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**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 417 W. Kingston Avenue

**SUMMARY OF REQUEST:** New Construction

**OWNER:** James McMillin

**APPLICANT:** James McMillin

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**Details of Proposed Request**

*Existing Conditions*

A house was relocated to this previously vacant lot from another location within Wilmore. The structure is a two story single family home constructed in 1925. The surrounding context is a variety of 1, 1.5 and 2 story residential structures. The approval for relocation was granted with conditions to be reviewed at a future date. The conditions for review include 1) Wood siding, 2) Retention of the fenestration design, 3) Appropriate front door design, 4) Trim and boxing details, 5) Front porch/wall details, 6) Appropriate retaining wall material, and 7) An assessment of the condition of mature trees. Height and setback were dimensions were approved.

*Proposal*

The updated drawings reflect the conditions from the May design review. Exterior materials include cedar shake siding, brick and wood trim details. Window design is 6/1 SDL with shutters. Section detail of front porch includes wood railing design and wood columns with brick piers. The plan shows the retention of a large maturing tree in the rear yard.

**Policy & Design Guidelines for New Construction**

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the neighborhood in mind. The Historic District Commission does not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often as important, or more important than any decorative details. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while enhancing the character of the new building. The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

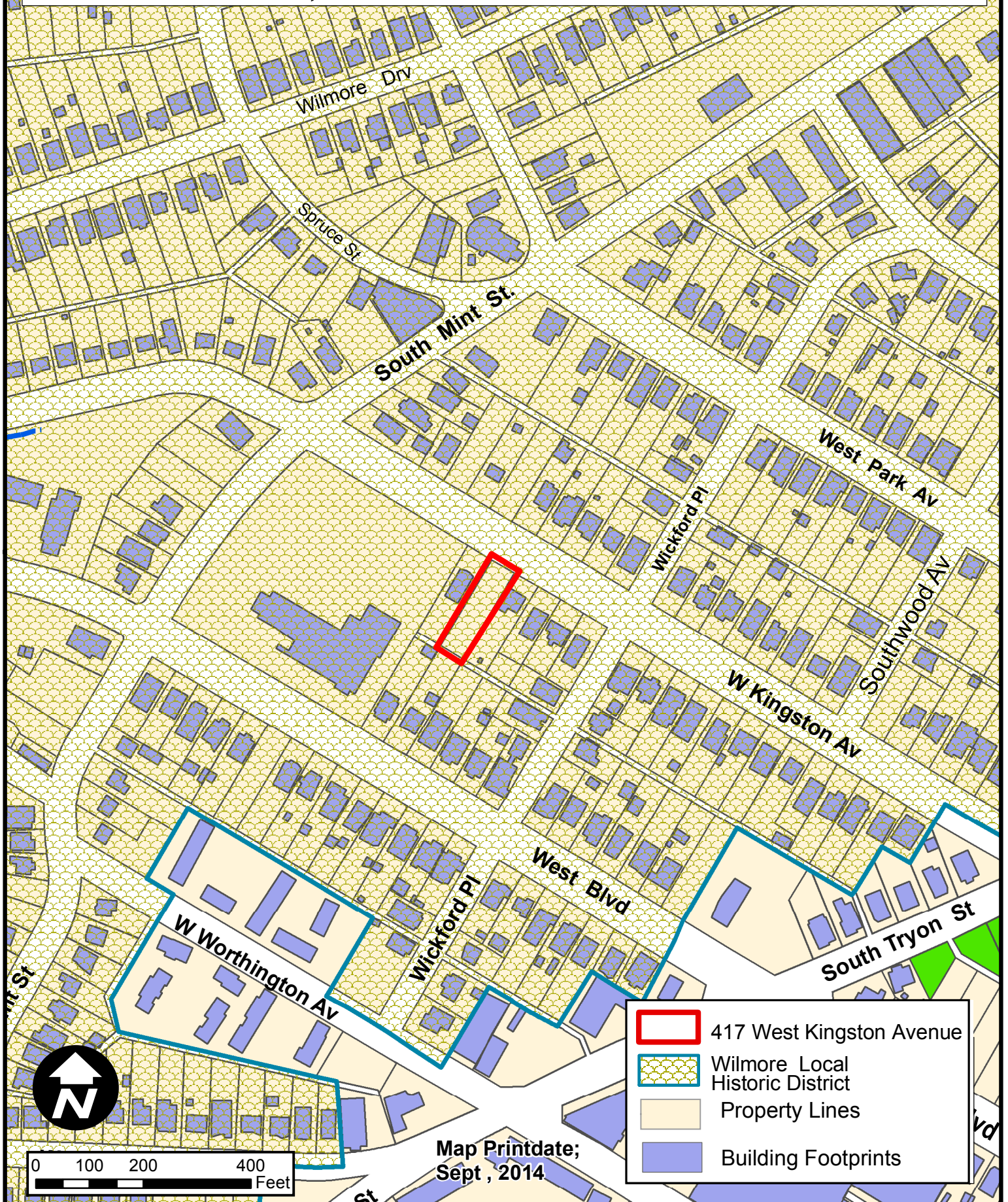
<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. <b>Size</b>	<i>the relationship of the project to its site</i>
2. <b>Scale</b>	<i>the relationship of the building to those around it</i>
3. <b>Massing</b>	<i>the relationship of the building's various parts to each other</i>
4. <b>Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
5. <b>Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
6. <b>Setback</b>	<i>in relation to setback of immediate surroundings</i>
7. <b>Materials</b>	<i>proper historic materials or approved substitutes</i>
8. <b>Context</b>	<i>the overall relationship of the project to its surroundings</i>
9. <b>Landscaping</b>	<i>as a tool to soften and blend the project with the district</i>

