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**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1926 The Plaza and 2010 The Plaza

**SUMMARY OF REQUEST:** Demolition and New Construction

**APPLICANT:** Billy Maddalon

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The application was continued from May for the following items: 1) Traditional building materials, 2) Setback of building #1, 3) Garage orientation on buildings 11-13, 5) Setback and façade design of building 19, 6) No corner boards on cedar siding.

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure at 1926 The Plaza is a one story single family home constructed in 1935. Exterior features include two small hipped dormers and a small covered porch on the front. The property at 2010 The Plaza is the Van Landingham Estate, a local historic landmark. The four acre property has two accessory buildings with fairly dense landscaping.

#### *Proposal*

The proposal is a two part request.

1. Demolition of the structure at 1926 The Plaza.
2. New construction of 19 townhomes, a pool, pool house and other site features.
  - a) Ten units are accessed from The Plaza and face the main house. Six units are accessed from Belvedere Avenue and three units face the main house with access from Thurmond Place.
  - b) Maximum roof peak is approximately 33'-8".
  - c) Proposed material palette is wood, Hardie board siding, synthetic wood (trim), brick, stone and copper (porch roof and gutters).
  - d) Roof details include exposed rafter ends and synthetic wood trim.
  - e) The pool and pool house are accessed from Belvedere Avenue and The Plaza.
  - f) Other site features include landscaping, tree planting, a fence and new driveways and walkways.

#### *Revised Proposal – May 13, 2015*

1. Site plan includes a landscaping plan with the revised pool location along The Plaza in the front and side yard.
2. Setbacks (measured from back of curb) along The Plaza is approximately 39', 32' to 33' along Belvedere Avenue and approximately 28' +/- along Thurmond Place.
3. Mechanical units are located internally to the private lots and screened (site plan note).
4. Pool house is a one story structure, traditional materials.
5. Pool deck is decorative concrete or stone. Fencing is decorative aluminum style.
6. Townhouse elevations have been revised, roof pitch changed to 6:12 and height lowered 3'-4'.
7. Window details have been revised.
8. Minor changes to fenestration patterns and roof design.
9. Siding materials are brick, stone and wood. Gable material is 'Hardie-panel'.

*Revised Proposal –June 10, 2015*

1. Primary siding is wood lap with corner boards.
2. The setback along The Plaza increased from approximately 39' to 61'.
3. The corner elevation on Belvedere Avenue has additional fenestration and extended porch (sheet D3).
4. Building 12 on Thurmond Avenue – Sheet C1 shows a one car garage. The other units have two car garages.

**Policy & Design Guidelines for Demolition**

The Commission will make a determination as to whether or not this house is determined to be contributing to the Dilworth Local Historic. With affirmative determination, the Commission can apply up to 365 Day Stay of Demolition. Or if the Commission determines that this property is no longer contributing, then demolition may take place without a delay.

1. No building or structure located within a Local Historic District can be demolished without a Certificate of Appropriateness.
2. The Historic District Commission will evaluate demolition applications to determine if the structure in question contributes to the character of the Local Historic District. If
3. The HDC finds that the structure does not contribute to the character of the district or is unsalvageable, immediate approval of the demolition request may be granted.
4. Should the Historic District Commission find that the structure does contribute to the character of the historic district, the HDC can delay the issuance of a Certificate of Appropriateness authorizing demolition for a period not to exceed 365 days, in order to work with the owner to seek alternatives to demolition.
5. When an application for demolition receives a 365-day delay, any consideration of applications for proposed new construction on the same site will be deferred for 90 days.
6. When an application for demolition receives a 365-day delay, the Historic District Commission Staff will seek an alternative to demolition and will contact, within one month of the delay vote, the property owner who has applied for demolition, Historic Charlotte, Inc., and Preservation North Carolina to inform them of the threatened status of the building.
7. A permanent injunction against demolition can be invoked only in cases where a building or structure is certified by the State Historic Preservation Officer as being of statewide significance.
8. Applications for the demolition of dilapidated accessory structures may be eligible for administrative approval. All other demolition applications will be reviewed by the full Commission.

9. The maximum delay period for the issuance of a Certificate of Appropriateness authorizing demolition shall be reduced by the HDC where the Commission finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use or return from the property by virtue of the delay.

### **Policy & Design Guidelines for New Construction**

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
<b>1. Size</b>	<i>the relationship of the project to its site</i>
<b>2. Scale</b>	<i>the relationship of the building to those around it</i>
<b>3. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>4. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>5. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>6. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>7. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>8. Context</b>	<i>the overall relationship of the project to its surroundings</i>
<b>9. Landscaping</b>	<i>as a tool to soften and blend the project with the district</i>

### **Policy & Design Guidelines – Accessory Buildings (Other Accessory Buildings), page 53**

1. Accessory buildings cannot be located in front or side yards.
2. Accessory buildings that are visible from the street must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for accessory buildings must be inspired by the main building they serve. Building details must be derived from the main structure.
4. Accessory buildings and their placement must be of a proper scale in relation to the main structure on a lot, and to structures on surrounding properties.
5. Prefabricated accessory buildings can be used only in locations where they will not be substantially visible from any street or when they are judged to be appropriate to the site.
6. The HDC will give special consideration to the installation of accessory buildings in non-residential uses.

7. Doors of accessory buildings that are substantially visible front any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

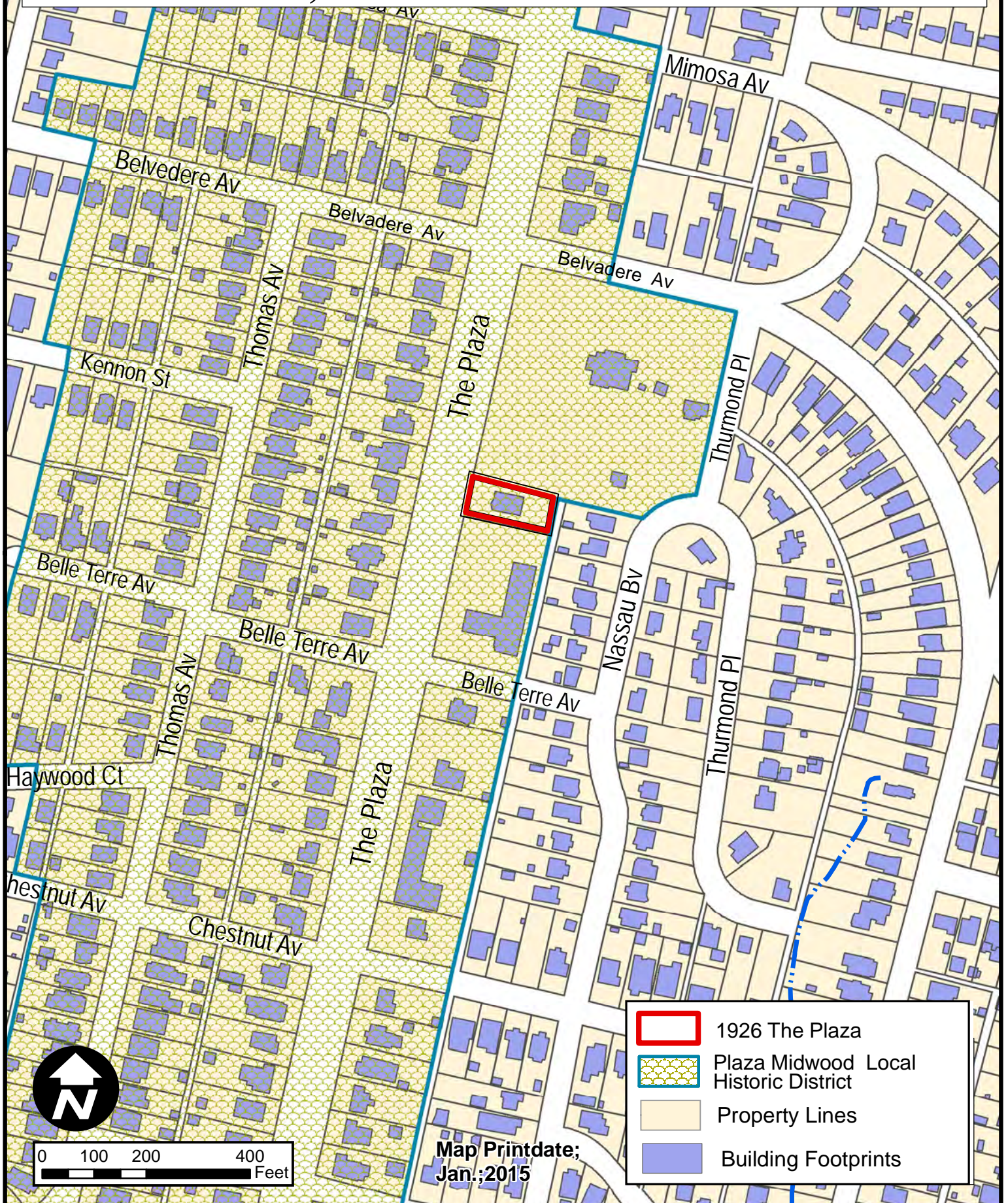
**Staff Analysis**

1. The Commission will determine if the 365-Day Stay of Demolition should be applied.
2. The Commission will determine if the proposal meets the guidelines for new construction.



# Charlotte Historic District Commission - Case 2015-007

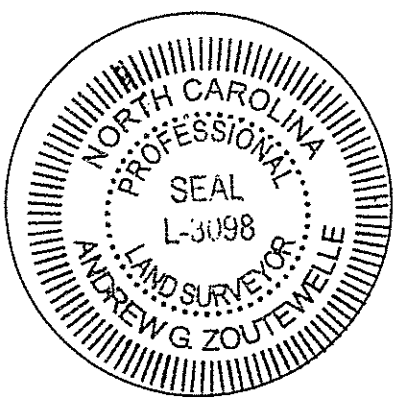
## Historic District; Plaza-Midwood



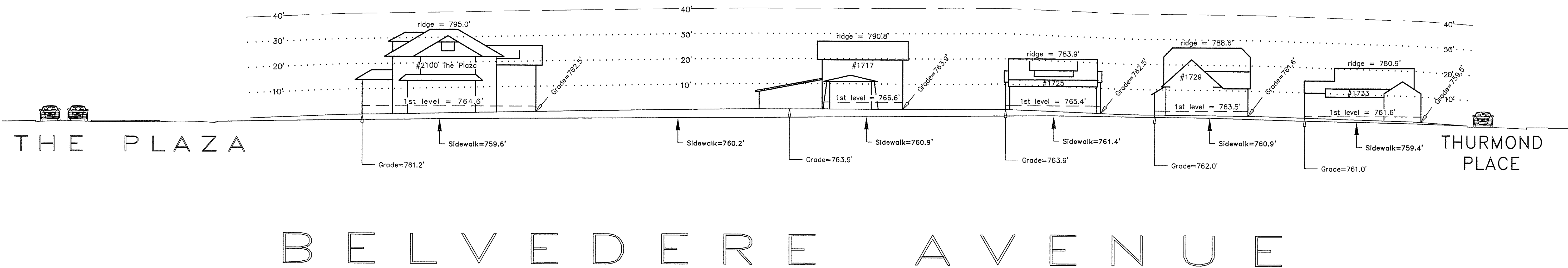


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 14<sup>th</sup> day of January, 2015.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



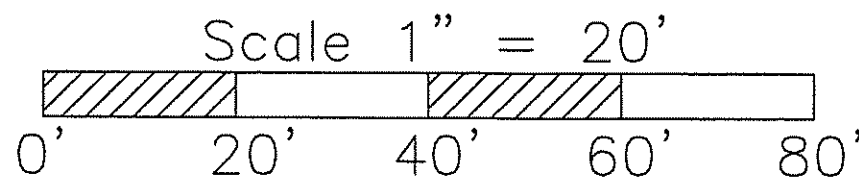
A.G. ZOUTEWELLE  
SURVEYORS

1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

General Notes:

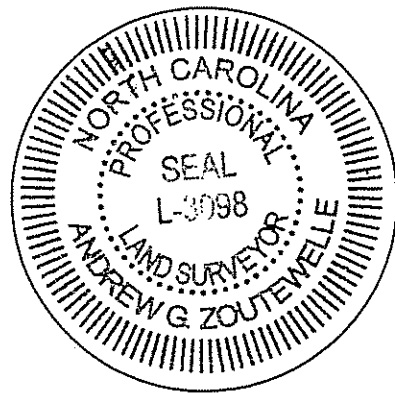
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

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Building Heights Sketch of  
1700 BLOCK of BELVEDERE AVENUE  
FACING NORTH  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
January 13, 2015

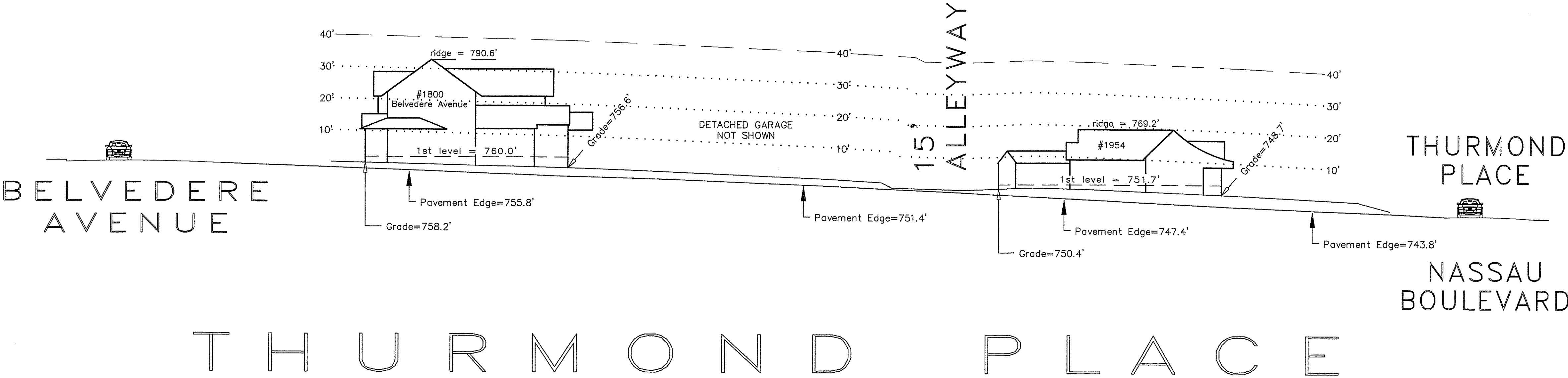


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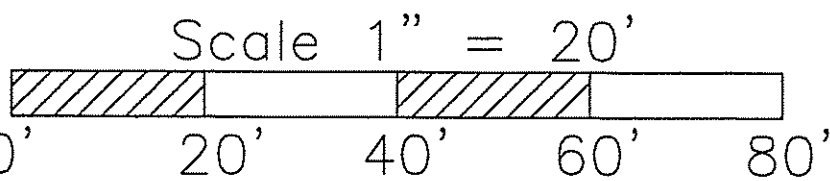


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Building Heights Sketch of  
2000 BLOCK of THURMOND PLACE  
FACING EAST

CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
January 13, 2015



General Notes:  
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1717 BELVEDER AVE.



