
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 2037 The Plaza

SUMMARY OF REQUEST: Addition - Fenestration and material changes, site improvements

OWNER: Michael & Stacy Burtner

APPLICANT: Manus Contracting

This application was continued from October for further design study on, 1) Window design and details, 2) Roof details, and 3) Foundation contrast.

Details of Proposed Request

Existing Conditions

The existing structure is a single family home constructed in 1936, located on a corner lot. The home is single story with Masonite siding.

Proposal – October 8, 2014

The proposal is a renovation project that includes wood siding, window details, roof trim details, privacy fence, and walkway.

Proposal – November 12, 2014

Summary of plan revisions:

1. Fenestration – Windows have been changed from 6/1 to 1/1. Trim dimensions include 6.5" header, 1-3/8" panel mold and 3- 1/2" brick mold.
2. Roof details – Cedar shake replaced with wood lap. Eave brackets removed.
3. Foundation will be a contrasting color from primary structure.

Policy & Design Guidelines

Windows and Doors (page 26)

3. All replacement windows must have either true divided lights, or molded exterior muntins, if appropriate. Flat exterior or interior false muntins are not in keeping with the character of most older structures. Muntin design must reflect the original window configuration. False muntin bars, if used, will be permanently affixed to the exterior of the new windows.
5. All newly installed and replacement windows must have proper trim that recognizes historic precedent on the building and its context.

Building Materials (page 48)

1. The use of historically traditional building materials is strongly encouraged in all renovation, addition and new construction projects in Local Historic Districts.
2. Historic precedents in the visual context of any project indicate appropriate choices for building materials.
3. All building materials must match the character of the existing structure and/or the streetscape in design, texture and other visual qualities.

Fencing (page 56)

3. Fencing visible from any public street must be judged appropriate to the district. It must have texture resulting from an interplay of light and dark materials or solids and voids. Solid privacy fences that would be substantially visible from the street are not allowed.
4. The structural members of any fence must face inward to the property being fenced. The HDC will consider approving fences where the structural members are an integral part of an overall design, and where both sides of the proposed fence are identical.
5. Wooden fences must be painted or stained in an appropriate fashion.
6. No fencing may be over six feet in height, as measured from the outside at grade.
7. Fencing materials and details must be appropriate to the architectural style of the building they enclose.
8. Fencing must avoid any style that presents a long unbroken expanse to adjacent properties or to public thoroughways.
9. All sides must be appropriately finished.
10. On corner lots on residential streets, privacy fences in rear yards must be screened with appropriate landscaping materials.

Landscape and Site Features (page 60)

1. Inspiration for the design of these structures should be drawn from similar historic structures found in the Local Historic District.
2. Historic precedents indicate appropriate materials such as stone, brick and concrete.
3. Walks and walkways in front and side yards or those that are substantially visible from the street should follow the historic design precedents of their environment.

Parking Areas, Paving and Driveways (page 63)

2. No paving materials are specifically prohibited by the HDC. The appropriateness of non-traditional or alternative paving materials and styles will be considered on a case-by-case basis. Asphalt paving is not allowed for sidewalks, curb cuts, and aprons.

Additions (page 36)

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

Additions must respect the original character of the property, but must be distinguishable from the original construction.