**Staff Analysis:**

The Commission will determine if the structure meets the guidelines for new construction.

# Charlotte Historic District Commission - Case 2014-221

## Historic District; Wilmore

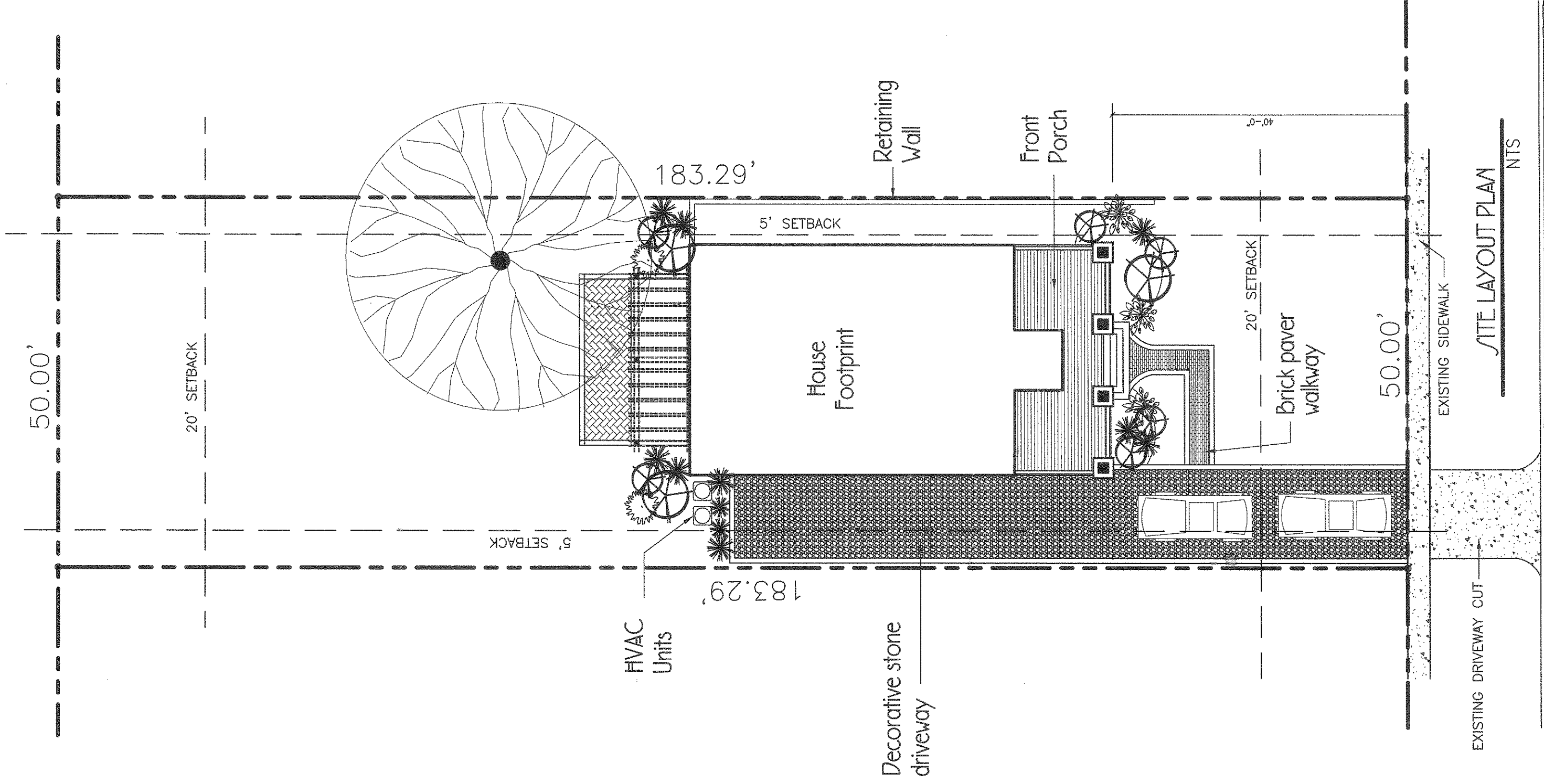