1725 BELVEDER AVE.



1729 BELVEDER AVE.



1733 BELVEDER AVE.



1801 BELVEDER AVE.



1900 BELVEDER AVE.



1901 THE PLAZA



1909 THE PLAZA



1913 THE PLAZA



1919 THE PLAZA



1925 NASSAU BLVD



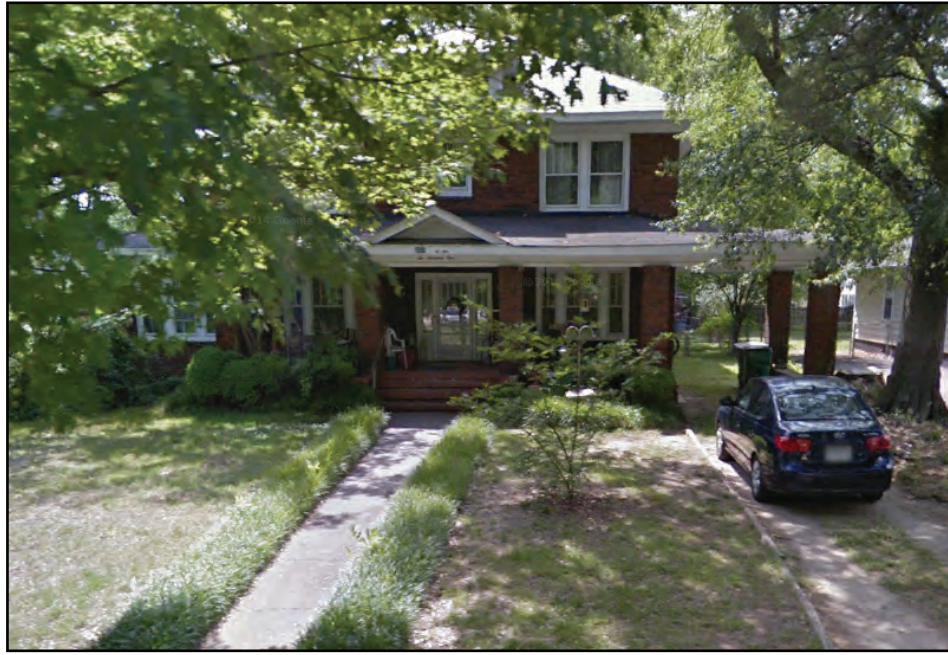
1927 NASSAUBLVD



1945 THURMOND PL.



1954 THURMOND PL.



2001 THE PLAZA



2009 THE PLAZA



2015 THE PLAZA



2021 THE PLAZA



2027 THE PLAZA



2031 THE PLAZA



2037 THE PLAZA



2100 THE PLAZA



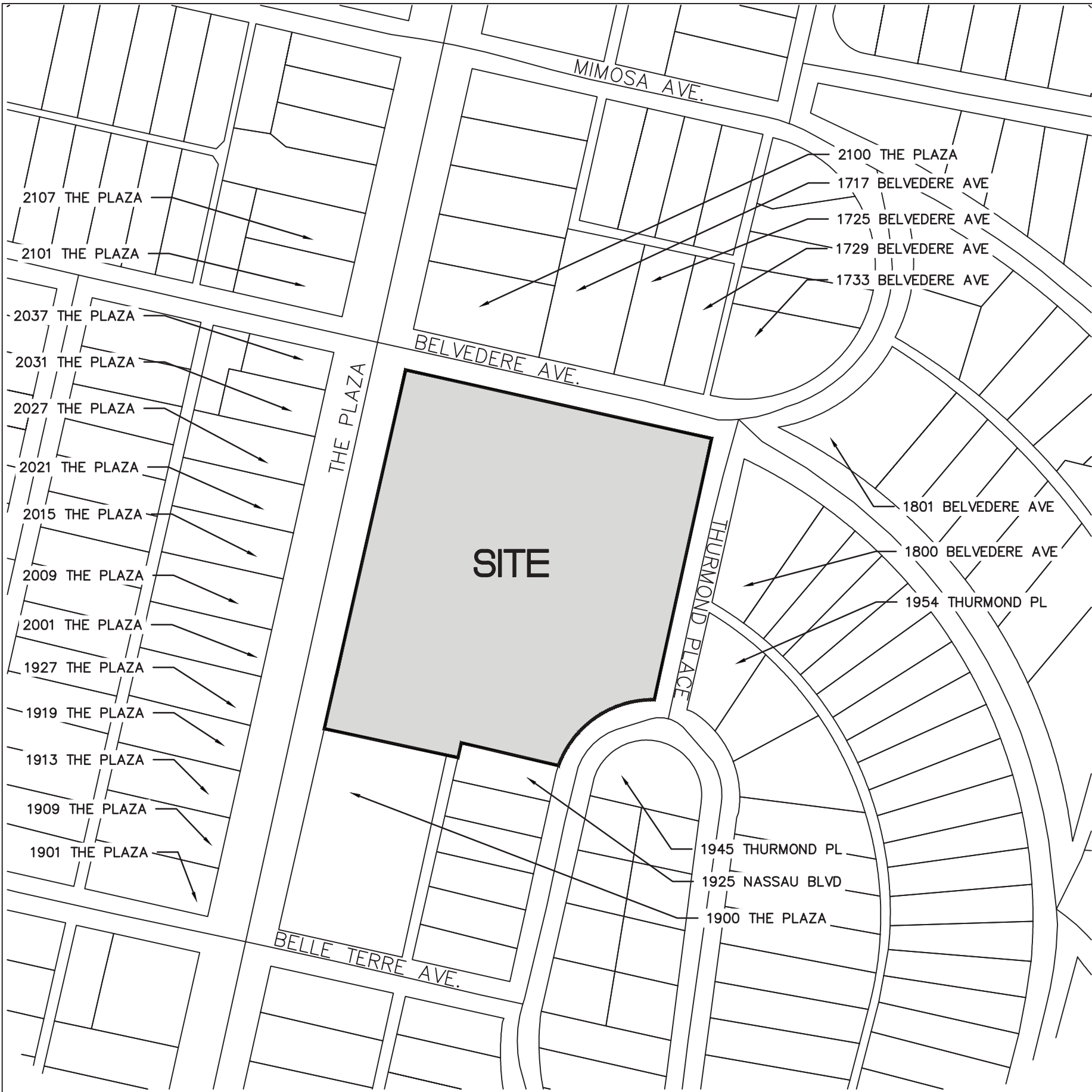
2101 THE PLAZA



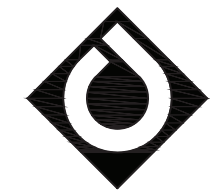
2107 THE PLAZA



## SITE CONTEXT



## ADJOINING PROPERTIES



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**BILLY  
MADDALON**  
2010 The Plaza  
Charlotte  
North Carolina 28205

**VANLANDINGHAM  
ESTATE**

2010 The Plaza  
Charlotte  
North Carolina 28205

## SITE CONTEXT & PHOTOGRAPHS

Project No.  
**4344.00**

Issued  
01/21/15 - HISTORIC LANDMARKS COMMISSION

Revised

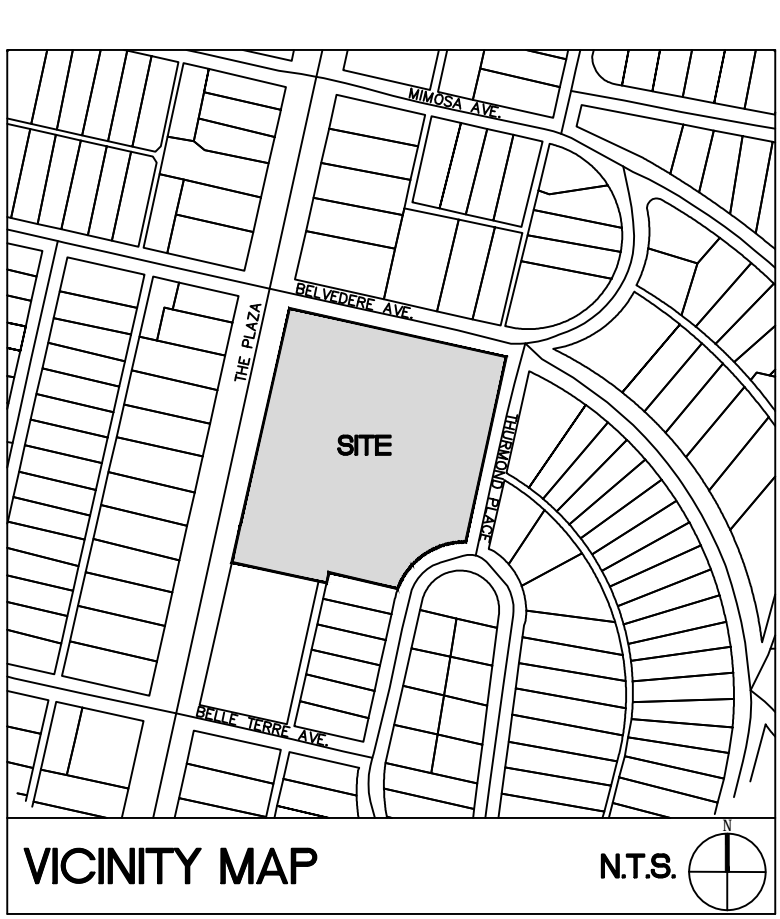
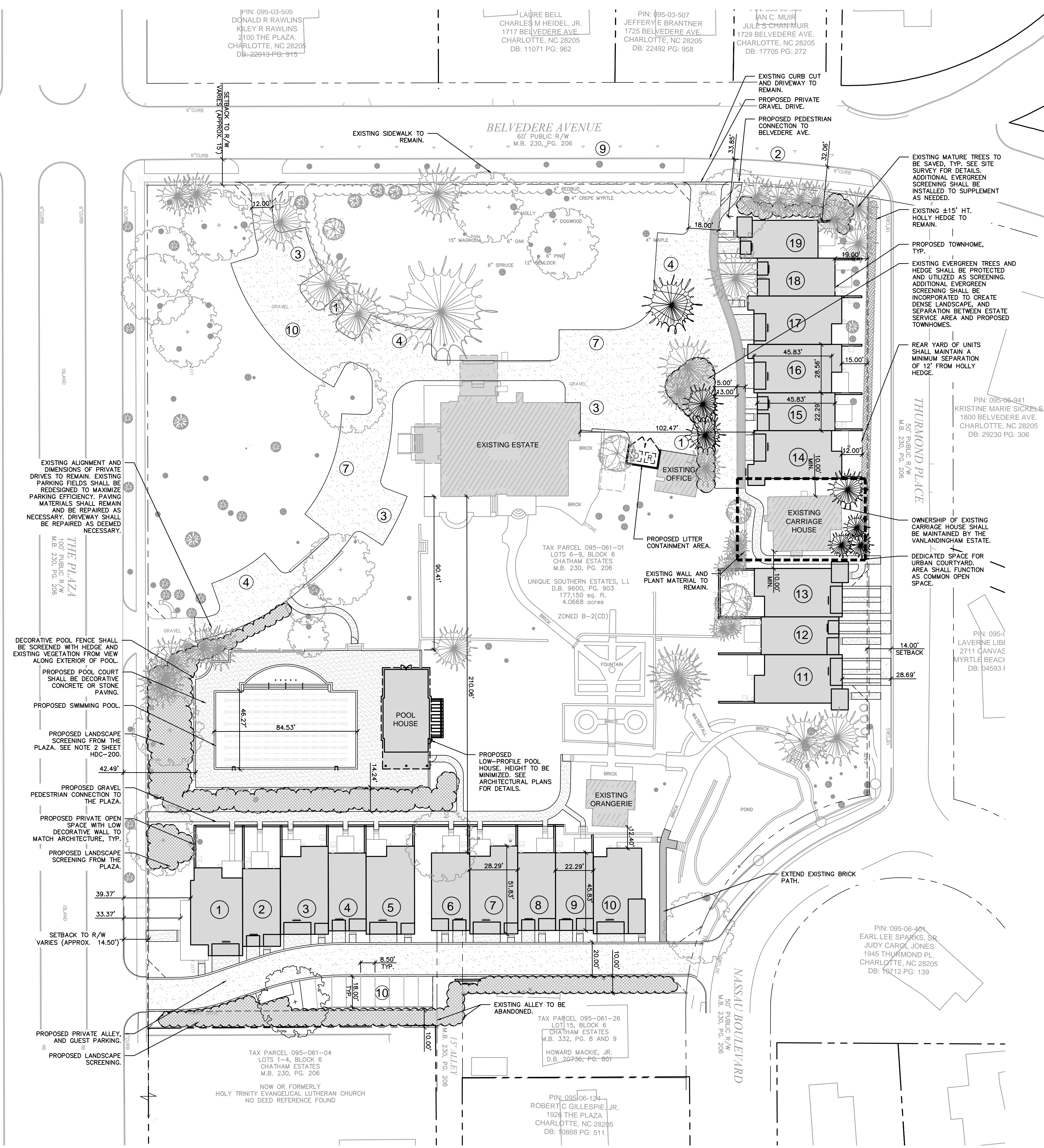


**HDC-100**

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SYMBOL	
	PROPOSED GRAVEL SURFACE
	PROPOSED BUILDING ENVELOPE
	EXISTING BUILDING ENVELOPE
	PROPOSED POOL COURT
	EXISTING TREE
	SIGNIFICANT EXISTING TREE TO BE PROTECTED WITHIN PROJECT AREA
	SIGNIFICANT PROPOSED TREE WITHIN PROJECT AREA
	PROPOSED LANDSCAPE SCREENING

SEE SHEET HDC-100 FOR ADJACENT PROPERTY CONTEXT

SEE SHEET HDC-300 FOR CONTEXTUAL SETBACKS & BUILDING HEIGHT EXHIBIT

SEE SHEET HDC-300 FOR TREE REMOVAL EXHIBIT

DEVELOPMENT SUMMARY	
PETITIONER:	BILLY MADDALON 2010 THE PLAZA CHARLOTTE, NC 28205
PROPERTY OWNER:	BILLY MADDALON 2010 THE PLAZA CHARLOTTE, NC 28205
TOTAL SITE AREA:	TOTAL: 4.521 AC
TAX PARCEL #:	095-06-101A 095-06-101B 095-06-102 095-06-126
EXISTING USE:	HOTEL/ SINGLE FAMILY DETACHED
PROPOSED USE:	HOTEL/ SINGLE FAMILY ATTACHED
NUMBER OF UNITS:	19 NEW SINGLE FAMILY ATTACHED UNITS. 1 EXISTING HOTEL/ EVENT FACILITY
MINIMUM SETBACK:	EXISTING RIGHT-OF-WAY OR 14' FROM BACK OF CURB, WHICHEVER IS GREATER.
CLOSEST RESIDENTIAL STRUCTURE TO:	BELVEDERE AVE: 32.06' LF THURMOND PL: 28.69' LF THE PLAZA: 39.37' LF (TO FIRE WALL)
LOT COVERAGE:	41.4% (THIS CALCULATION INCLUDES EXISTING AND PROPOSED BUILD UPON AREA)
TOTAL TREES REMOVED:	55 TREE GREATER THAN 6" DBH (SEE NOTE 3 SHEET HDC-200)

## HDC NOTES

- THE PETITIONER SHALL REPLANT A MINIMUM OF 30% OF THE TOTAL TREE DENSITY BEING REMOVED DUE TO CONSTRUCTION ACTIVITY ON SITE.
- LANDSCAPE SCREENING TO BE PROVIDED ON SITE SHALL COMPLEMENT EXISTING VEGETATION. LANDSCAPE SCREENING SHALL INCLUDE, BUT IS NOT LIMITED TO: HEMLOCK, YEW, AMERICAN BOXWOOD, TEA OLIVE, RHODODENDRON, AZALEA, AMERICAN HOLLY, INKBERY HOLLY, YAUPON HOLLY, DWARF YAUPON HOLLY, MAGNOLIA, CRYPTOMERIA, PODOCARPUS & ARBORVITAE.
- ALL BACKFLOW PREVENTORS SHALL BE SCREENED FROM THE RIGHT-OF-WAY. FINAL LOCATIONS TO BE DETERMINED DURING CONSTRUCTION DOCUMENTS PHASE, IN COORDINATION WITH CHARLOTTE WATER.
- ALL MECHANICAL UNITS SHALL BE LOCATED INTERNALLY TO THE PRIVATE LOTS, AND SCREENED FROM VIEW WITH EITHER A DECORATIVE WALL OR VEGETATION.
- ALL TRASH PICK-UP SHALL BE PROVIDED THROUGH A PRIVATE ROLLOUT SERVICE. LITTER AND RECYCLING RECEPTACLES SHALL BE STORED INTERNAL TO THE UNIT.



