
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1615 Dilworth Road West

SUMMARY OF REQUEST: Addition – Front porch redesign

OWNER: Joan Haubenreiser

APPLICANT: Mike Novick

Details of Proposed Request

Existing Conditions

The existing structure is a two story single family home constructed in 1939. A prominent feature is the terrace on the front facade with a wrought iron railing and supports.

Proposal

The proposal is an addition of columns to support the balcony, extension of the terrace and the addition of metal brackets and new entry porch and steps.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

Additions must respect the original character of the property, but must be distinguishable from the original construction.

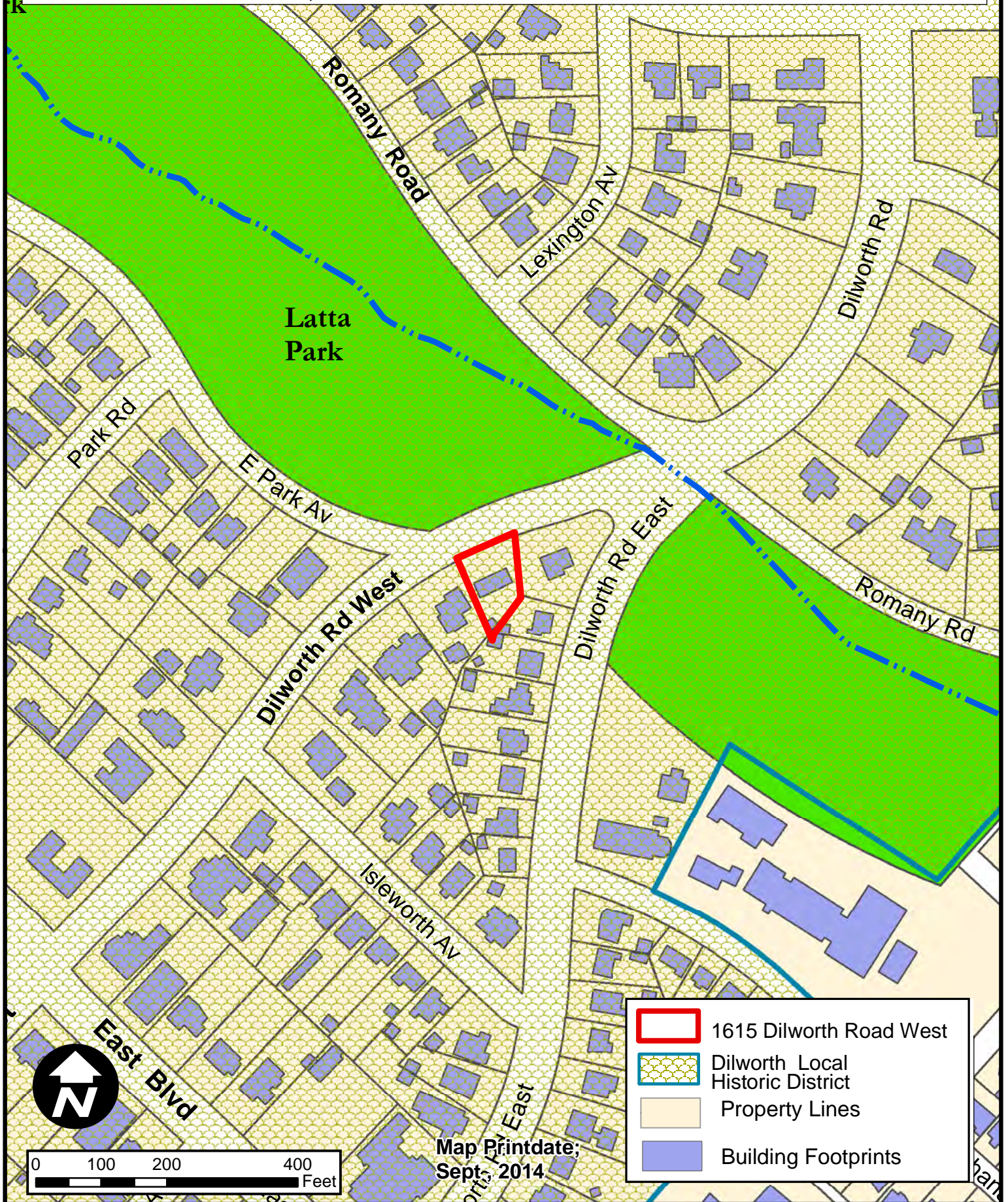
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis:

The Commission will determine if the structure meets the applicable guidelines for additions.