ULTIMATE RECYCLE PROJECT  
McCrory  
Housing





417 Kingston Avenue



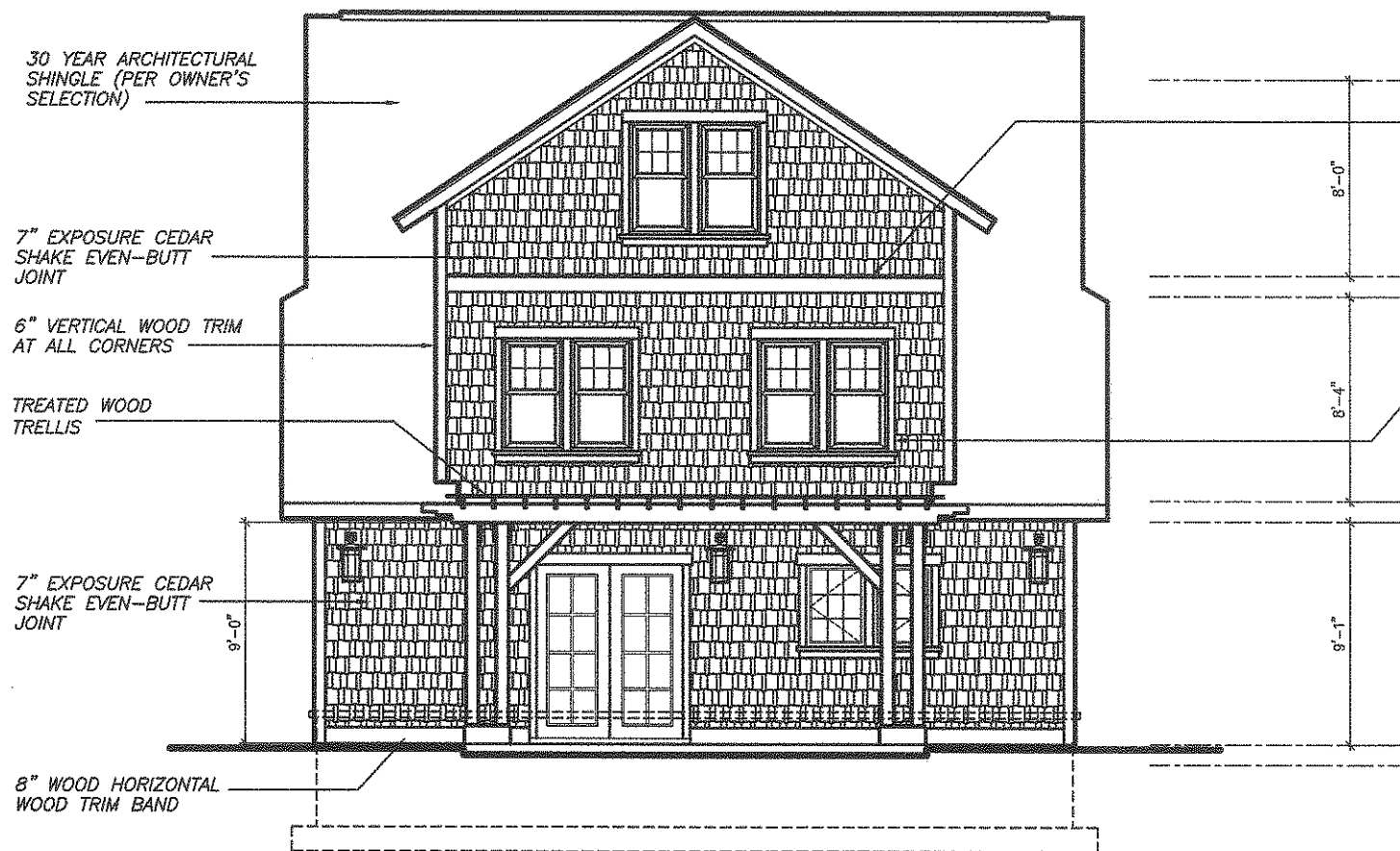