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## DIMENSIONAL SITE PLAN

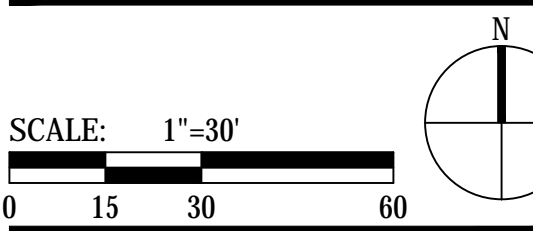
Project No.  
4344.00

Issued  
01/21/15 - HISTORIC LANDMARKS COMMISSION

Revised  
05/04/15 - HDC COMMENTS



MAY 22 2015

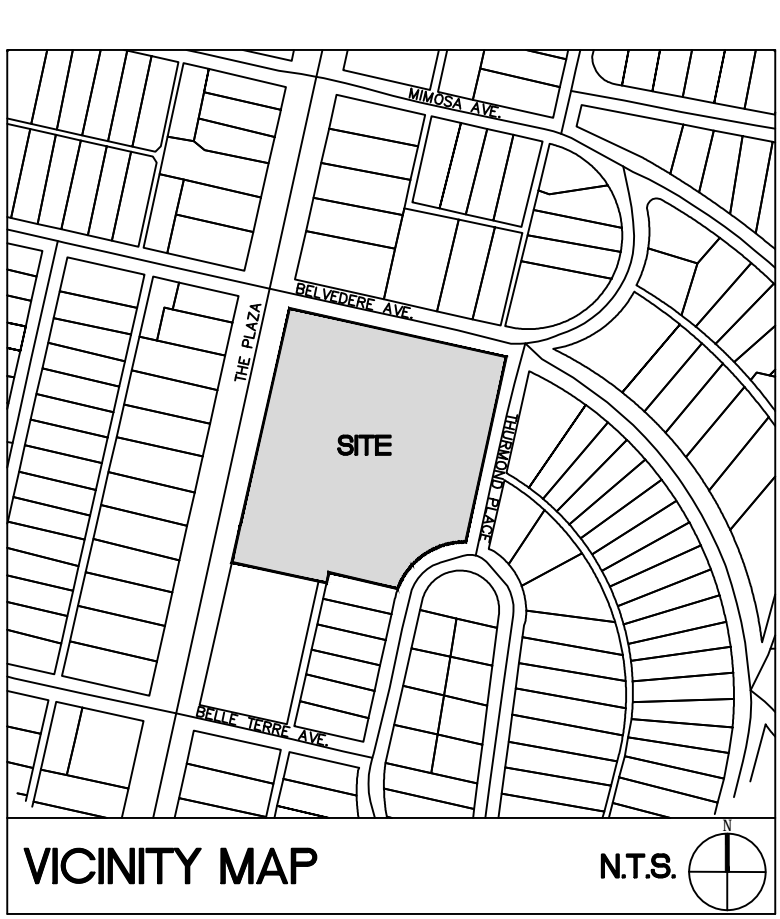
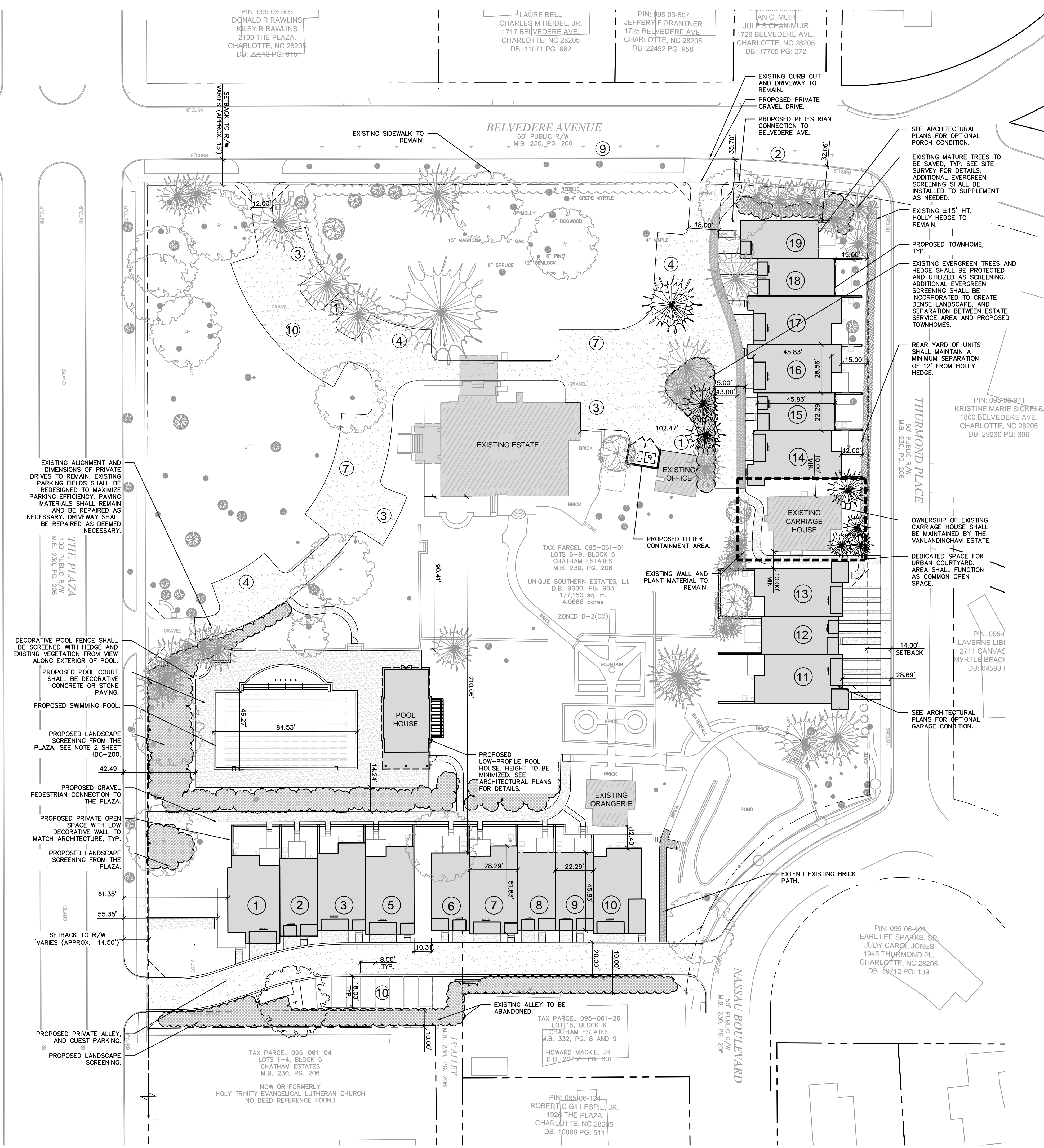


**HDC-200**

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	SIGNIFICANT PROPOSED TREE WITHIN PROJECT AREA
	PROPOSED LANDSCAPE SCREENING

SEE SHEET HDC-100 FOR ADJACENT PROPERTY CONTEXT

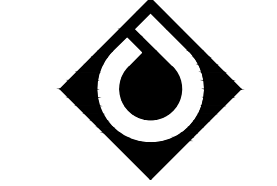
SEE SHEET HDC-300 FOR CONTEXTUAL SETBACKS & BUILDING HEIGHT EXHIBIT

SEE SHEET HDC-300 FOR TREE REMOVAL EXHIBIT

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**DIMENSIONAL  
SITE PLAN**

Project No.  
4344.00

Issued  
06/01/15 - HISTORIC DISTRICT COMMISSION

Revised

- 05/04/15 - HDC COMMENTS
- 06/01/15 - HLC COMMENTS



june 2015

SCALE: 1"=30'

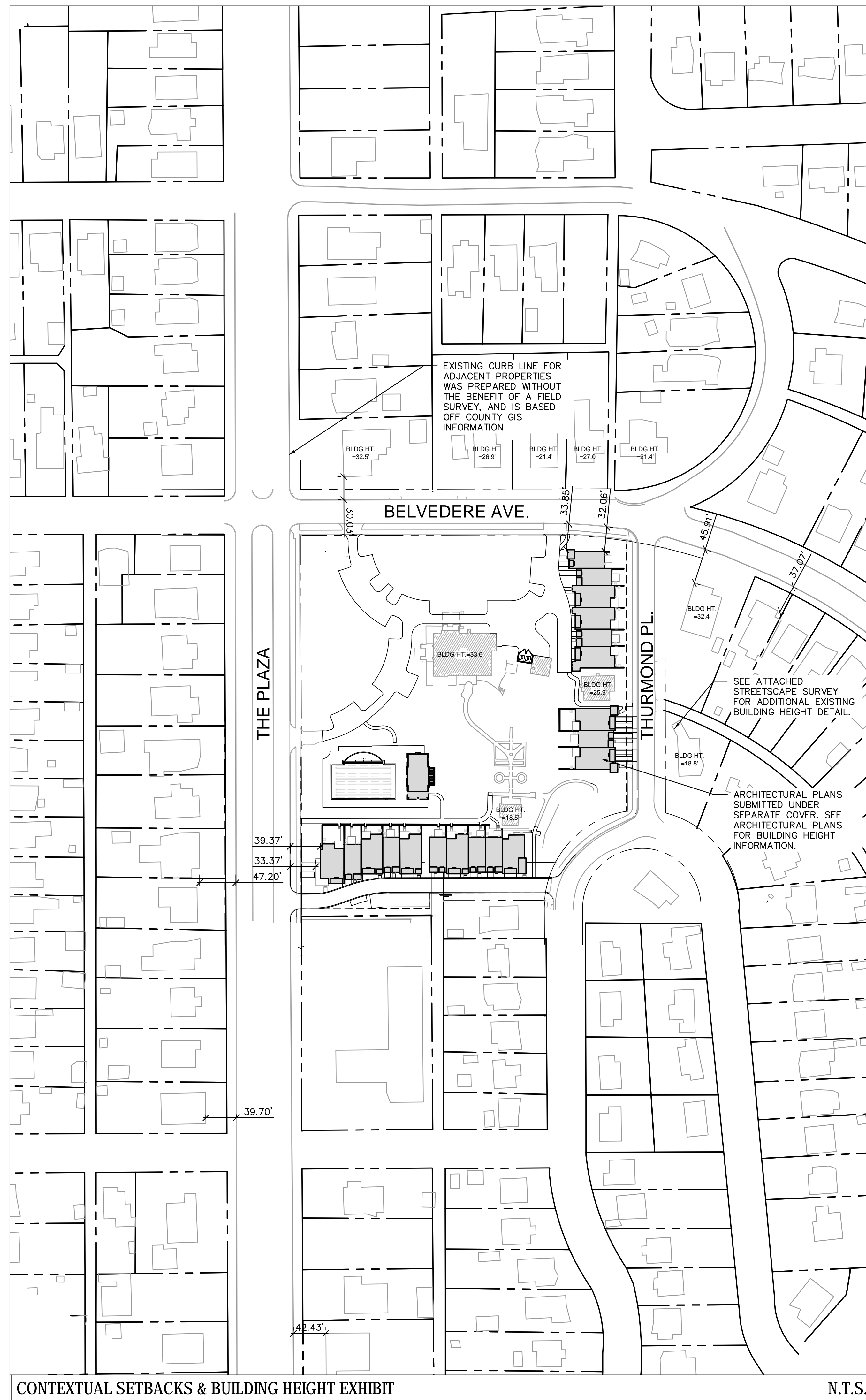
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**HDC-200**


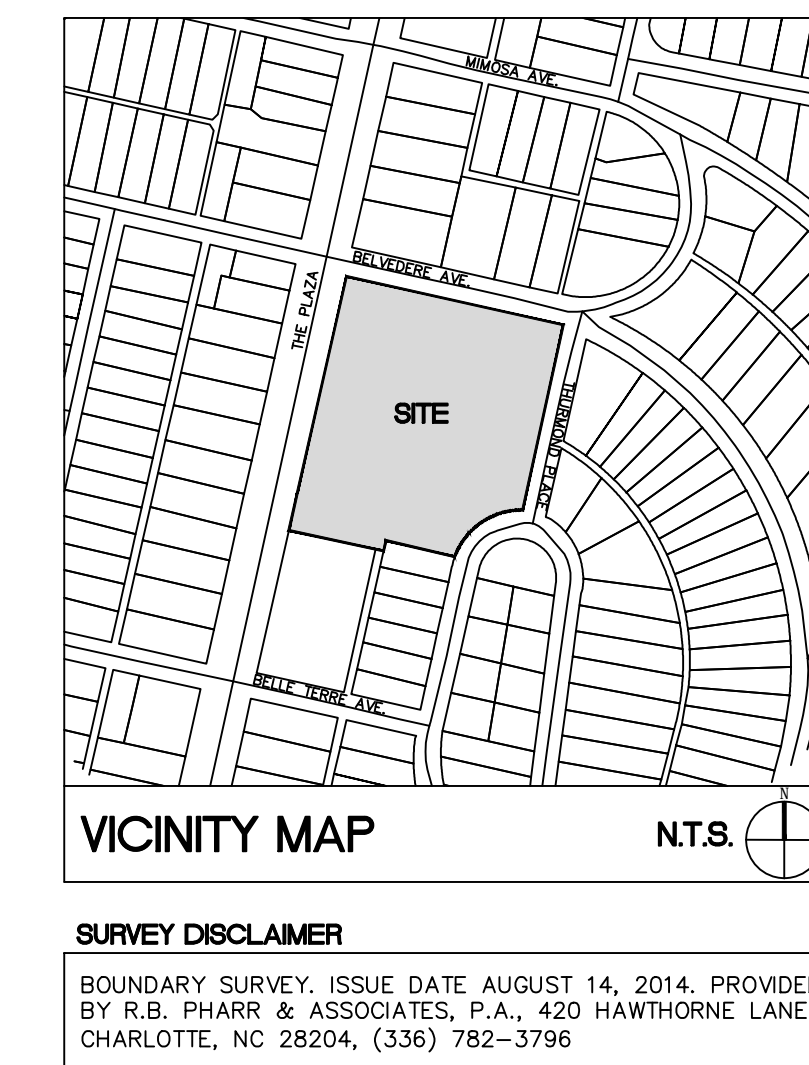
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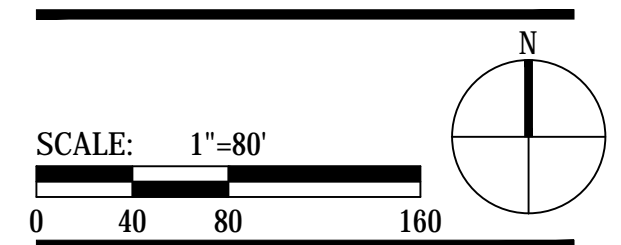
2010 The Plaza  
Charlotte  
North Carolina 28205

# SETBACK EXHIBIT

Project No.  
4344.00

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01/21/15 - HISTORIC LANDMARKS COMMISSION