Charlotte Historic District Commission - Case 2014-223

Historic District; Dilworth



1615 Dilworth Road West



Front Elevation View from Sidewalk



Looking at Existing Entry Porch and Balcony above



Looking at Existing Entry Porch and Balcony above from existing sidewalk



View of upper balcony from right side



1615





1623



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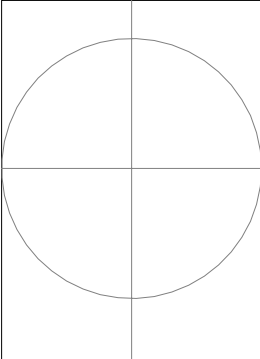
IN PARTNERSHIP WITH
**LIGHTHOUSE
CONSTRUCTION**

MIKE NOVICK, DESIGNER

HAUBENREISER
RESIDENCE

165 DILWORTH ROAD WEST
CHARLOTTE
NORTH CAROLINA
27203

FOR REVIEW
06 JULY, 2014

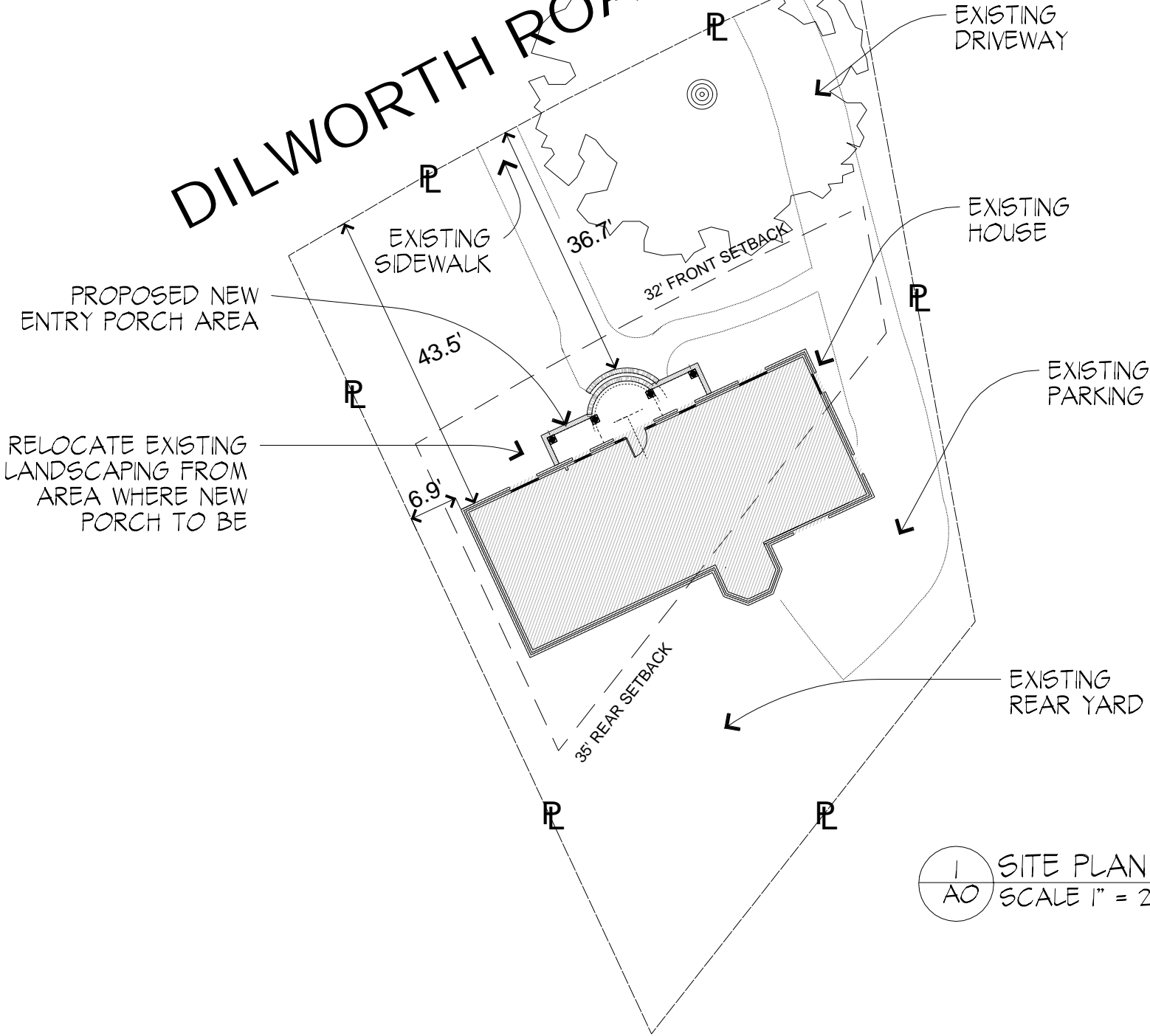


SITE PLAN

A0



DILWORTH ROAD WEST



1 SITE PLAN
A0 SCALE 1" = 20'-0"

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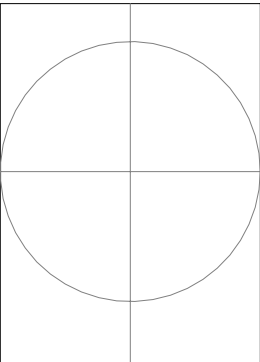
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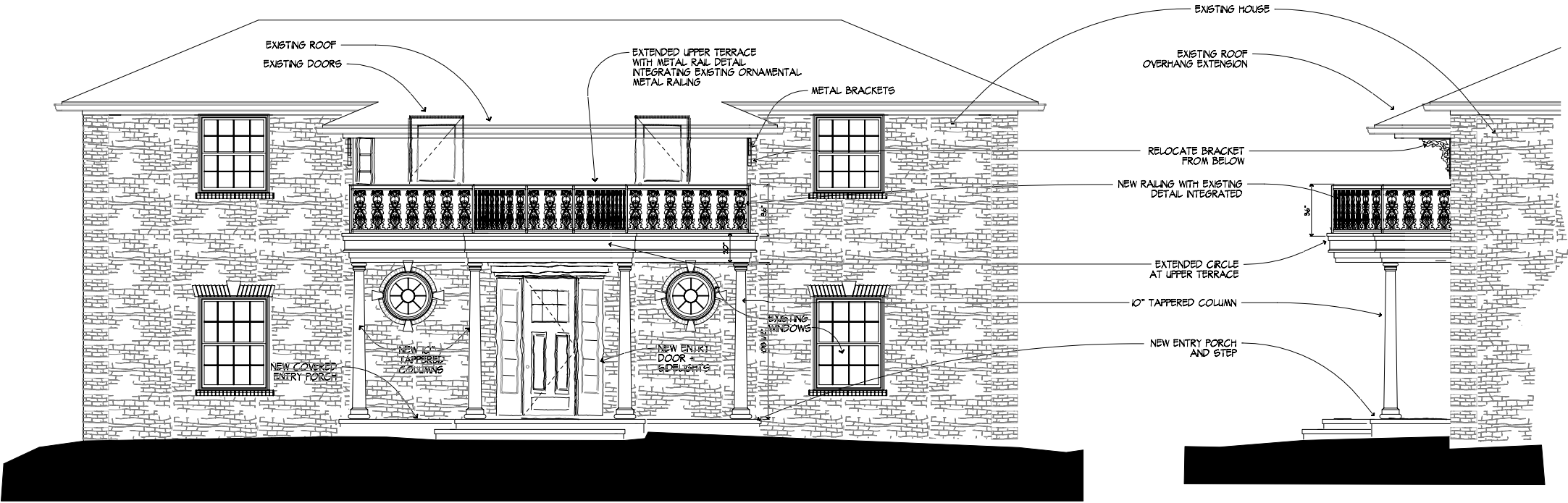
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EXTERIOR ELEVATIONS

