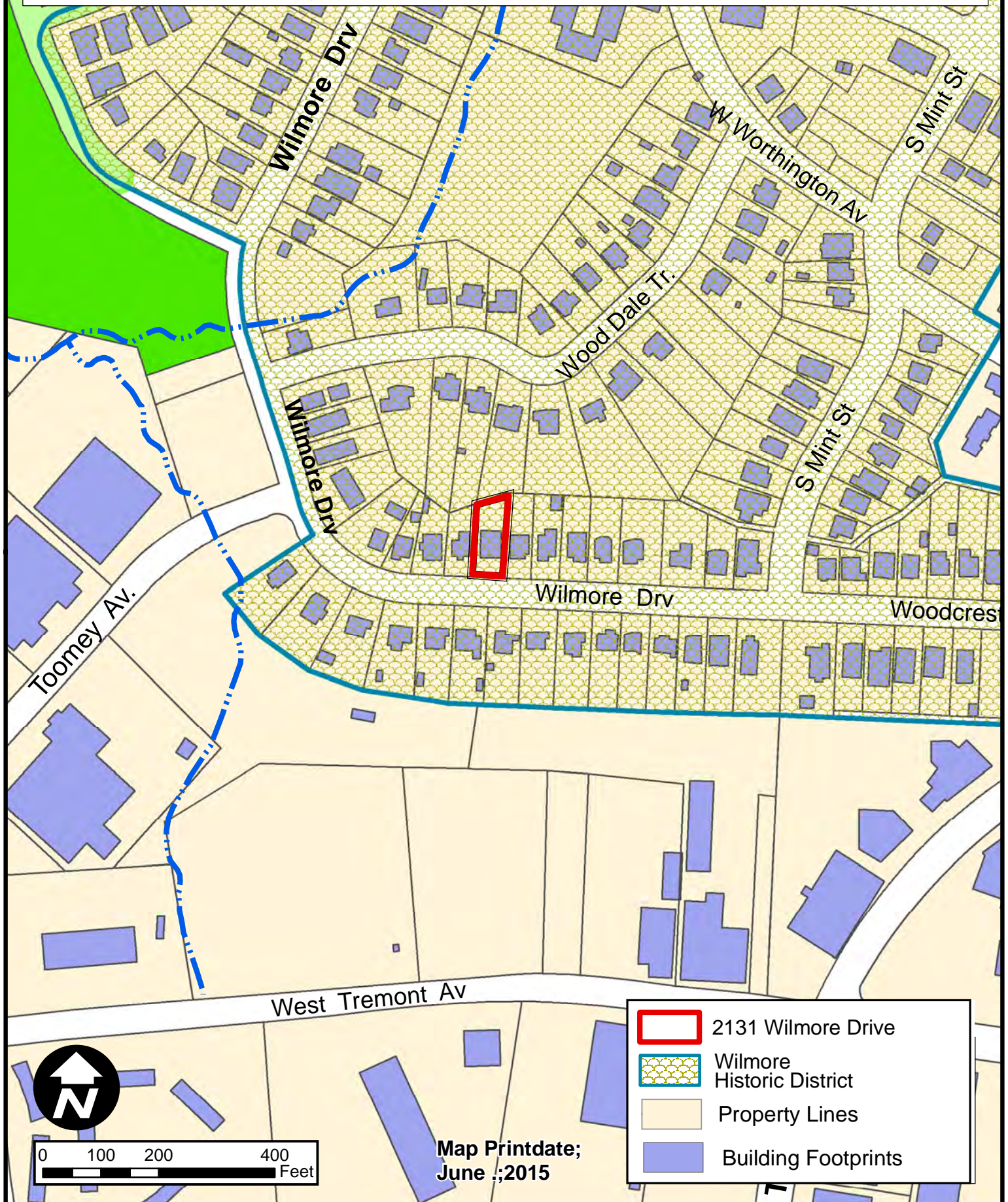
**Staff Analysis**

The Commission will determine if the proposal meets the guidelines for additions.