Existing House

Existing House

Proposed House

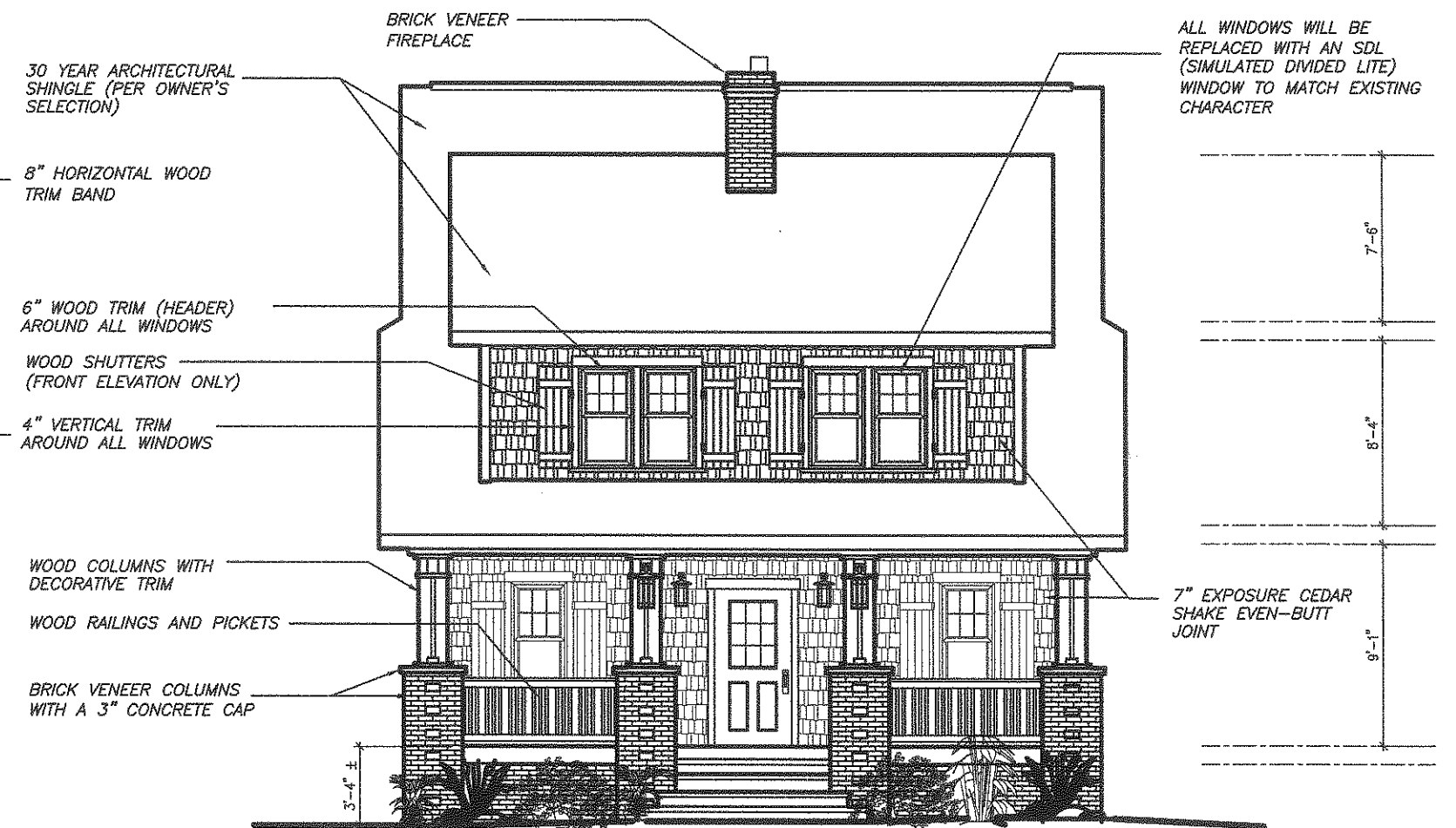
Existing House