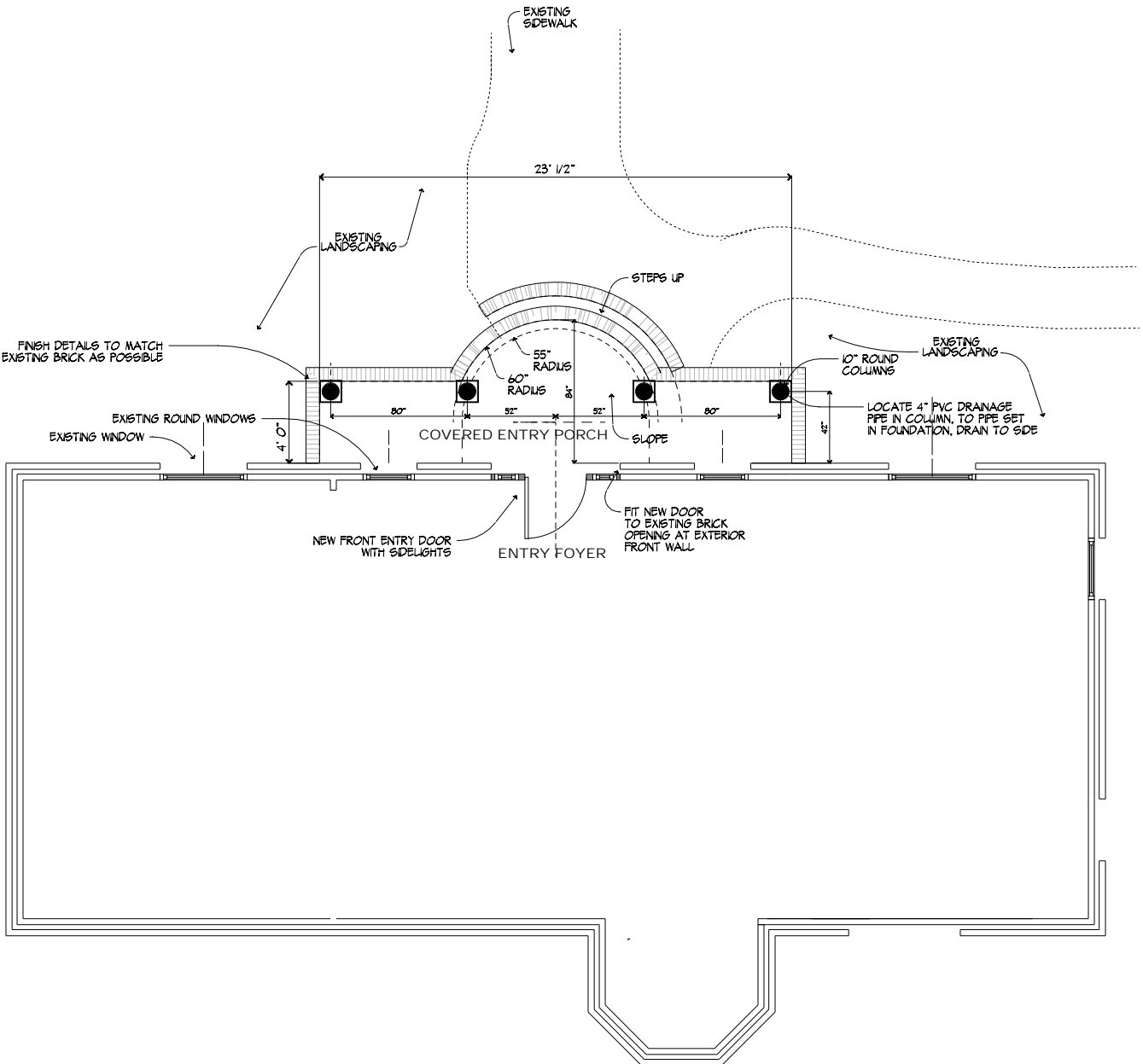
A5.0

FINISH NOTE:
ALL MATERIALS, AND COLORS SHALL
MATCH AS POSSIBLE THE EXISTING
FINISHES AND COLORS



1 FRONT ELEVATION
A5.0 SCALE 1/8" = 1'-0"

2 RIGHT SIDE ELEVATION
A5.0 SCALE 1/8" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
A3.0 SCALE 1/8" = 1'-0"

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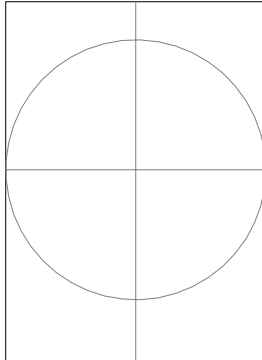
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MAIN LEVEL PLAN