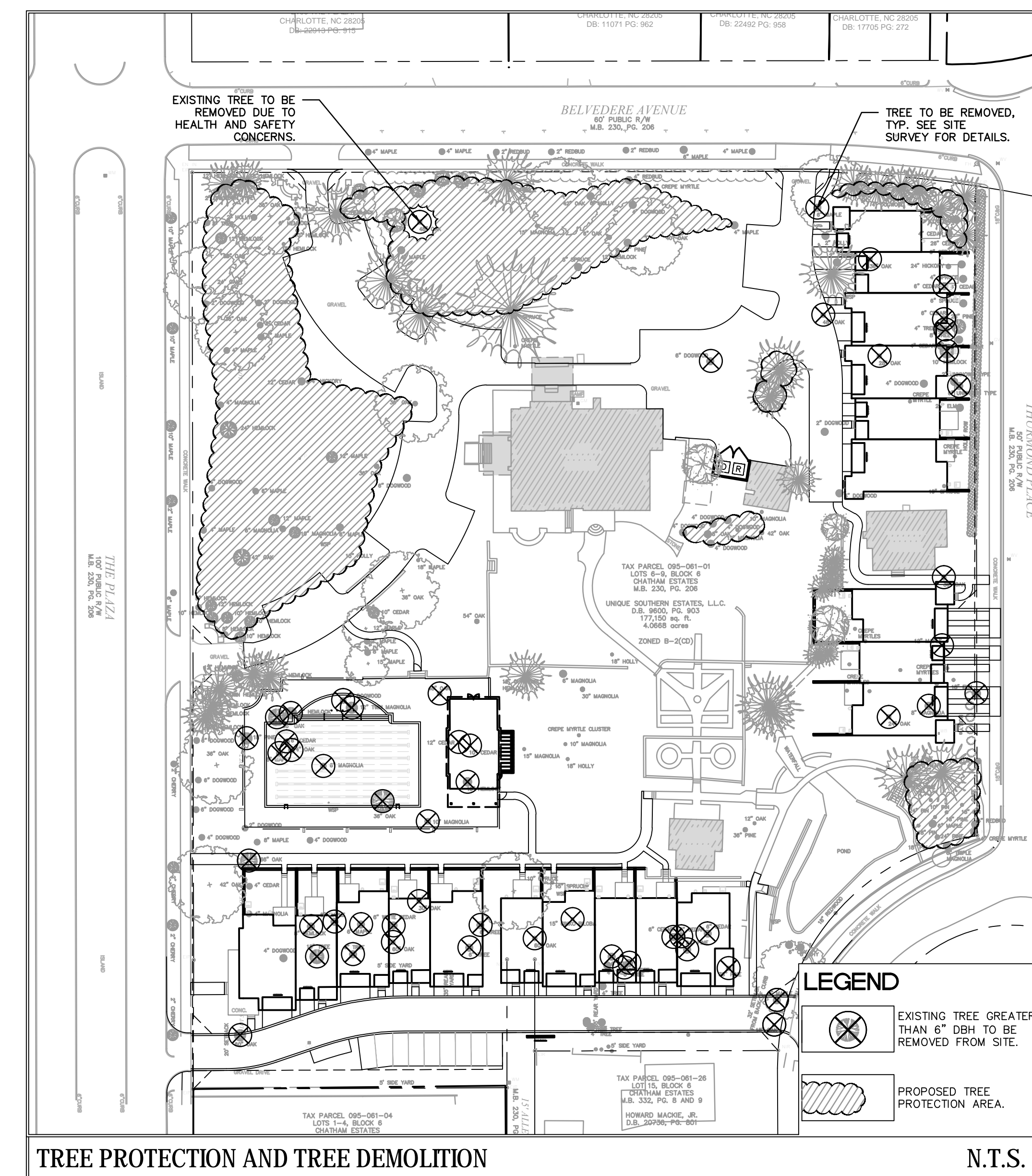
Revised  
 1 05/04/15 - HDC COMMENTS



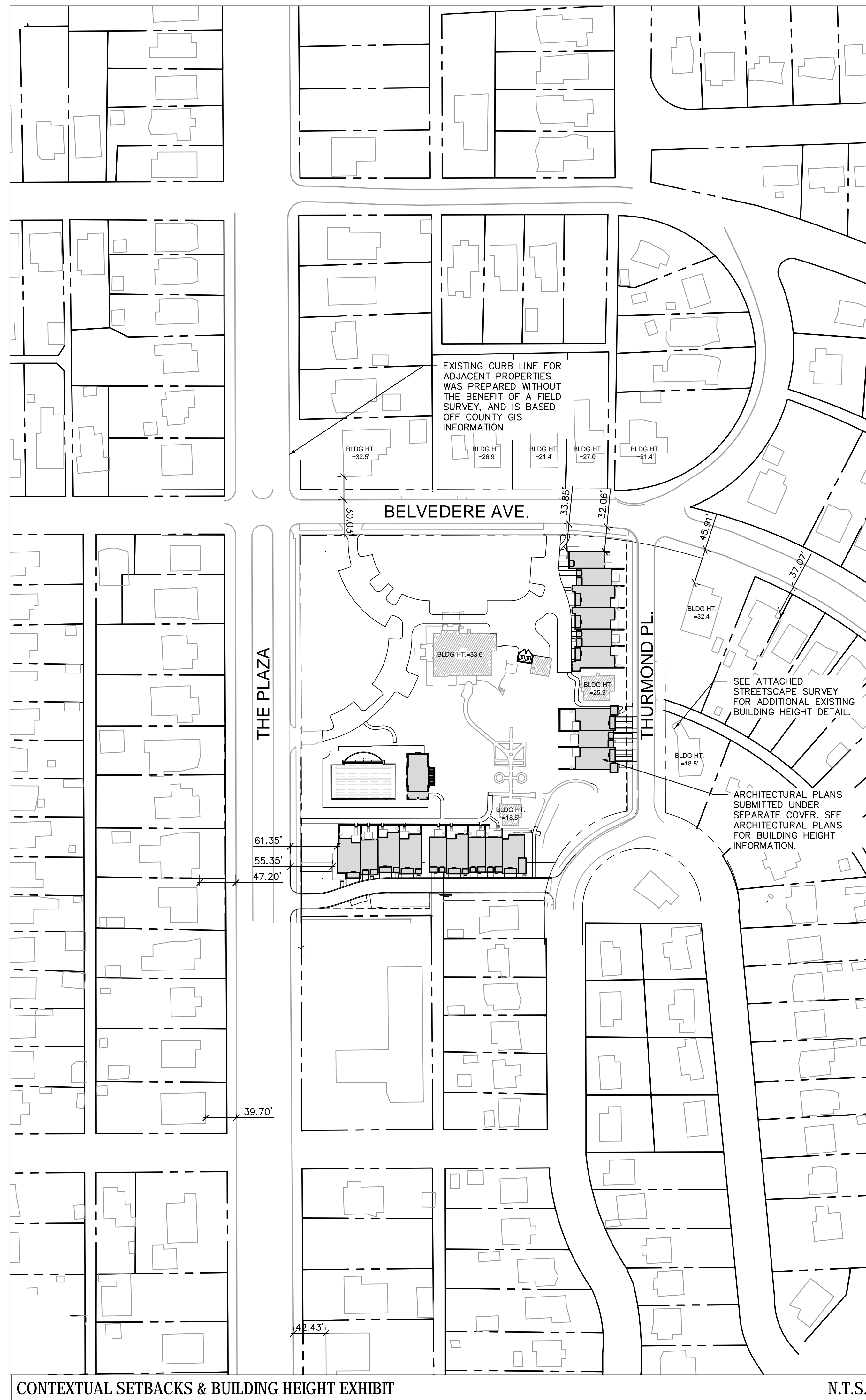
HDC-300

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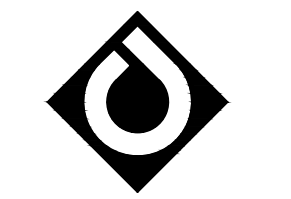
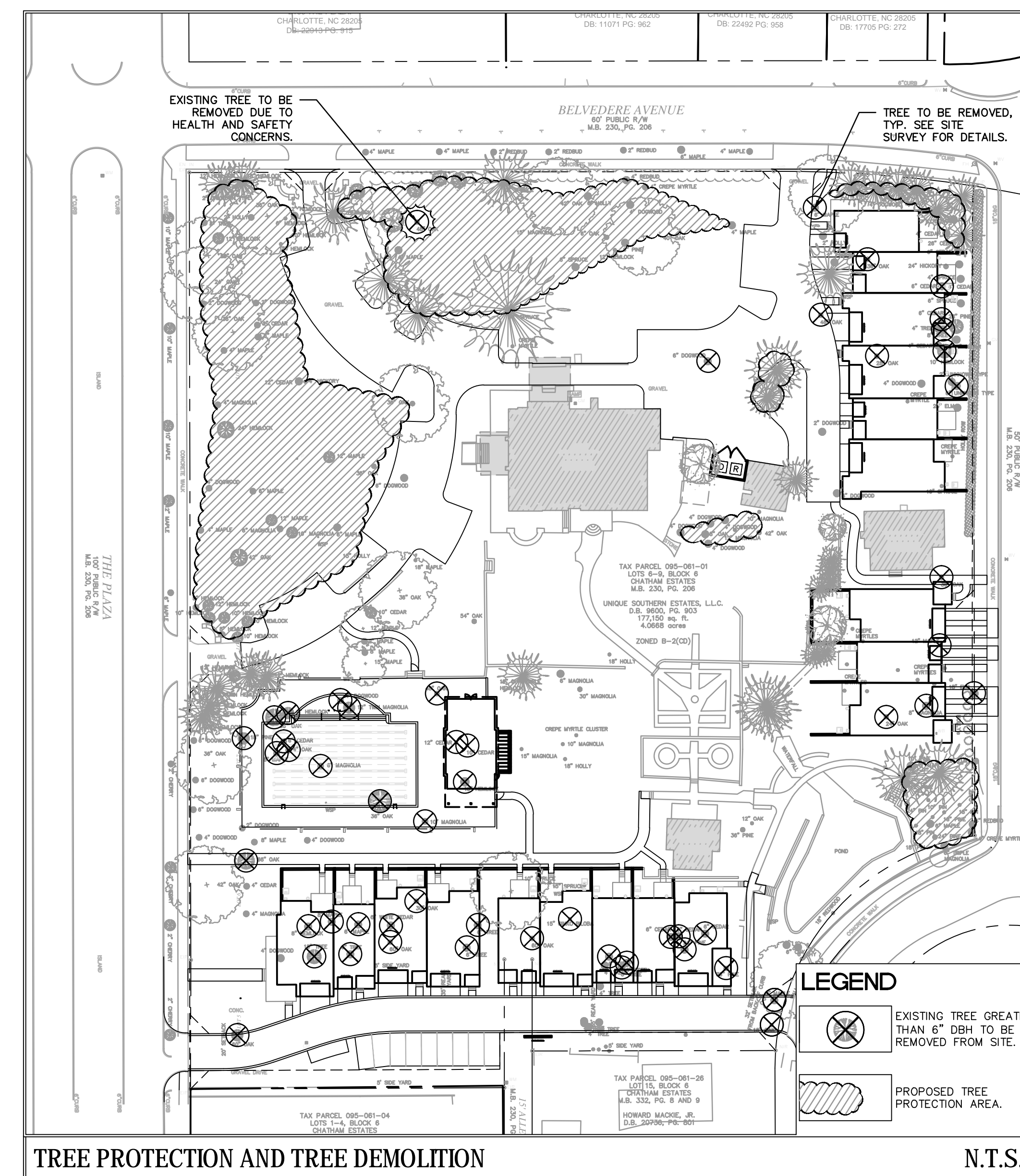
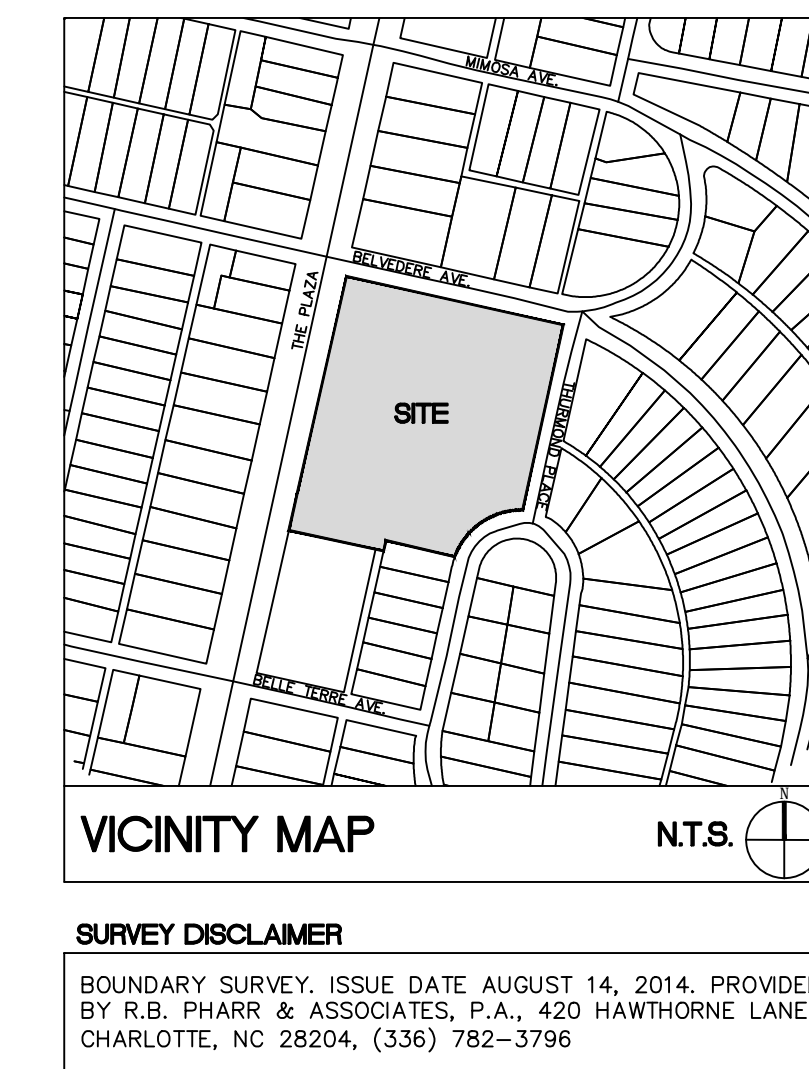
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ESTATE

2010 The Plaza  
Charlotte  
North Carolina 28205

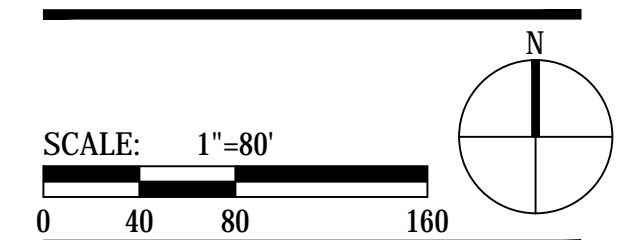
# SETBACK EXHIBIT

Project No.  
4344.00

Issued  
06/01/15 - HISTORIC DISTRICT COMMISSION

Revised

1	05/04/15 - HDC COMMENTS
2	06/01/15 - HLC COMMENTS



HDC-300

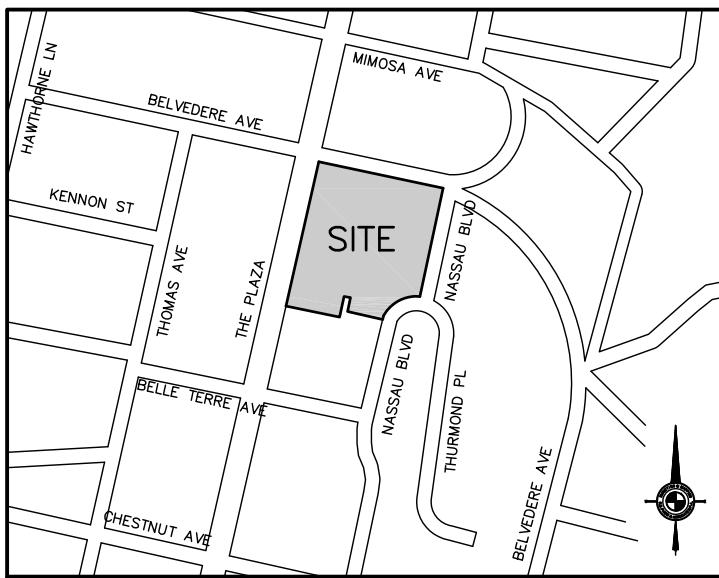
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ColeJenest & Stone, P.A. 2015 ©

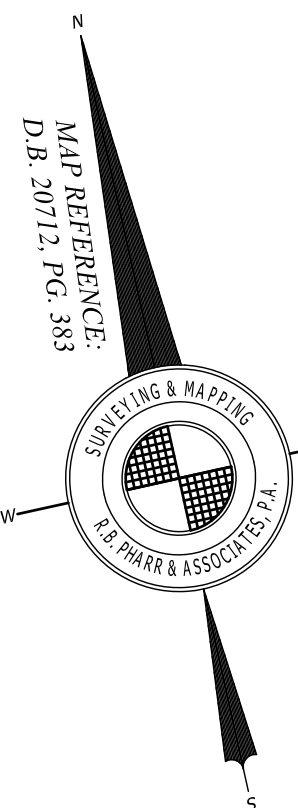








VICINITY MAP  
NOT TO SCALE



JUNE 2015

- NOTES:
1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
  2. ALL CORNERS MONUMENTED AS SHOWN.
  3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
  4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
  5. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
  6. ELEVATIONS BASED ON N.G.S. MONUMENT "MCDOWELL", ELEVATION = 681.79 FEET, NAVD 88.
  7. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
  8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

TAX PARCEL: 095-061-01  
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: B-2(CD)

FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3369.

TAX PARCELS: 095-061-02 & 095-061-26  
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: B-5  
SETBACKS SHOWN HEREON FOR RESIDENTIAL USE

MINIMUM SETBACK: 20 FT ALONG DESIGNATED  
THOROUGHFARE  
32 FT FROM FUTURE OR  
EXISTING BACK OF CURB

MINIMUM SIDE YARD: 5 FT  
MINIMUM REAR YARD: 35 FT  
MAXIMUM BUILDING HEIGHT: 40 FT

FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3369.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	680.64'	108.77'	108.66'	S73°14'35"E
C2	127.30'	119.53'	115.19'	S67°08'07"W
C3	127.30'	52.08'	51.70'	S28°31'14"W
C4	680.64'	50.75'	50.74'	N66°31'44"W

TOTAL AREA  
195,843 sq. ft.  
4.4960 acres

REVISIONS		SURVEY PREPARED FOR:	
09-29-14: SANITARY SEWER ELEVATIONS ADDED.		COLEJENEST & STONE	
11-12-14: TREE IDENTIFICATIONS UPDATED.		210 & 1926 THE PLAZA; 1925 NASSAU BLVD. CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC MAP REFERENCES: 230-206; AND 322-8 & 9; DEED REFERENCE: 9600-903; 10868-511; AND 13441-370 TAX PARCEL NO: 095-061-01; 095-061-02; AND 095-061-26	
		R.B. PHARR & ASSOCIATES, P.A.	
		SURVEYING & MAPPING LICENSURE NO. C-171 420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL. (704) 376-2186	
CREW: KD	DRAWN: CEB	REVISD:	FILE NO. W-4628 JOB NO. 81758
SCALE: 1" = 30'	DATE: AUGUST 14, 2014		

PLOTTED: 11/12/2014  
G:\811\7\81758\DWG\81758.DWG

LEGEND:

CB - CATCH BASIN  
C&G - CURB & GUTTER  
CP - CALCULATED POINT  
D.B. - DEED BOOK  
EIP - EXISTING IRON PIPE  
EIR - EXISTING IRON ROD  
EN - EXISTING NAIL  
FH - FIRE HYDRANT  
GW - GUY WIRE  
LP - LIGHT POLE  
M.B. - MAP BOOK  
N.G.S. - NATIONAL GEODETIC SURVEY  
NIR - NEW IRON ROD  
PB - POWER BOX  
PIN - PARCEL IDENTIFICATION NUMBER  
PG - PIGE  
PM - POWER METER  
PP - POWER POLE  
R/W - RIGHT-OF-WAY  
SDMH - STORM DRAINAGE MANHOLE  
SSMH - SANITARY SEWER MANHOLE  
WM - WATER METER  
WSP - WATER SPICKET  
WV - WATER VALVE  
PROPERTY LINE (NOT SURVEYED)  
PROPERTY LINE (NOT SURVEYED)  
RIGHT-OF-WAY  
RIGHT-OF-WAY (NOT SURVEYED)  
SETBACK  
METAL FENCE  
WOOD FENCE  
OVERHEAD ELECTRIC

UTILITIES:

POWER  
DUKE POWER ENERGY  
1-800-777-9898

TELEPHONE  
BELL SOUTH TELECOMMUNICATIONS  
1-888-757-6500

WATER & SEWER  
CHAR-MECK. UTILITY DEPT. (CMUD)  
(704) 336-2564 WATER  
(704) 337-6064 SEWER

GAS  
PIEDMONT NATURAL GAS CO.  
1-800-752-7504

CABLE TELEVISION  
TIME WARNER CABLE  
1-800-892-2253



Know what's below.  
Call before you dig.