# Charlotte Historic District Commission - Case 2015-105

## Historic District; Wilmore











2131

A

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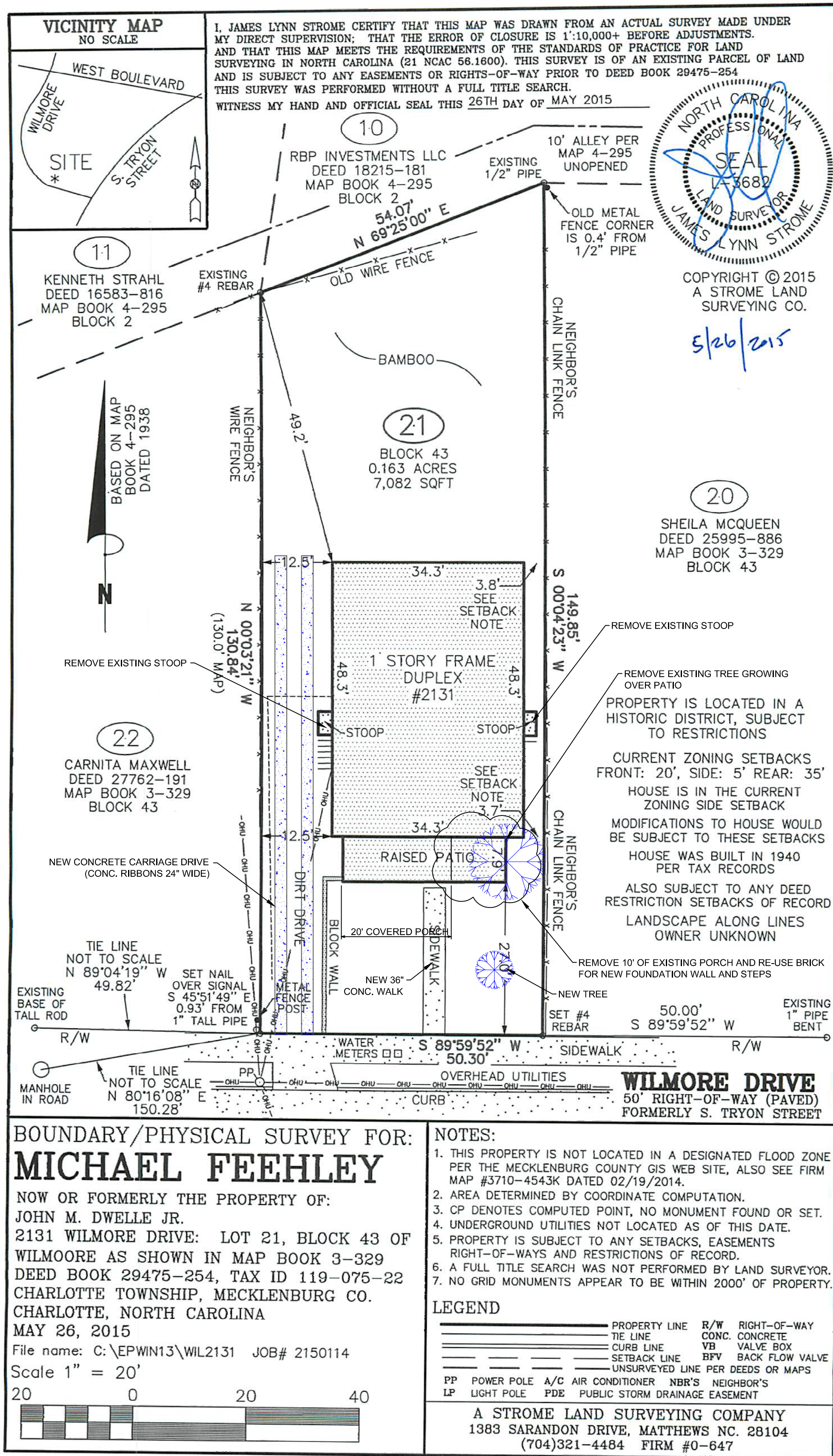