417 Kingston Avenue Project



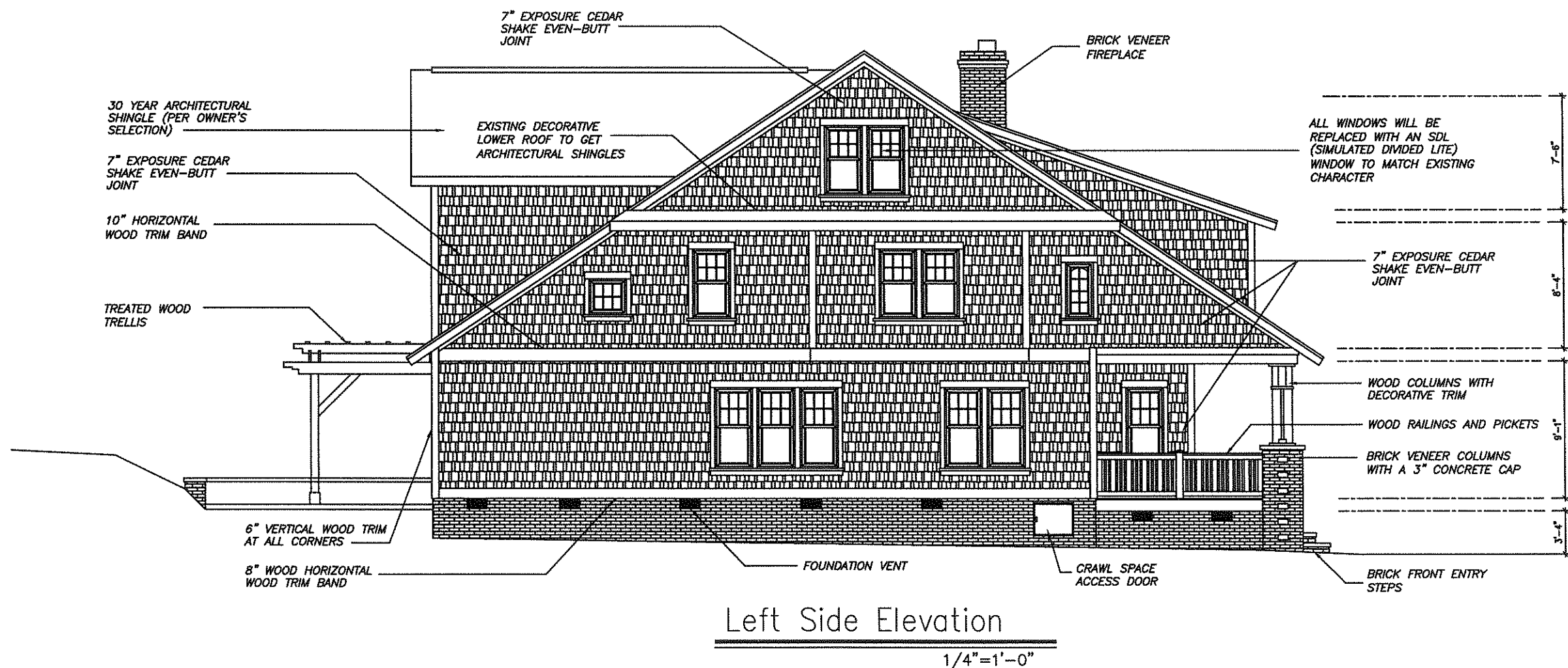
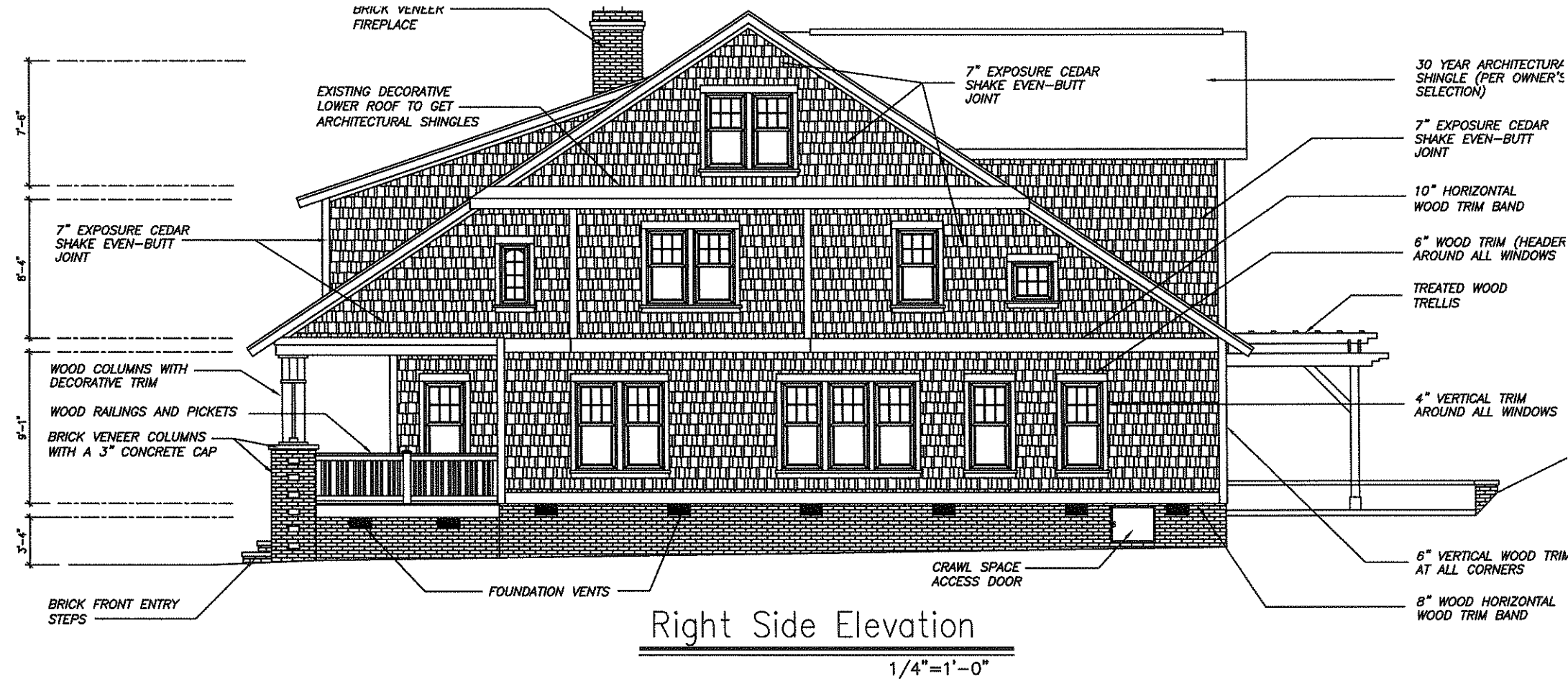
Rear Elevation