BELVEDERE AVENUE  
60' PUBLIC R/W  
M.B. 230, PG. 206

NASSAU BOULEVARD  
M.B. 230, PG. 206

NASSAU BOULEVARD  
50' PUBLIC R/W  
M.B. 230, PG. 206

TAX PARCEL 095-061-01  
LOTS 6-9, BLOCK 6  
CHATHAM ESTATES  
M.B. 230, PG. 206  
UNIQUE SOUTHERN ESTATES, L.L.C.  
D.B. 9600, PG. 903  
177,150 sq. ft.  
4.0668 acres  
ZONED B-2(CD)

TAX PARCEL 095-061-26  
LOT 16, BLOCK 6  
CHATHAM ESTATES  
M.B. 332, PG. 8 AND 9  
UNIQUE SOUTHERN ESTATES, L.L.C.  
D.B. 13441, PG. 370  
8,820 sq. ft.  
0.1566 acres  
ZONED R-5

TAX PARCEL 095-061-02  
LOT 5, BLOCK 6  
CHATHAM ESTATES  
M.B. 230, PG. 206  
MARK A. MADDALON  
D.B. 10868, PG. 511  
11,873 sq. ft.  
0.2726 acres  
ZONED R-5

NOW OR FORMERLY  
HOLY TRINITY EVANGELICAL LUTHERAN CHURCH  
NO DEED REFERENCE FOUND

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

FLOOD CERTIFICATION  
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT  
LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON  
MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT  
AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED  
MARCH 2, 2009.  
MAP NUMBER: 3710456400K

THIS IS TO CERTIFY THAT ON THE 14th DAY OF AUGUST, 2014, AN ACTUAL SURVEY WAS MADE UNDER  
MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF  
ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH  
CAROLINA. BOARD RULE 1600 (21 NCAC 59) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF  
ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 50 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF  
ANGLES TURNED.

SIGNED

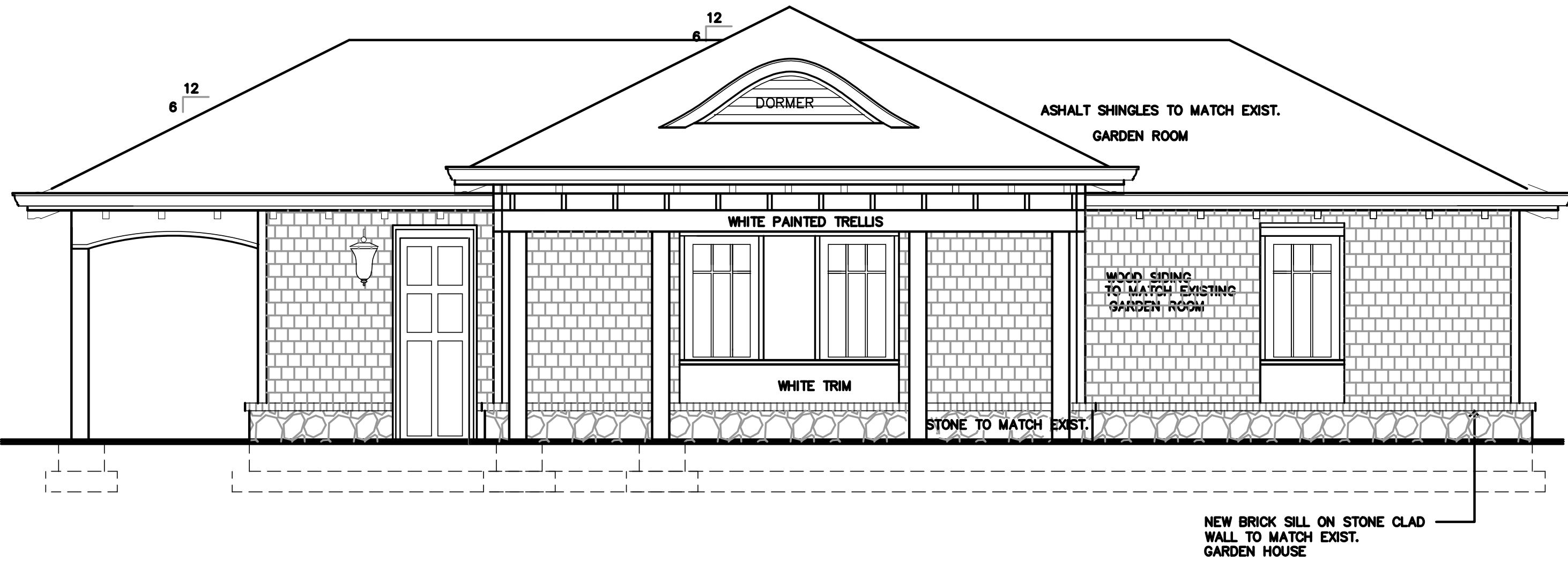




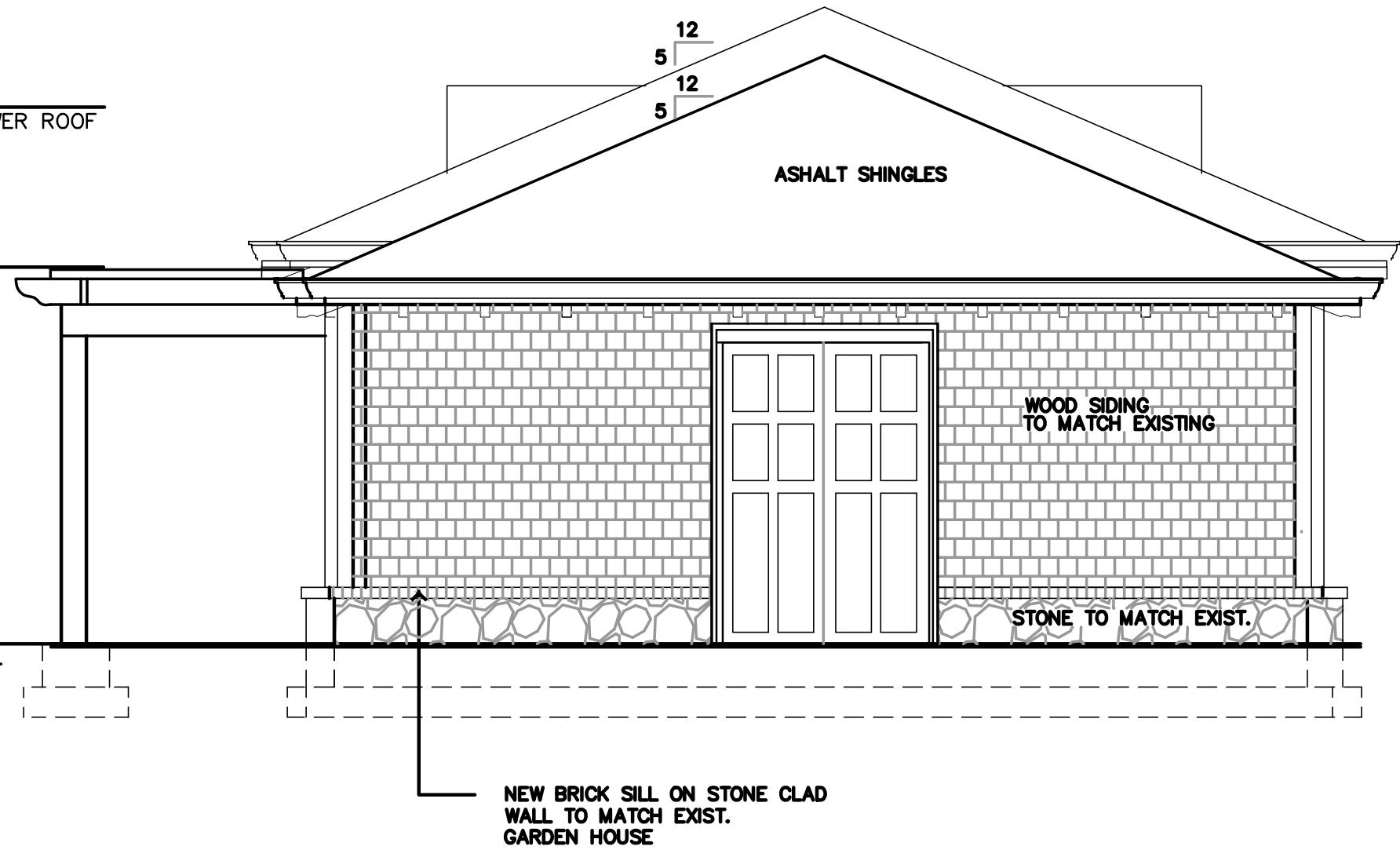
- NOTE :**
1. TOP & BOTTOM RAILS 1" SQ.
  2. PICKETS 1/2" SQ.
  3. CIRCLE 1/2"Ø TUBE
  4. MAX. BETWEEN PICKETS & DECORATIVE OPENINGS SHALL NOT EXCEED 4"
  5. ALL METAL TO BE PREFINISHED BLACK POWDER COATED ALUMINUM



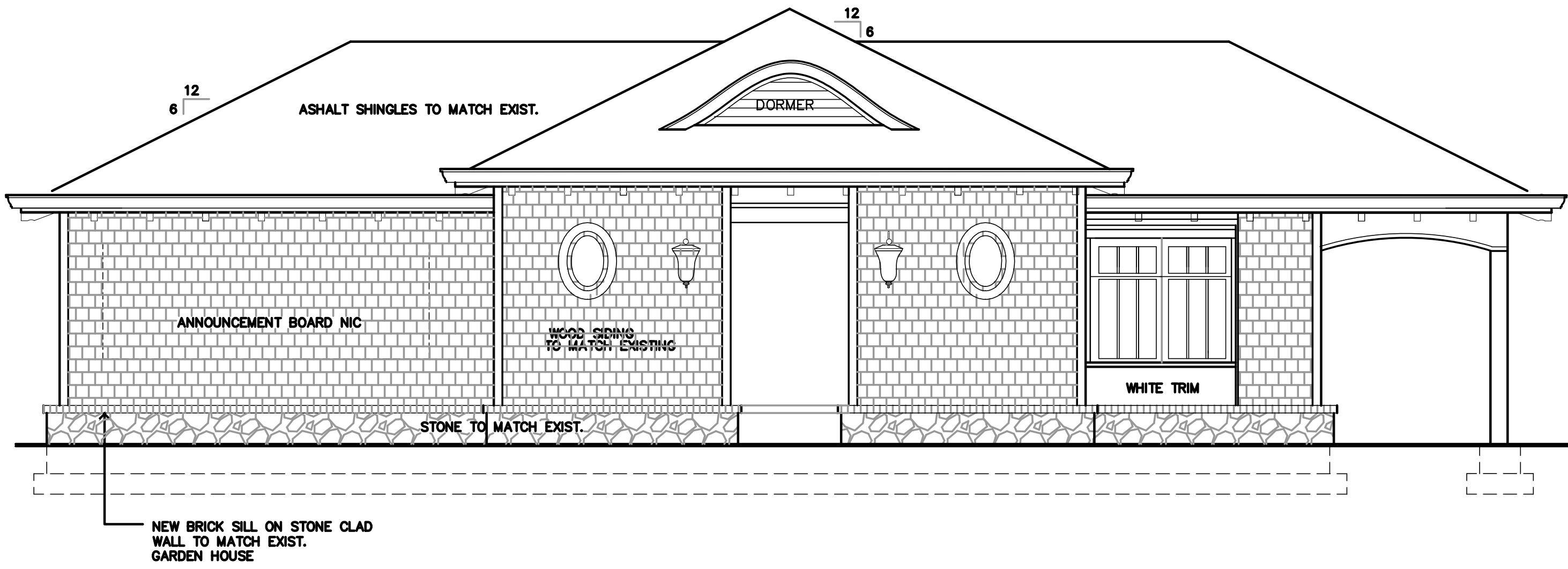




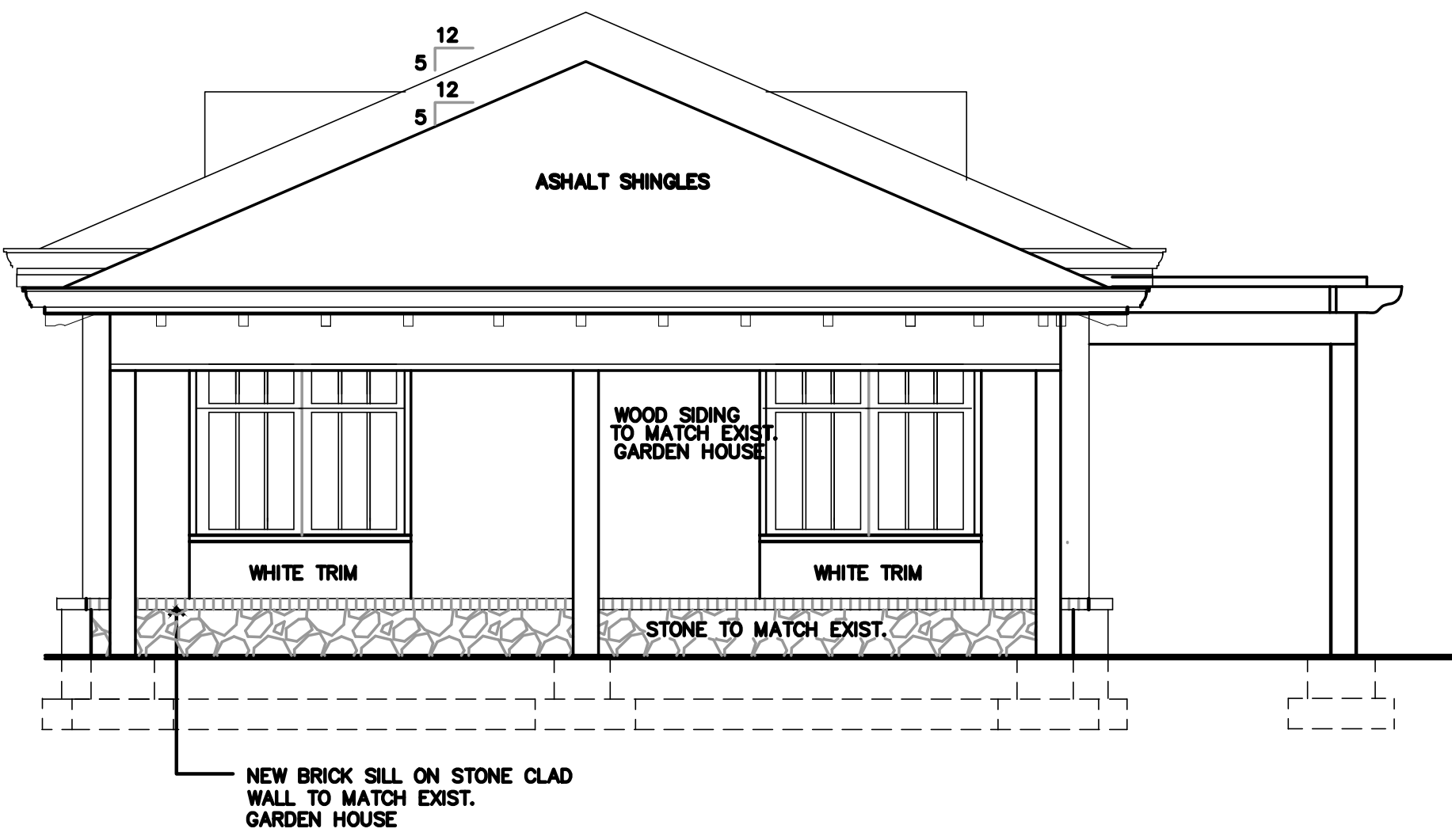
1 EAST ELEVATION  
A6.0 1/4" = 1'-0"



2 NORTH ELEVATION  
A6.0 1/4" = 1'-0"

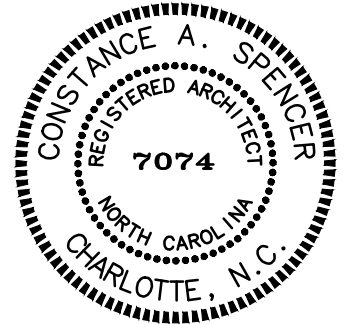


3 WEST ELEVATION  
A6.0 1/4" = 1'-0"



4 SOUTH ELEVATION  
A6.0 1/4" = 1'-0"

spencer architect  
11031 CATTAIL BLUFF  
TEGA CAY, SC 29708  
803-802-8590  
spencer1c@aol.com