A3.0

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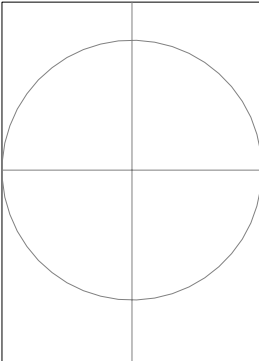
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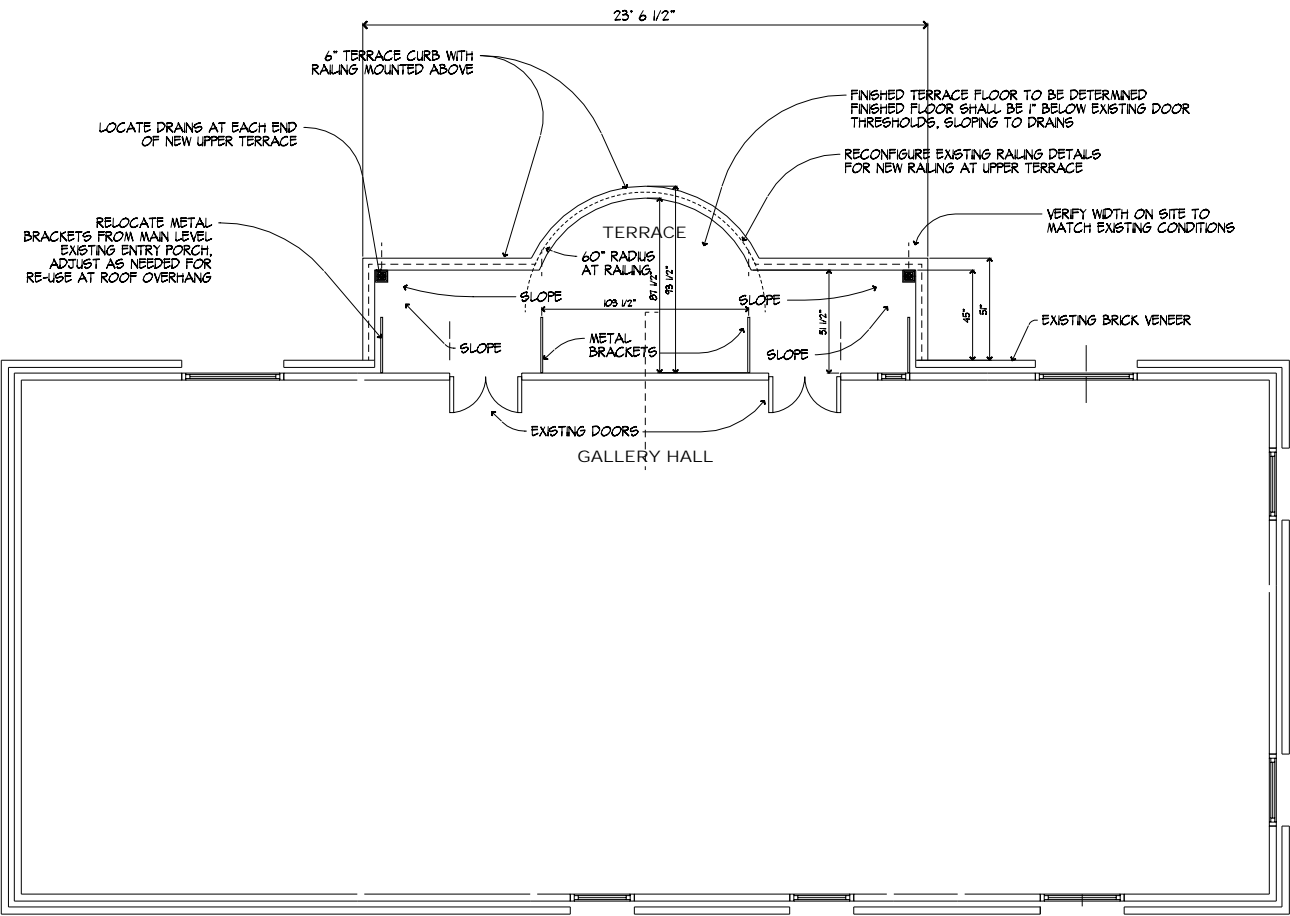
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UPPER LEVEL PLAN



1 UPPER LEVEL FLOOR PLAN
A4.0 SCALE 1/8" = 1'-0"



A4.0