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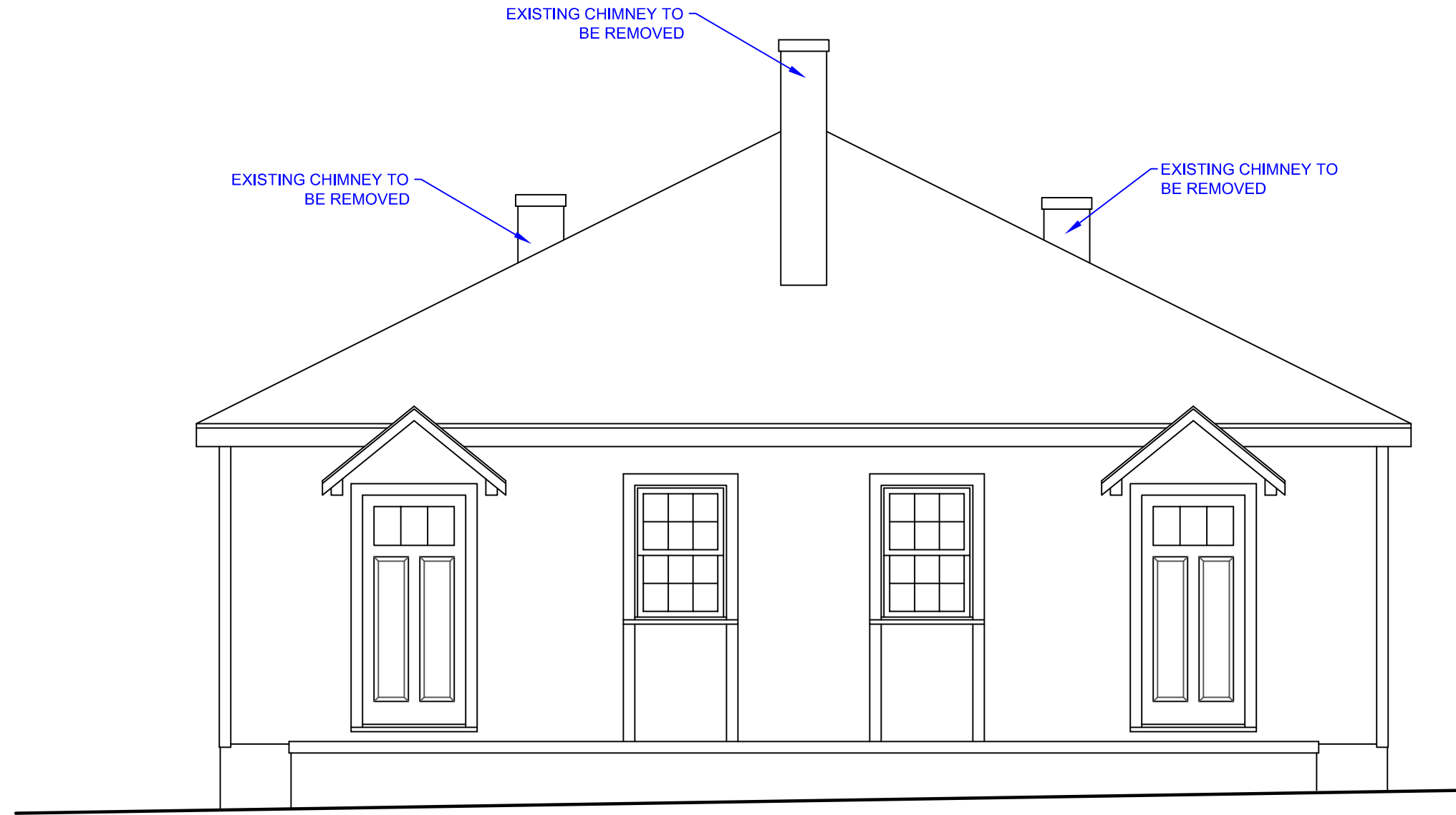