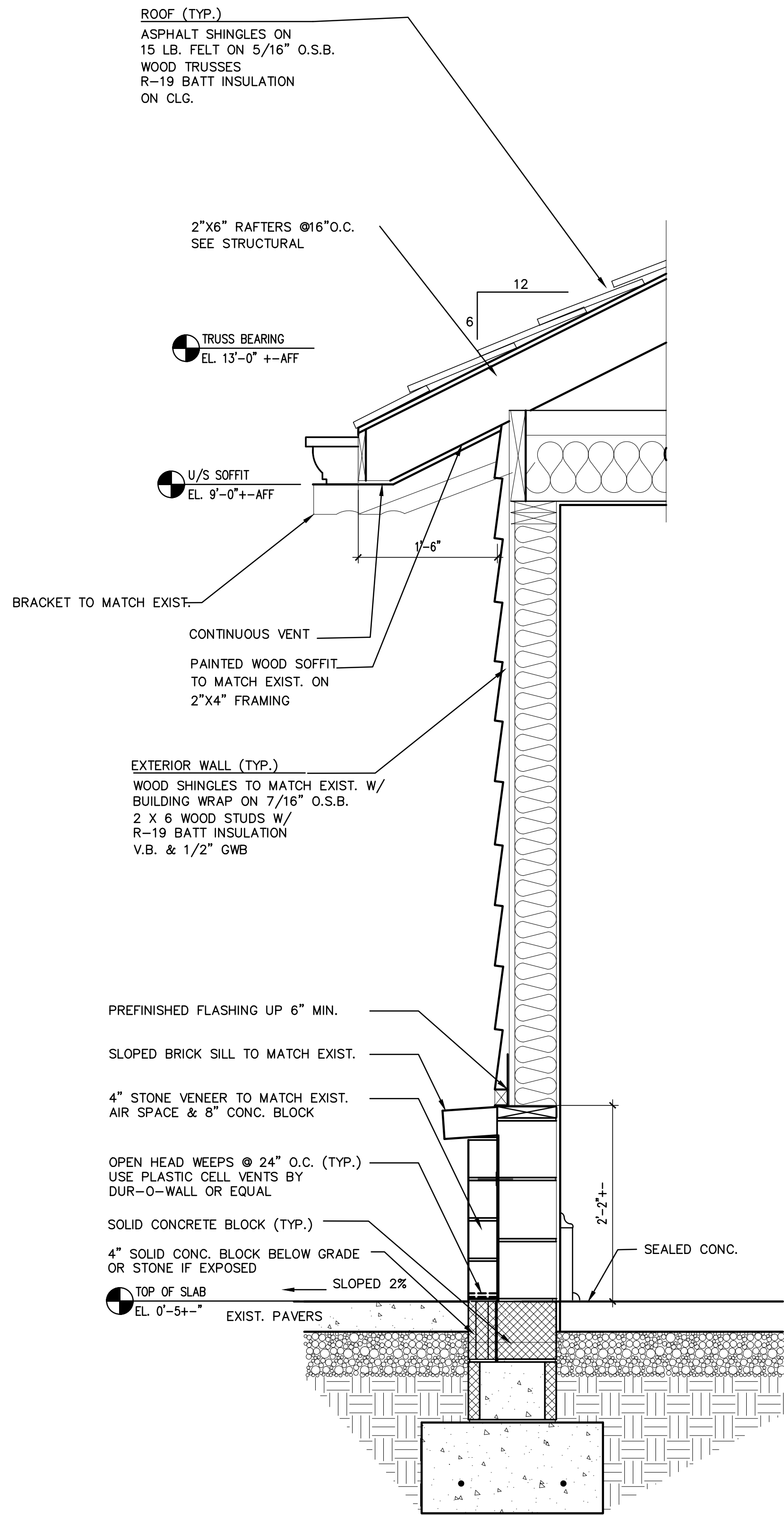
A NEW POOL BUILDING FOR THE  
**VAN LANDINGHAM ESTATE**  
2010 THE PLAZA, CHARLOTTE, NC

BUILDING ELEVATIONS

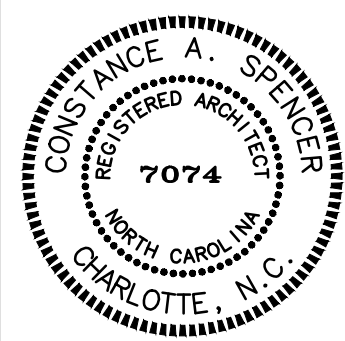
PROJECT DATE: 12/07/14  
PROJECT NUMBER: 14049

ISSUE DATE:  
1. 04/29/15  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
REVISED: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_  
5. \_\_\_\_\_  
6. \_\_\_\_\_  
7. \_\_\_\_\_

SHEET NUMBER:  
OF A6.0



2 TYPICAL WALL SECTION  
A7.0 SCALE: 1" = 1'-0"



PROJECT DATE: 12/07/14  
PROJECT NUMBER: 14049

ISSUE DATE: 04/29/15  
1. 04/29/15  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
REVISED: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_  
5. \_\_\_\_\_  
6. \_\_\_\_\_  
7. \_\_\_\_\_

SHEET NUMBER:  
A7.0  
OF



24 9:21 AM









BUILDING MATERIALS:

ROOFING:	30 YEAR ARCHITECTURAL COMPOSITION SHINGLES  SIMULATED AGED COPPER (MATTE BRONZE FINISH) AT PORCH ROOFS WHERE SHOWN ON ELEVATIONS.
GUTTERS & DOWNSPOUTS:	SIMULATED AGED COPPER (MATTE BRONZE FINISH), 5" OGEE STYLE GUTTER WITH 3" DIAMETER ROUND DOWNSPOUTS
SIDING & TRIM:	STAINED OR PAINTED WOOD LAP SIDING, 6" EXPOSURE.  PAINTED HARDI-PANEL AT GABLE ENDS ONLY, WHERE SHOWN.  PAINTED 5/4 X 4" NOMINAL CORNER BOARDS.  PAINTED CROWN MOULDINGS AND CASINGS AS INDICATED.  PAINTED HARDI-SOFFIT AT UPPER ROOF EAVES.  PAINTED BEAD BOARD PORCH CEILINGS.  PAINTED HARDI-BOARD FASCIA AT UPPER ROOF EAVES.
WINDOWS:	SIMULATED DIVIDED LIGHT DOUBLE-HUNG AND FIXED WINDOWS.
DOORS, TRANSOMS & SIDELIGHTS:	STAINED OR PAINTED INSULATED FIBERGLASS EXTERIOR DOORS AS SHOWN.  SIMULATED DIVIDED LIGHT FRAMED SASH TRANSOMS AND SIDELIGHTS.
GARAGE DOORS:	STAINED OR PAINTED INSULATED FIBERGLASS OVERHEAD DOORS AS SHOWN.
FOUNDATION WALLS:	STONE OR SIMULATED STONE FOUNDATION WALL AND WATER TABLE WITH 4" BRICK ROWLOCK COPING.
PORCHES & STAIRS:	BRICK TREADS AND RISERS, CONCRETE PORCH AND PATIO FLOOR SURFACE.
MISCELLANEOUS:	PAINTED TREATED WOOD TIMBER BRACKETS, COLUMNS AND DECORATIVE BEAM ENDS WHERE SHOWN.

DRAWING REVISIONS JUNE 01 SUBMITTAL:

1. INCREASE SETBACK OF BUILDING A AT THE PLAZA TO EXCEED 61' FROM BACK OF CURB BY ELIMINATING UNIT 4, SEE SITE PLAN AND SHEET A-1.
2. REVISED ELEVATION & ALTERNATE ELEVATION FOR TOWNHOUSE FACING BELVEDERE , BUILDING D, LOT 19, SEE SHEETS D-3, D-4 & D-3 ALTERNATE.
3. REVISED ELEVATION & ALTERNATE ELEVATION FOR TOWNHOUSES FACING THURMAN , BUILDING C, LOTS 11-13, SEE SHEETS C-1 & C-1 ALTERNATE.
4. SIDING MATERIAL HAS BEEN CHANGED FROM CEDAR SHINGLES TO WOOD LAP SIDING, 6" EXPOSURE.

DRAWING REVISIONS MAY 4 SUBMITTAL:

1. REVISED ELEVATIONS FOR TOWNHOUSE FACING THE PLAZA, BUILDING A, LOT 1, SEE SHEETS A-1, A-2 & A-3 AND COLOR ELEVATION.
2. REVISED ROOF PITCH OF ALL TOWNHOUSES PRIMARY ROOF TRUSS FROM 8:12 TO 6:12. CHANGE RESULTS IN A LOWERING OF THE ROOF HIGH POINT 3'-4".
3. BUILDINGS A & B, LOTS 1-10, HAVE BEEN MOVED 7' TO THE EAST (FURTHER FROM THE PLAZA).
4. BUILDING B, HAS BEEN SHORTENED BY 6', SEE ELEVATION SHEET B-1.
5. WINDOW SILL DETAIL HAS BEEN DRAWN AND MODIFIED ON THE ELEVATIONS TO DELETE APRON BELOW SILL.
6. SIDING MATERIAL HAS BEEN CHANGED FROM HARDI-SHAKE TO CEDAR SHINGLES.
7. DRAWINGS AND NOTES HAVE BEEN CHANGED TO SHOW FRAMED SASH TRANSOMS AND SIDELIGHTS.
8. CONDENSING UNITS AND ELECTRIC & GAS METER LOCATIONS ARE SHOWN ON THE SITE PLAN.
9. SIDEWALKS, DRIVEWAYS AND PATIOS AND FENCING HAVE BEEN SHOWN IN GREATER DETAIL ON THE SITE PLAN.
10. WALL SECTION SHEET HAS BEEN ENLARGED AND MODIFIED FOR CLARITY AND AS DESCRIBED ABOVE.



VanLandingham  
Townhomes

Charlotte, North Carolina

MEETING STREET  
HOMES & COMMUNITIES

1920 Abbot Street, Suite 400 Charlotte, North Carolina  
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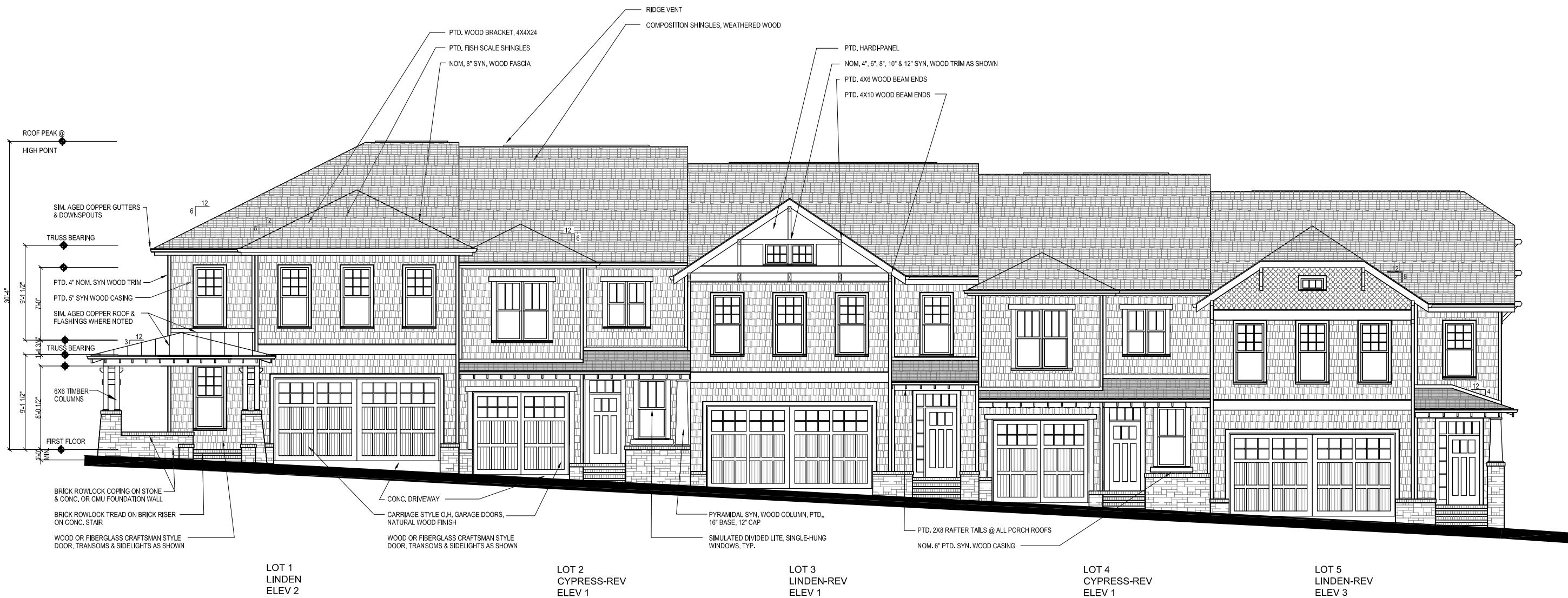
MODEL
VERSION
DRAWN BY: JRB
DATE DRAWN/REVISIONS JAN 21, 2015 MAY 04, 2015 MAY 25, 2015

SHEET NO.

NOTES

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MAY 2015



BUILDING A SOUTH (PRIVATE DRIVE) ELEVATION

**BURGESSDESIGNSTUDIO**  
architecture

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Davidson, NC 28036  
704-895-8110 office  
704-895-8113 fax

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Townhomes

Charlotte, North Carolina

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MODEL  
**BUILDING A**  
SCALE: 1"=10'

VERSION

DRAWN BY  
JRB

DATE DRAWN/REVISIONS  
JAN 21, 2015  
MAY 04, 2015

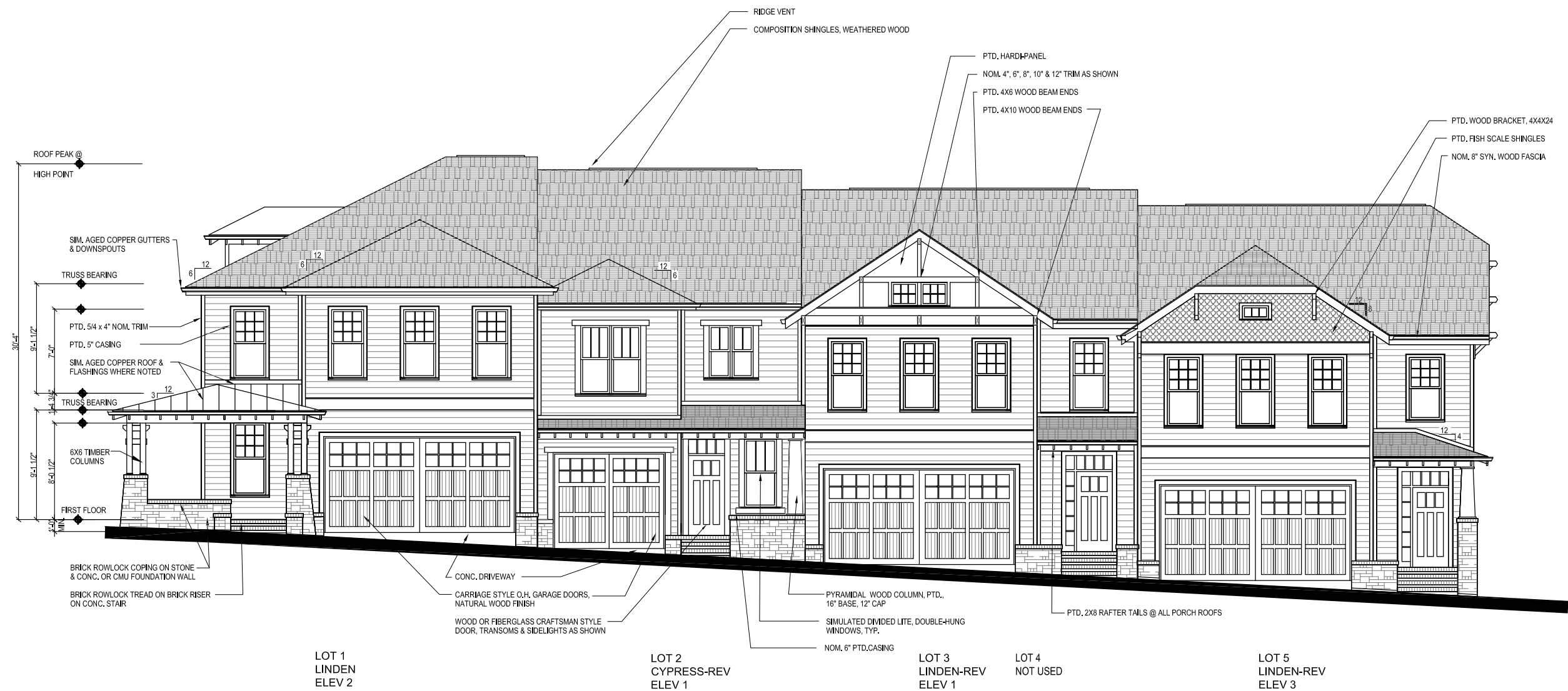
SHEET NO.