$1/4"=1'-0"$

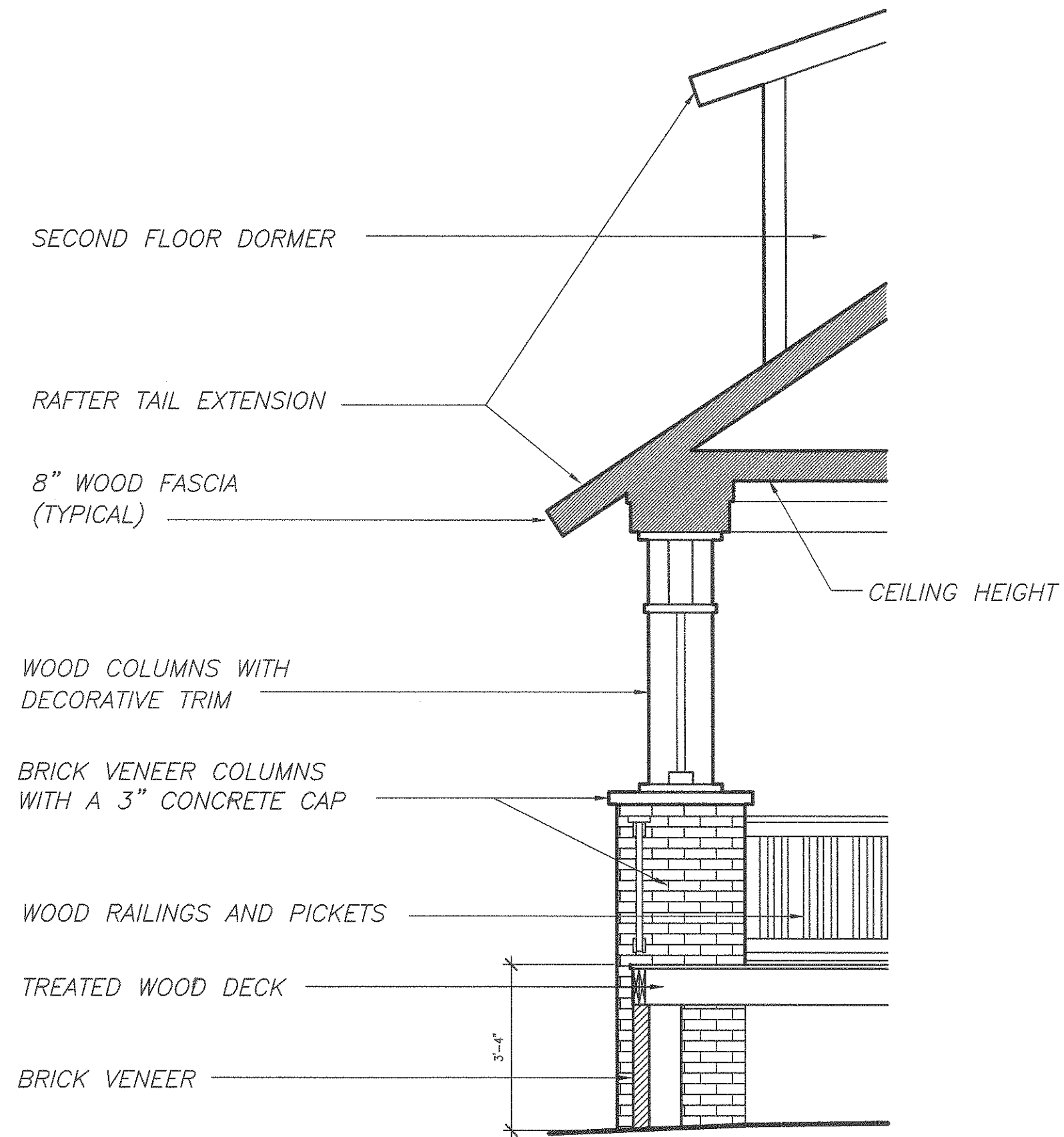


Front Elevation

$1/4"=1'-0"$







## COLUMN DETAIL

1/2" = 1'-0"