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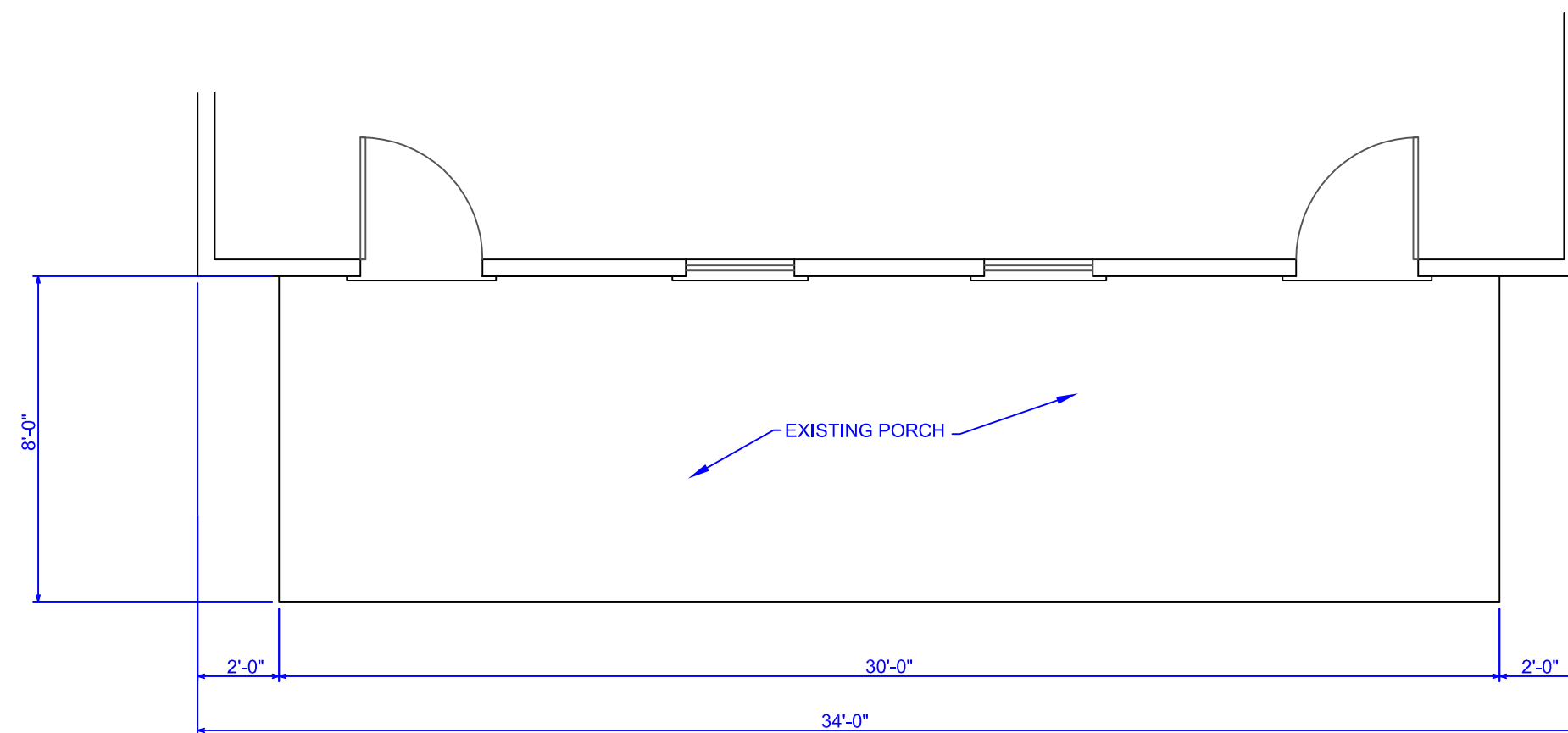