**A-1**

SCALE: 1"=10' WHEN PRINTED 11"X17"

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MODEL  
BUILDING A  
SCALE: 1"=10'

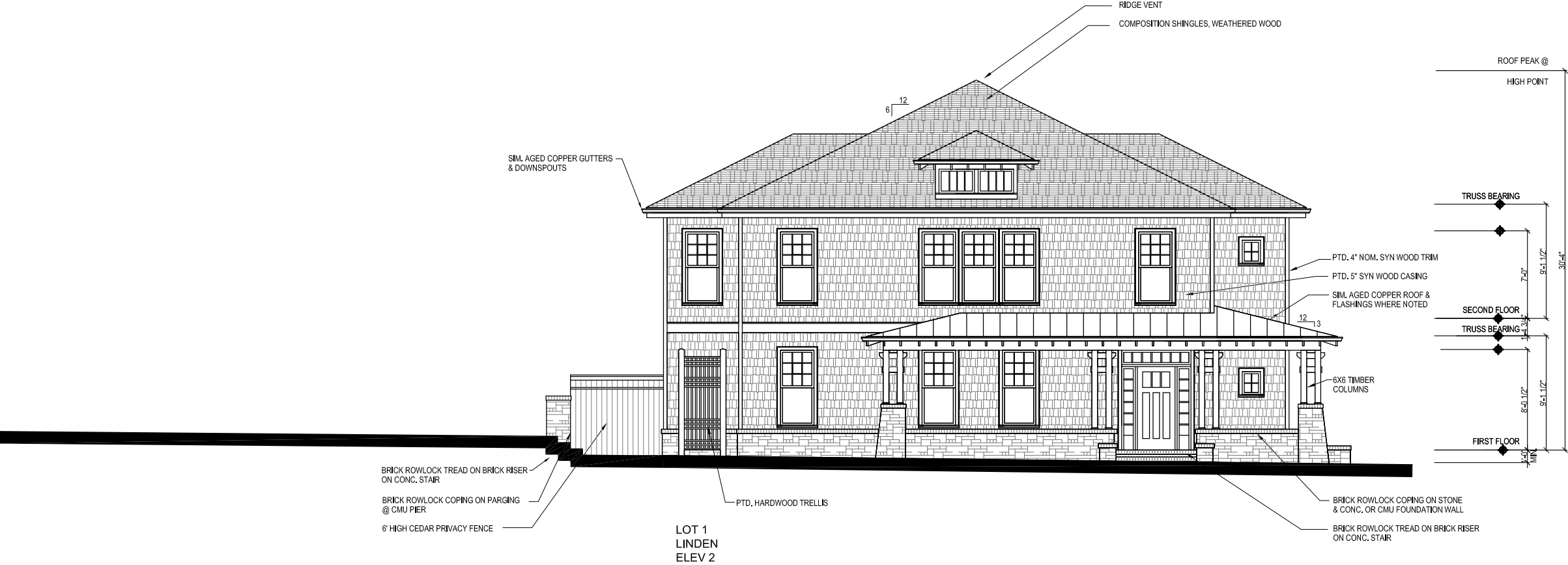
VERSION  
DRAWN BY: JRB  
DATE DRAWN/REVISIONS  
JAN 21, 2015  
MAY 04, 2015  
MAY 25, 2015

SHEET NO.

A-1

SCALE: 1" = 10' WHEN PRINTED 11"X17"  
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BUILDING A EAST (THE PLAZA) ELEVATION

BURGESSDESIGNSTUDIO  
ARCHITECTURE

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704-895-8110 office  
704-895-8113 fax

VanLandingham  
Townhomes

Charlotte, North Carolina

MEETING STREET  
HOMES & COMMUNITIES

1930 Arbor Street, Suite 400 Charlotte, North Carolina  
28203  
Office 704-714-3070 Fax 704-714-3071

MODEL

BUILDING A

SCALE: 1"=10'

VERSION

DRAWN BY  
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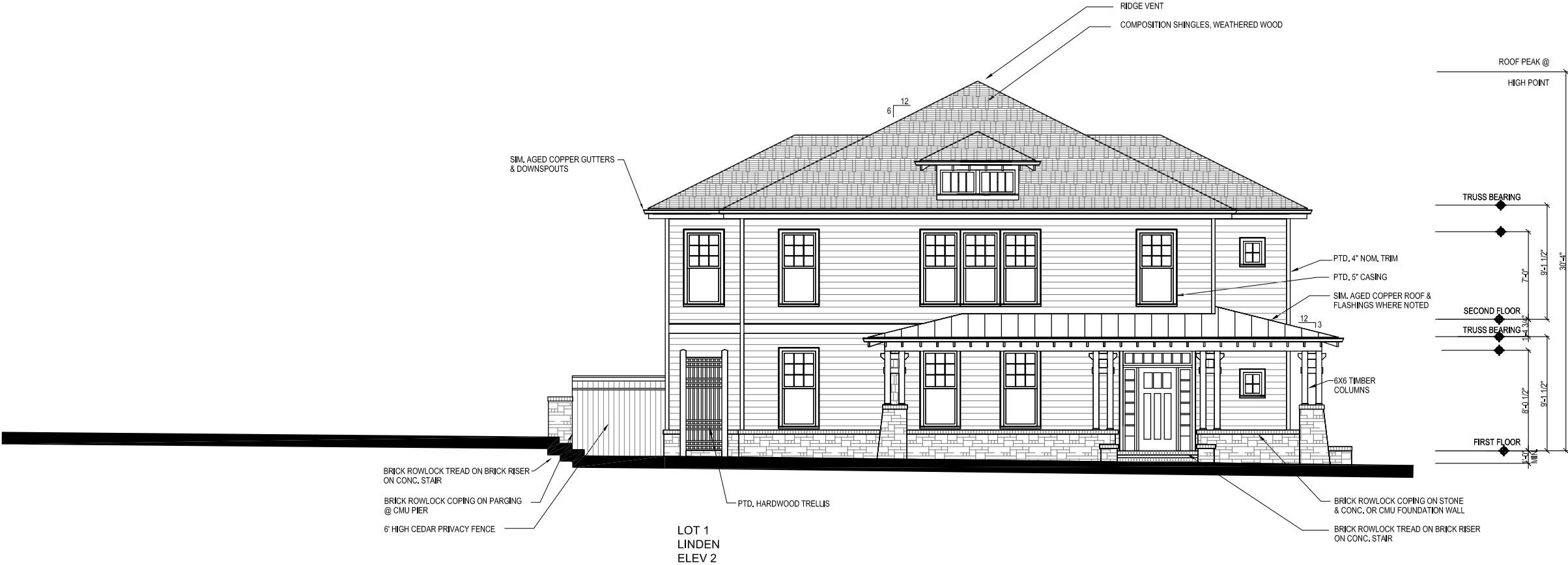
DATE DRAWN/REVISIONS  
JAN 21, 2015  
MAY 04, 2015

SHEET NO.

A-2

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BUILDING A EAST (THE PLAZA) ELEVATION

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MEETING STREET  
HOMES & COMMUNITIES

1030 Abbot Street, Suite 400 Charlotte, North Carolina  
28203  
Office 704-714-3070 Fax 704-714-3071

MODEL  
BUILDING A  
SCALE: 1"=10'

VERSION
DRAWN BY JRB
DATE DRAWN/REVISIONS JAN 21, 2015 MAY 04, 2015 MAY 25, 2015

SHEET NO.  
A-2

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MAY 2015

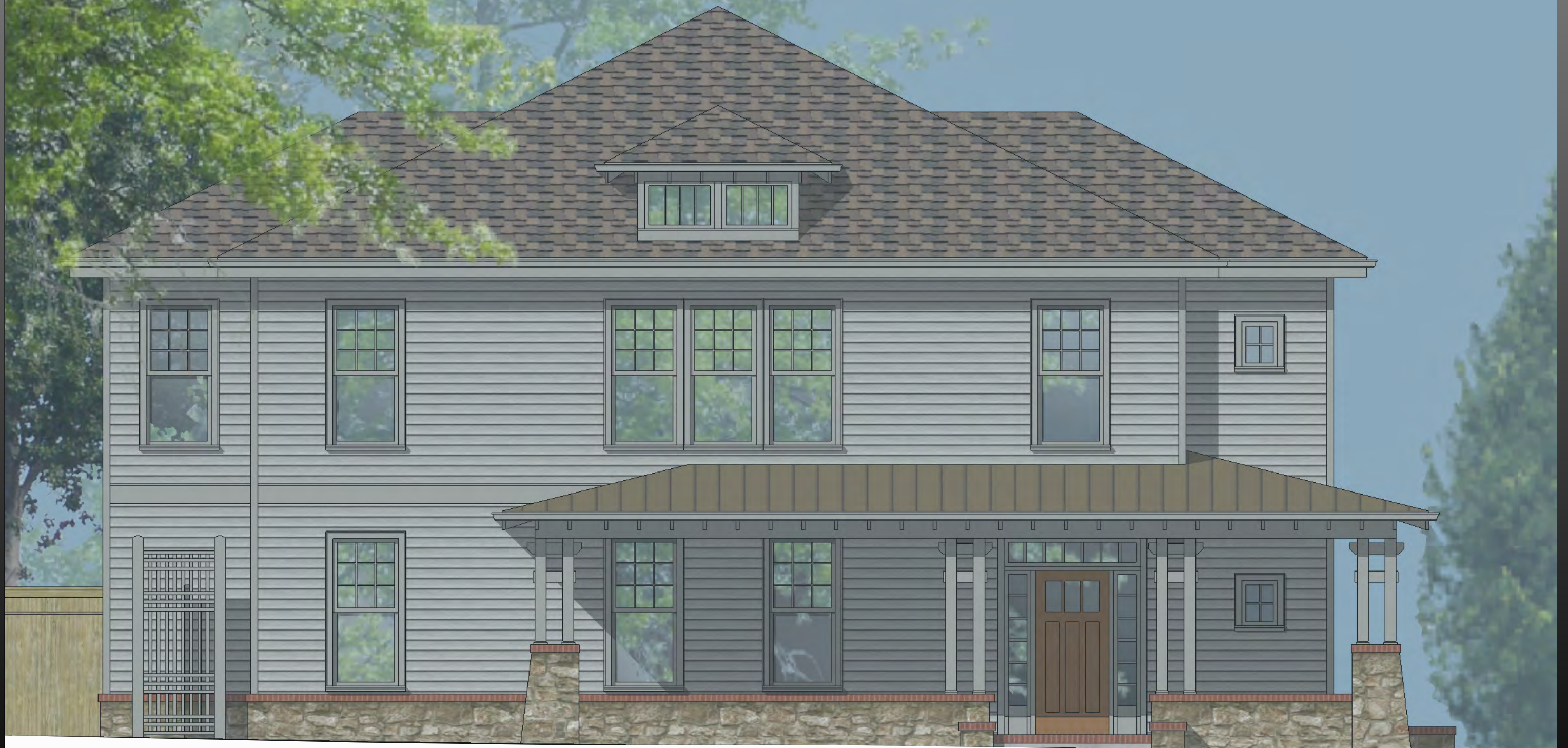


**A** :: Enlarged Elevation - Unit 01 West Elevation at The Plaza  
14 scale: 1/4" - 1' 0"

NEW REVISED ELEVATION  
Vanlandingham Estate - Meeting Street



JUNE 2015



**A** :: Enlarged Elevation - Unit 01 West Elevation at The Plaza  
14 scale: 1/4" - 1' 0"

REVISED ELEVATION  
Vanlandingham Estate - Meeting Street



MAY 2015



BUILDING A NORTH ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL
<b>BUILDING A</b>
SCALE: 1"=10'
VERSION
DRAWN BY JRB
DATE DRAWN/REVISIONS
JAN 21, 2015
MAY 04, 2015

SHEET NO.

**A-3**

THESE PLANS ARE THE SOLE PROPERTY OF MEETING STREET HOMES AND ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS.



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Townhomes

Charlotte, North Carolina

MEETING STREET  
HOMES & COMMUNITIES

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28203  
Office 704-714-3070 Fax 704-714-3071

MODEL

BUILDING A

SCALE: 1"=10'

VERSION

DRAWN BY  
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DATE DRAWN/REVISIONS  
JAN 21, 2015  
MAY 04, 2015  
MAY 25, 2015

SHEET NO.

A-3

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LAWS.



BUILDING A NORTH ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

MAY 2015



BUILDING B SOUTH (PRIVATE DRIVE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MEETING STREET  
HOMES & COMMUNITIES

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28203  
Office 704-714-3070 Fax 704-714-3071

MODEL  
BUILDING A

VERSION

DRAWN BY  
JRB

DATE DRAWN/REVISIONS  
JAN 21, 2015  
MAY 04, 2015

SHEET NO.

**B-1**

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JUNE 2015



BUILDING B SOUTH (PRIVATE DRIVE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL
BUILDING A
VERSION
DRAWN BY JRB
DATE DRAWN/REVISIONS JAN 21, 2015 MAY 04, 2015 MAY 25, 2015

SHEET NO.

**B-1**

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## BUILDING B WEST (NASSAU BLVD.) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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HOMES & COMMUNITIES

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Office 704-714-3070 Fax 704-714-3071

MODEL

BUILDING A

SCALE: 1"=10'

VERSION

DRAWN BY  
JRB

DATE DRAWN/REVISIONS  
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SHEET NO.

B-2

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BUILDING B NORTH ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL  
**BUILDING A**  
SCALE: 1"=10'

VERSION

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SHEET NO.

**B-3**

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BUILDING C EAST (THURMOND PLACE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL BUILDING B
SCALE: 1"=10'
VERSION
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SHEET NO.

C-1

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BUILDING C EAST (THURMOND PLACE) ELEVATION

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MODEL BUILDING B
SCALE: 1"=10'
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**C-1**  
ALTERNATE

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BUILDING C WEST ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL
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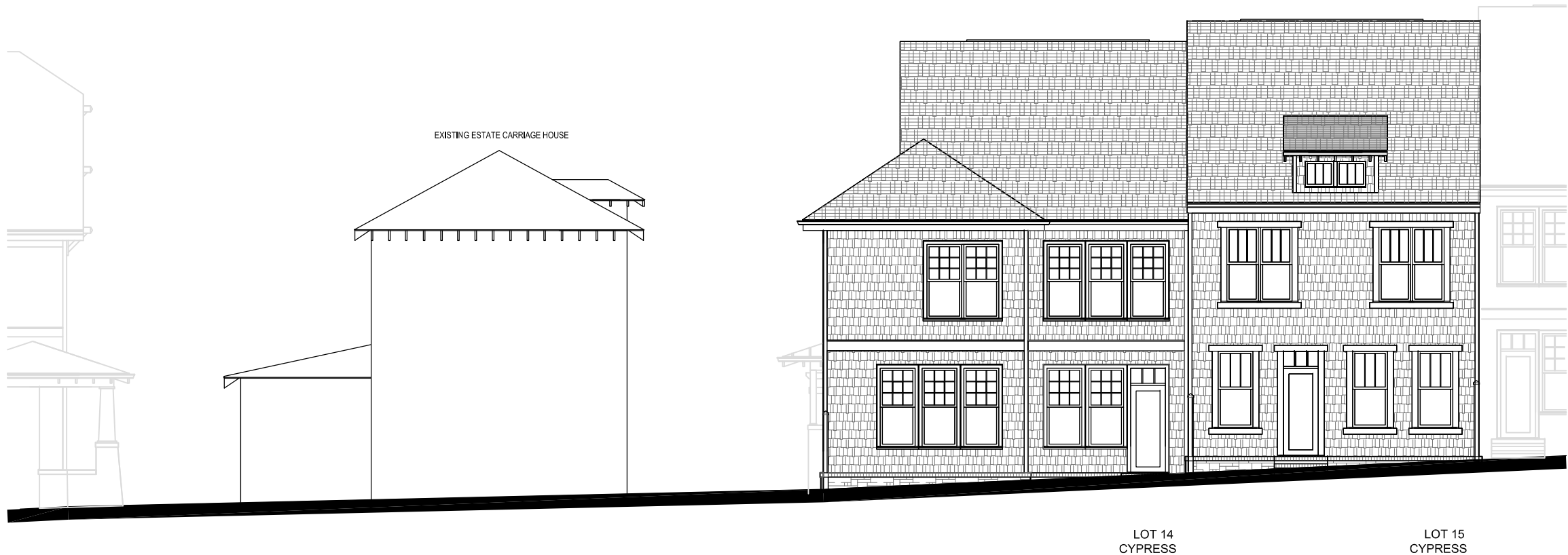
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C-2

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BUILDING D EAST (THURMOND PLACE) PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL  
BUILDING D  
SCALE: 1"=10'

VERSION

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D-1

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BUILDING D EAST (THURMOND PLACE) PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL  
**BUILDING D**  
SCALE: 1"=10'

VERSION

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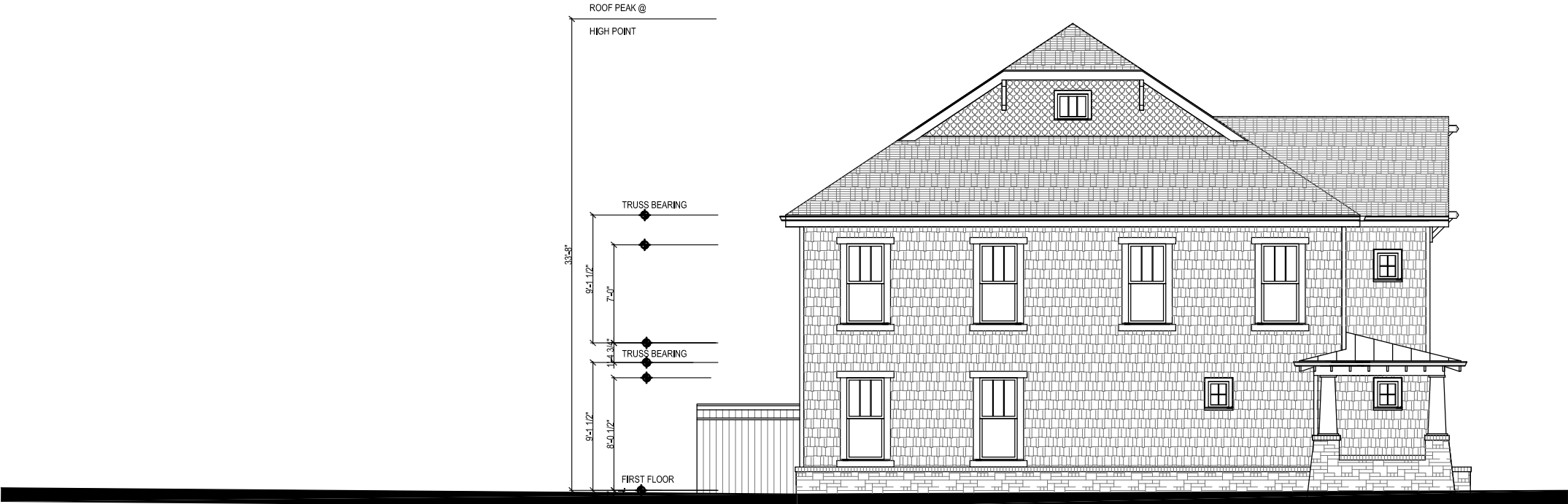
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LOT 19  
CYPRESS

BUILDING D NORTH (BELVEDERE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL

BUILDING D

SCALE: 1"=10'

VERSION

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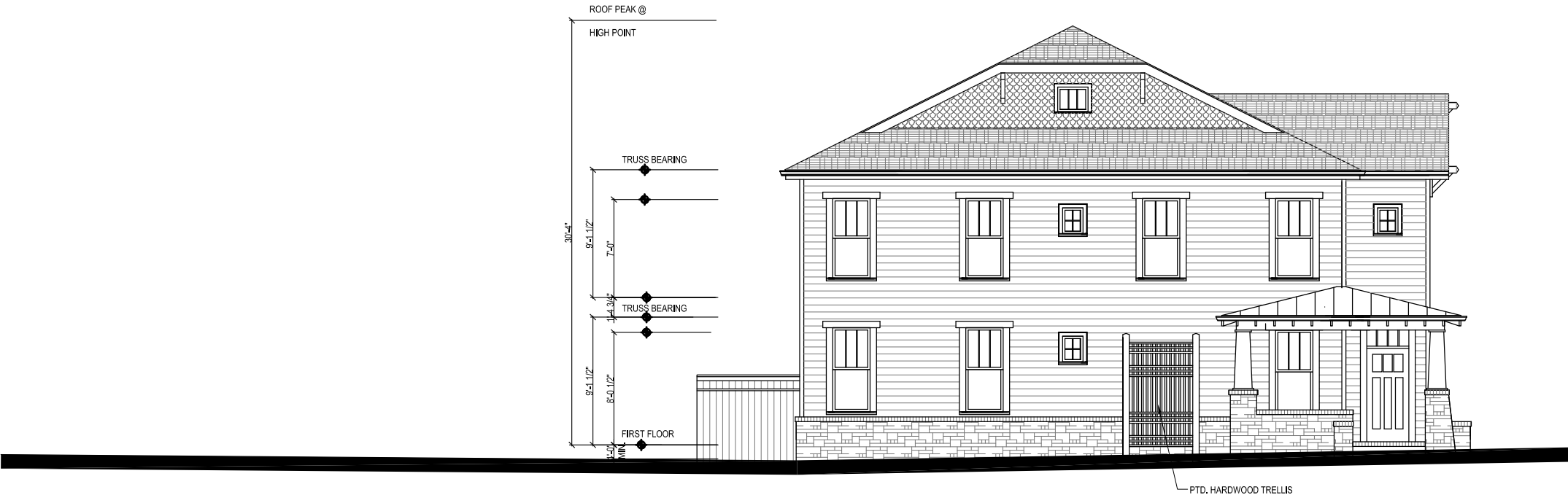
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SHEET NO.

D-3

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JUNE 2015



LOT 19  
CYPRESS

BUILDING D NORTH (BELVEDERE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL  
BUILDING D  
SCALE: 1"=10'

VERSION

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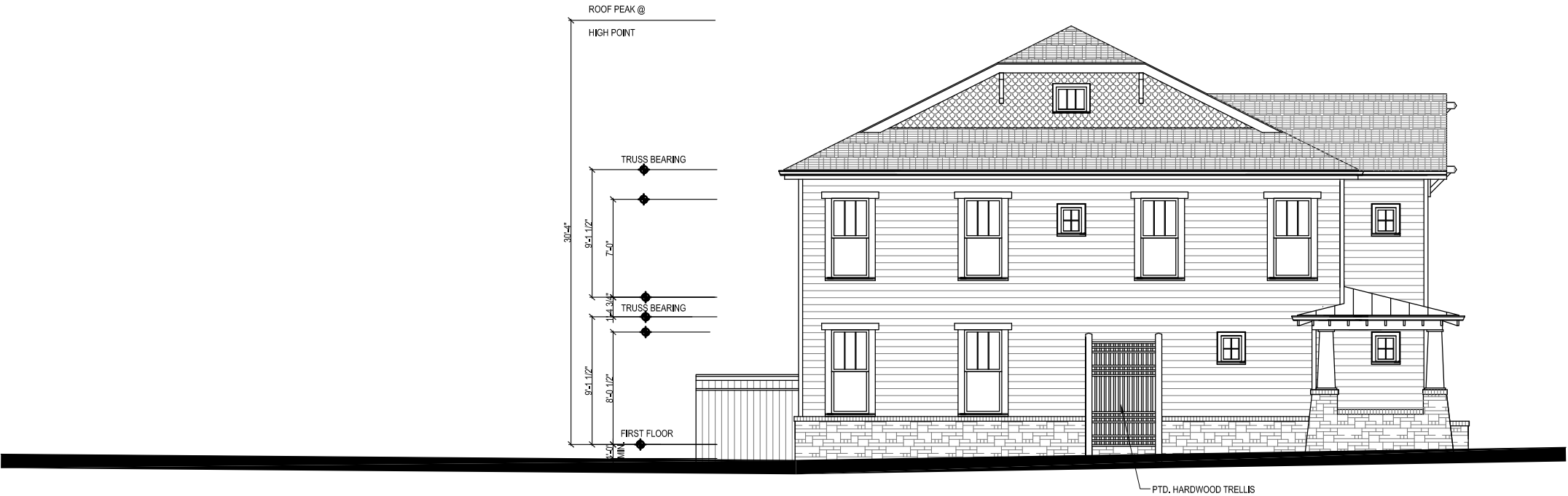
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LOT 19  
CYPRESS

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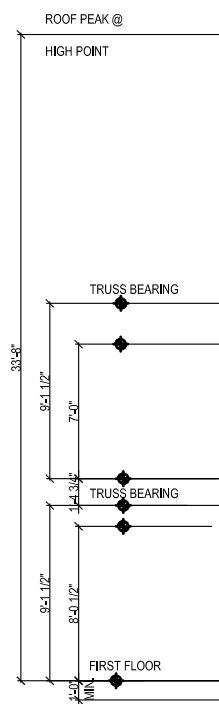
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D-3  
ALTERNATE

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LOT 19  
CYPRESS

LOT 18  
CYPRESS

LOT 17  
LINDEN

LOT 16  
LINDEN

LOT 15  
CYPRESS

BUILDING D WEST PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE  
SHEETS A1 & A2

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MODEL

BUILDING D

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D-4

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BUILDING D WEST PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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D-4  
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LOT 15  
CYPRESS

LOT 14  
CYPRESS

LOT 13  
LINDEN

BUILDING D WEST PARTIAL ELEVATION

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SHEETS A1 & A2

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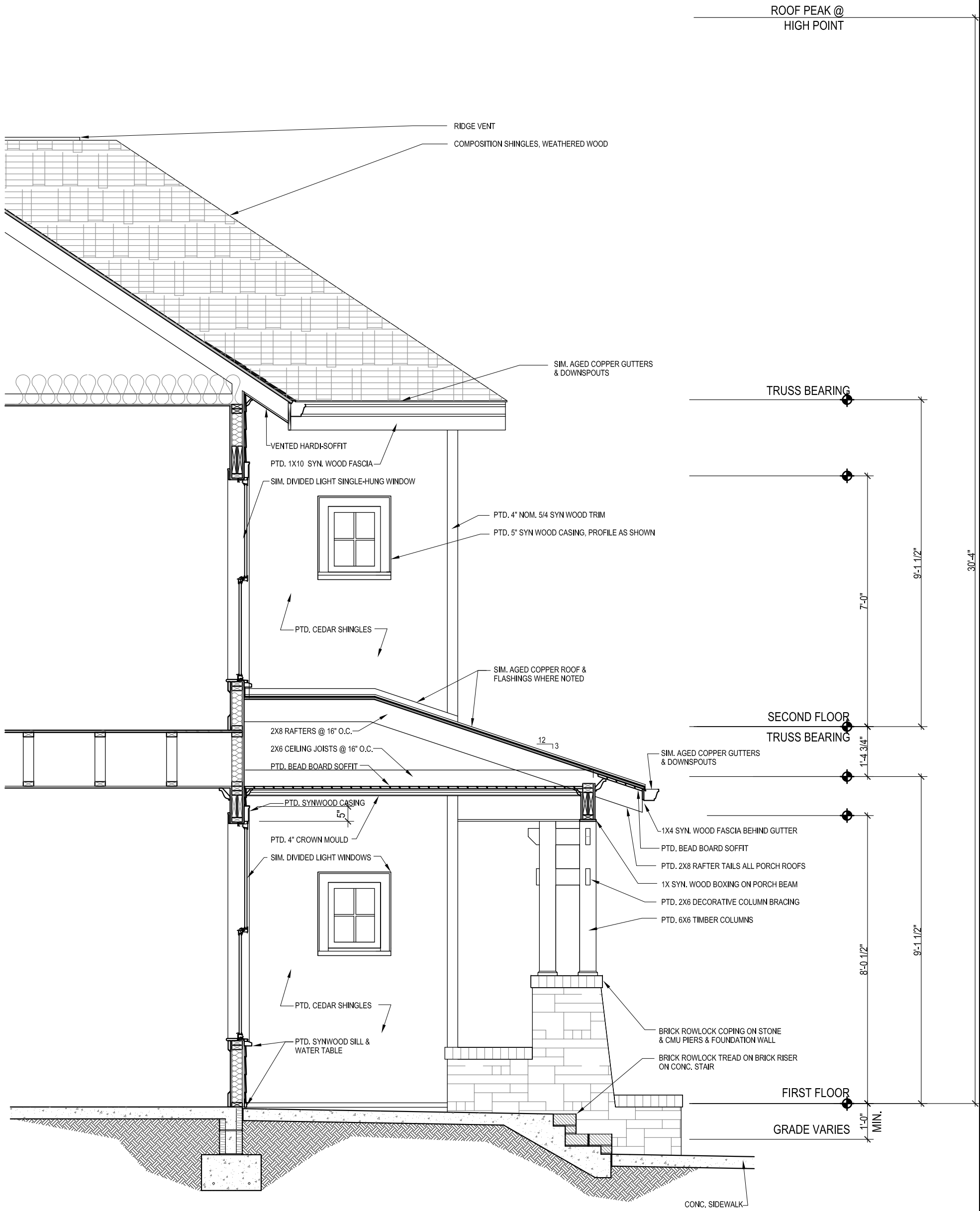
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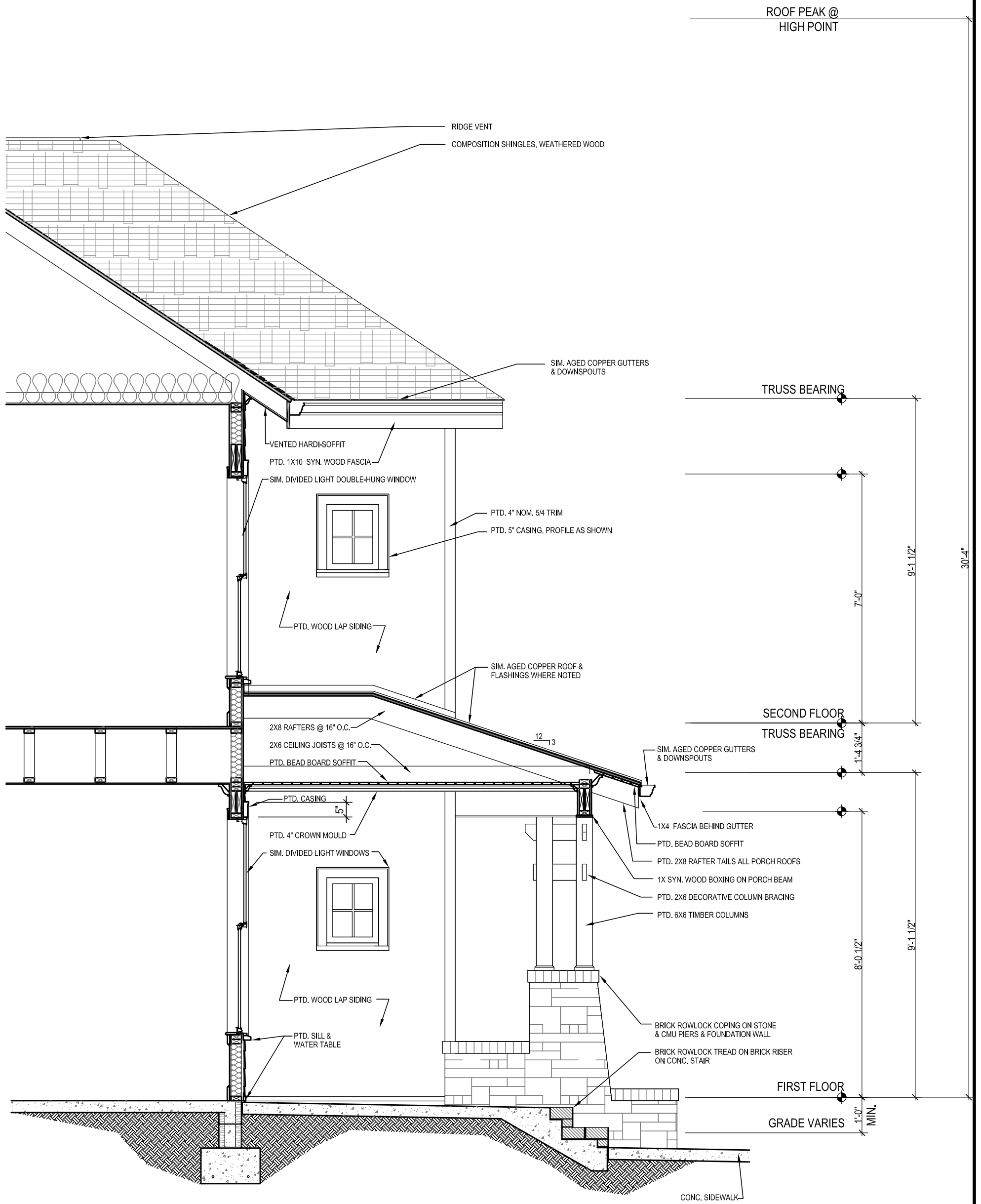
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TYPICAL WALL SECTION @ PORCH

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## TYPICAL WALL SECTION @ PORCH

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