EXISTING FRONT ELEVATION  $\frac{1}{4}'' = 1'-0''$

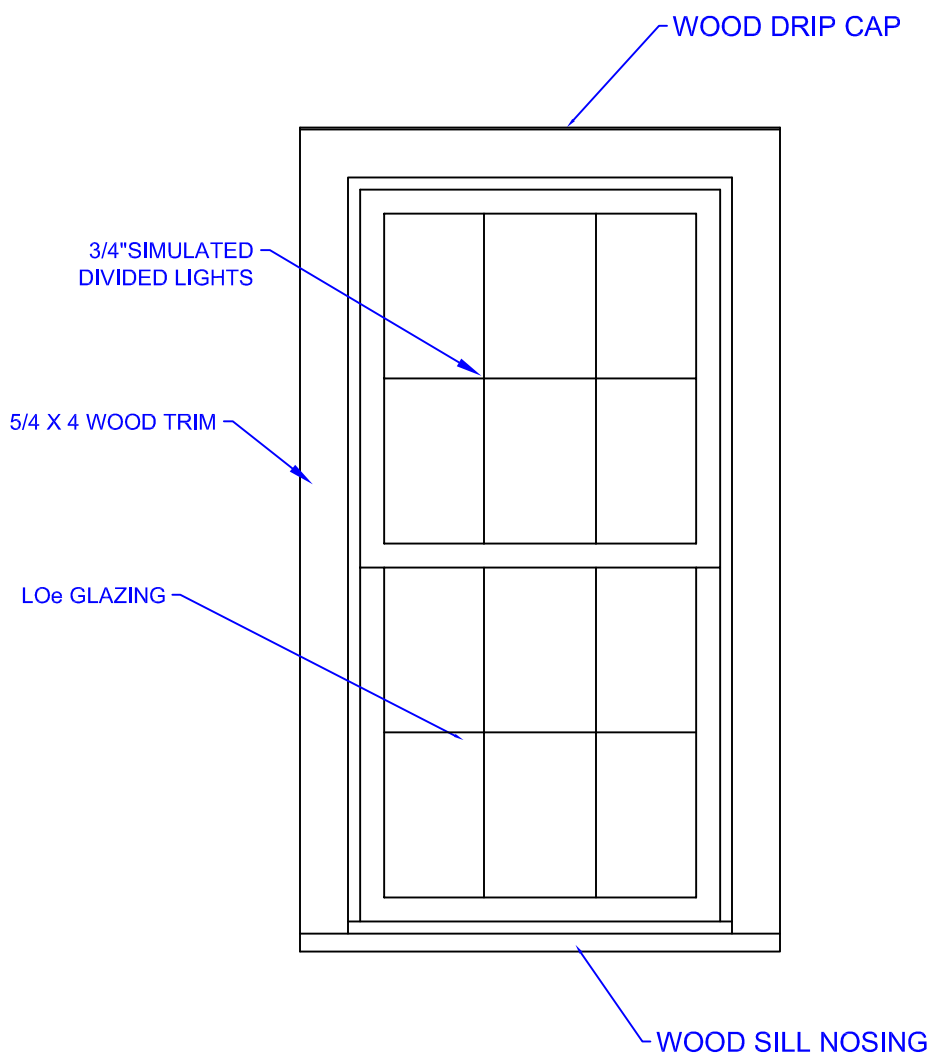


EXISTING FLOOR PLAN  $\frac{1}{4}'' = 1'-0''$

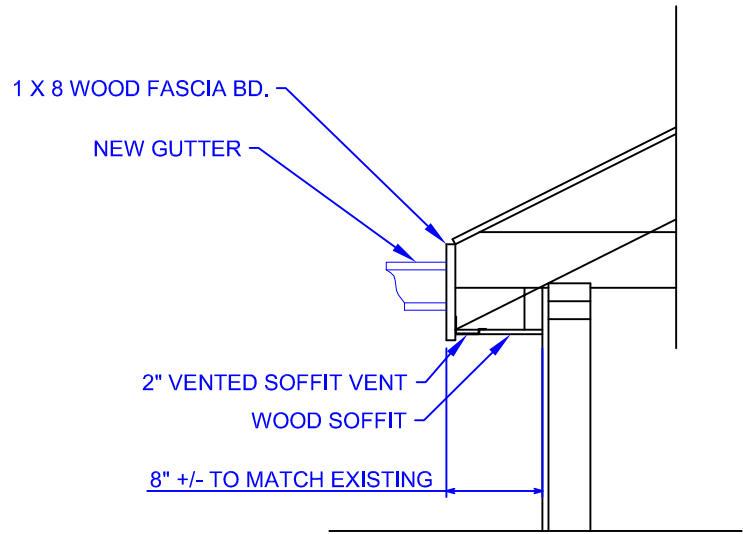




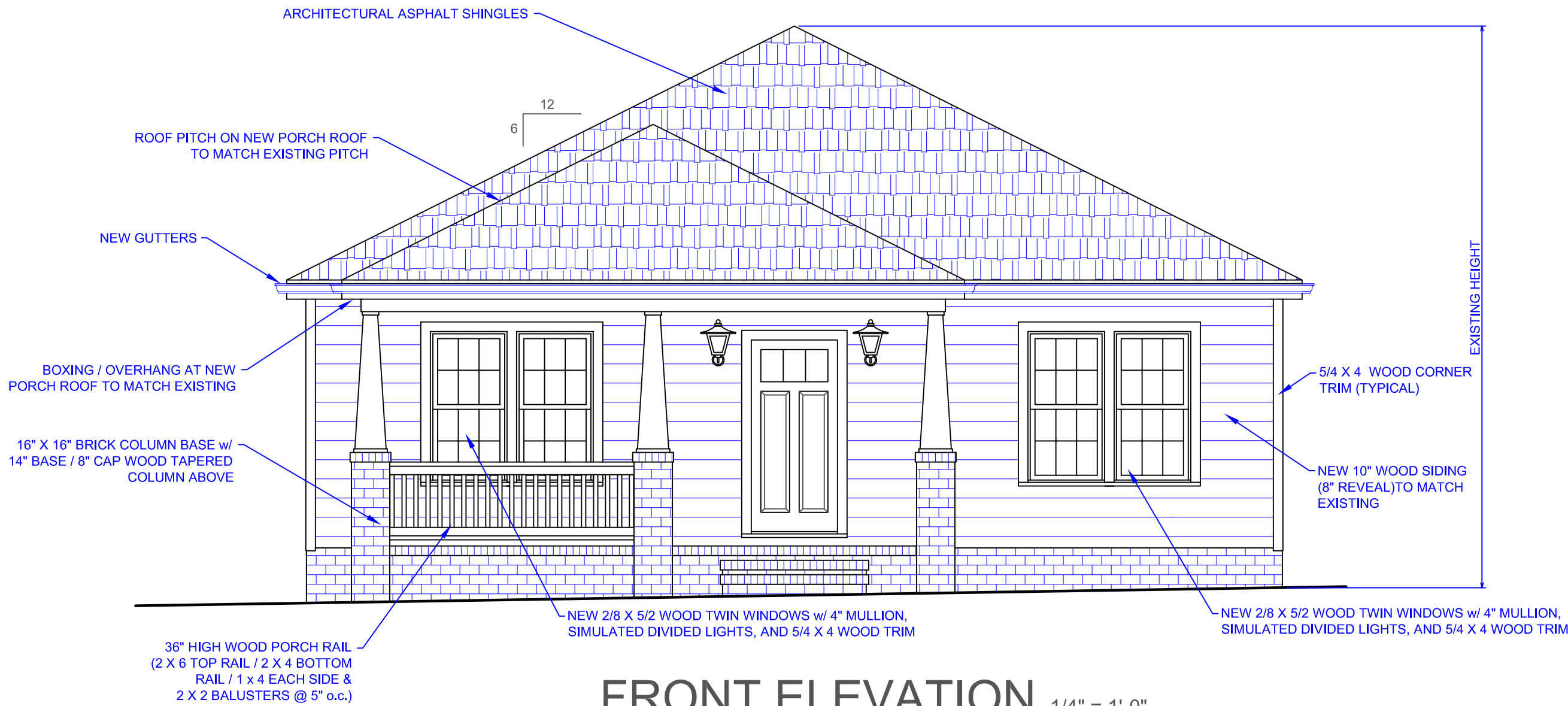
OF 5



TYPICAL WINDOW TRIM

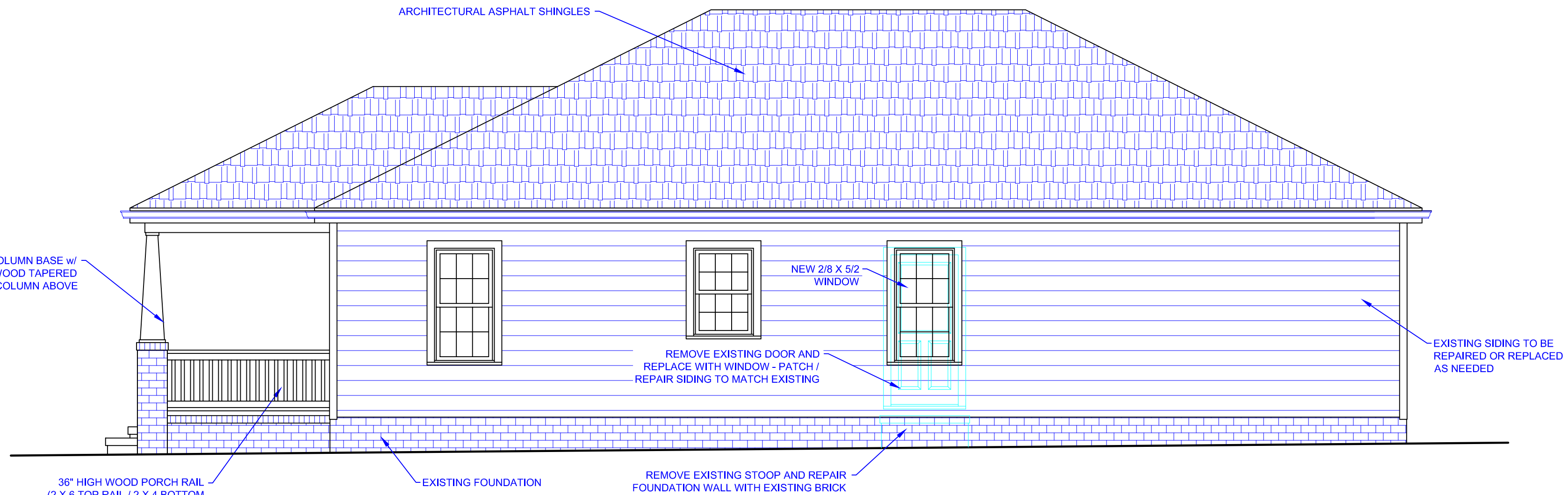


NEW SOFFIT DETAIL

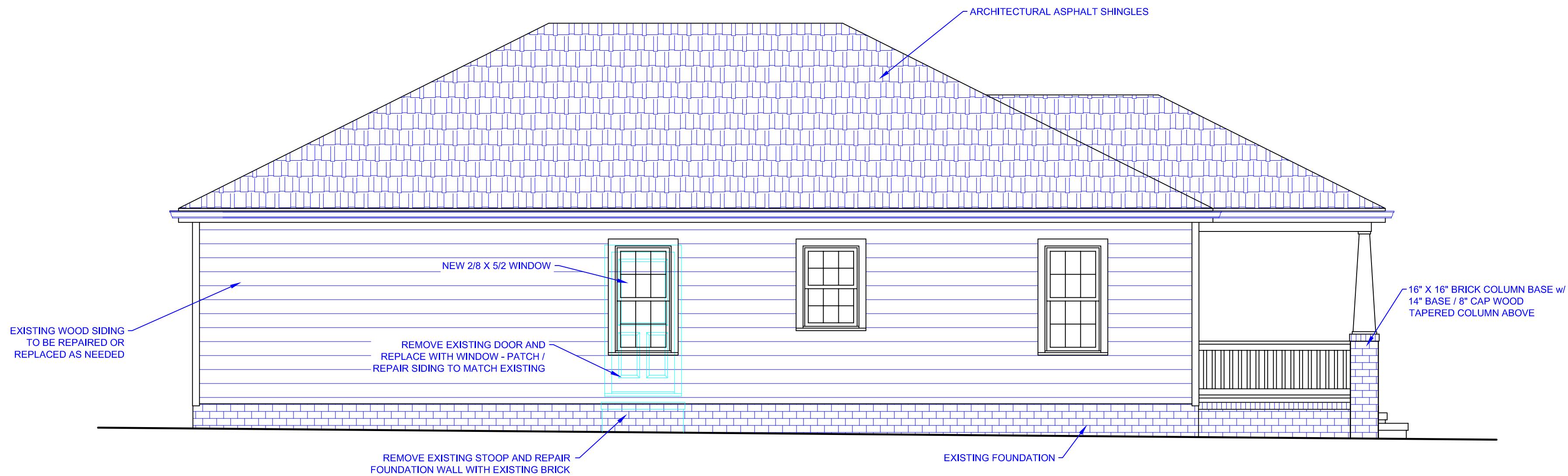


FRONT ELEVATION 1/4" = 1'-0"





RIGHT SIDE ELEVATION  $\frac{1}{4}'' = 1'-0''$



LEFT SIDE ELEVATION  $\frac{1}{4}'' = 1'-0''$