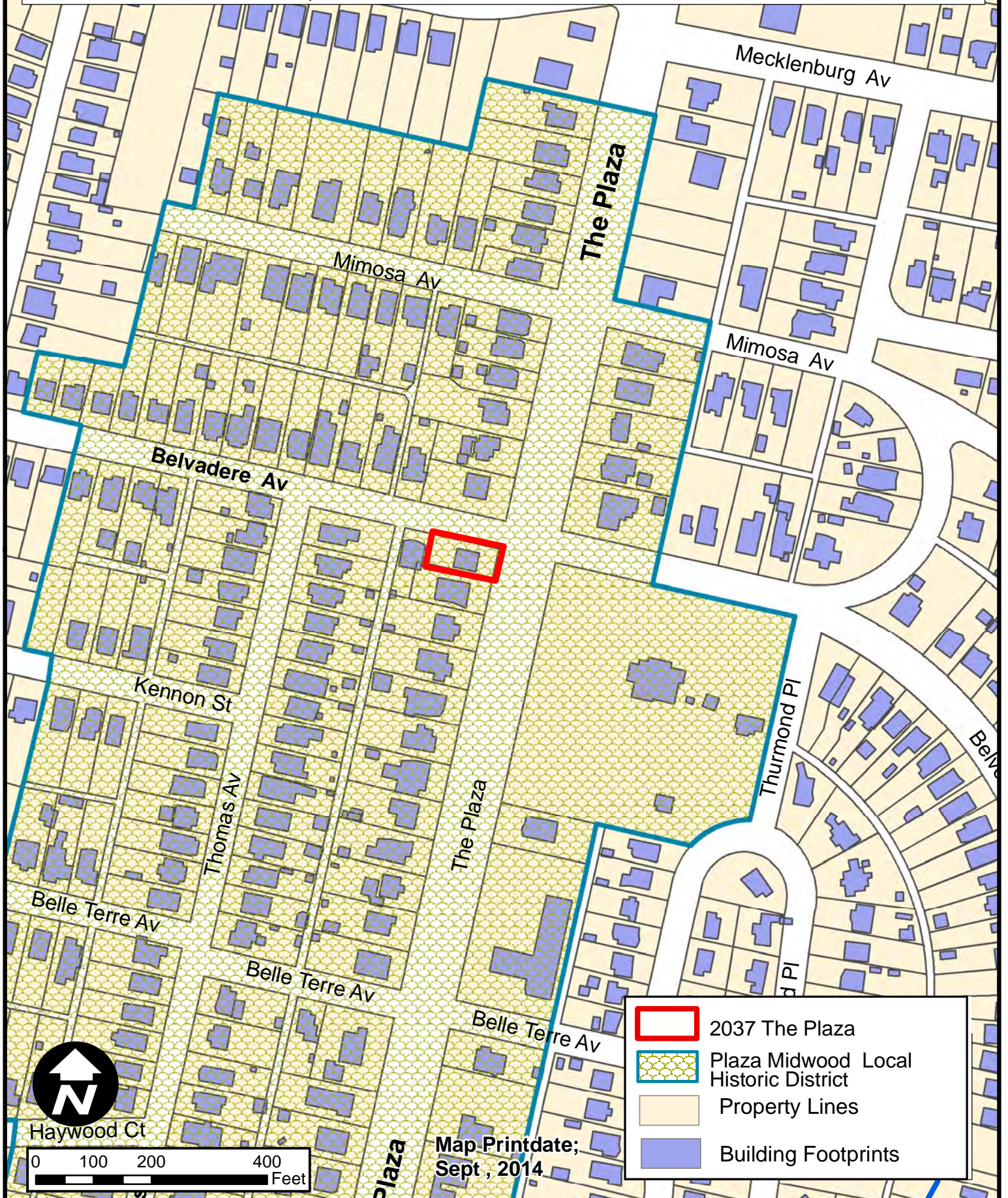
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposed improvements meet the applicable design guidelines.

Charlotte Historic District Commission - Case 2014-216

Historic District; Plaza Midwood



October 2014

SONGFISHER LLC

1309 Providence Road
Charlotte, NC 28207
Tel: 704-544-8210 Email: Adesso99@yahoo.com

29 September 2014

Charlotte Historic District Commission
Charlotte Mecklenburg Planning Department
600 East 4th Street
Charlotte, NC 28202

RE: HDC Approval – October
2037 The Plaza, Plaza Midwood Historic District



We intend to renovate this home with period likeness to emulate the elegance and charm of the neighborhood. Our team has a common goal of reviving the appeal that has built and shaped this neighborhood and community for over 100 years. Specific plans are:

1. House siding changing to cedar lap siding with cedar shake in the peaks and under the bay window
2. Window trim to be upgraded
3. Window mullions to be added in all top window sashes (see exhibit)
4. Fencing to be added (sample included in exhibit)
5. A front walk from the front door to the sidewalk to be added
6. Side staircase to be changed to steps are alongside the house; walk to sidewalk to be removed
7. Cobbled stamped concrete walk to be added from the bottom of staircase to the asphalt drive
8. A/C unit to be replaced and moved to the other side of the house and inside the fence
9. Patio to be added of cobbled stamped concrete
10. Decorative cedar rafter tails on back of house with up to 28" projection over patio
11. Corbels to be added under roof line where appropriate

We hope that this will be the first of many renovations in Plaza Midwood/Charlotte for our team. We have extensive experience with historic properties and enjoy the character and history an older home provides.

Regards,

Stacy Stephens Burtner, President
Songfisher LLC
704-544-8210

Chris Manus, Manus Contracting Services
NCGC Lic# 73847, RRP Certified
704-400-2962

November 2014

SONGFISHER LLC

1309 Providence Road
Charlotte, NC 28207
Tel: 704-544-8210 Email: Adesso99@yahoo.com

14 October 2014

Charlotte Historic District Commission
Charlotte Mecklenburg Planning Department
600 East 4th Street
Charlotte, NC 28202

RE: HDC Approval – November Continuation
2037 The Plaza, Plaza Midwood Historic District



We intend to renovate this home with period likeness to emulate the elegance and charm of the neighborhood. Our team has a common goal of reviving the appeal that has built and shaped this neighborhood and community for over 100 years. Our modified plans include:

1. No mullions will be added to the window glass
2. Window trim to be enhanced to _6.5 inch header with 1 3/8 panel mold applied to the top edge, brick mold 3 1/2 flat stock, and traditional sub-sill and apron.
3. No cedar shake addition
4. Current siding to be replaced with cedar siding; smooth face 5/8" thick beveled cedar
5. Front cement walk from front door step to sidewalk to be added 3' 6" feet wide
6. 5' 6" foot wooden stained fence to be added according to exhibit allowing 30 inches of space for planting next to public sidewalk; no vehicular gate
7. Adding cobbled stamped concrete walk 3'6" from the side staircase to the asphalt drive
8. Adding cobbled stamped concrete patio (10'x18')
9. No corbels to be added
10. Stained cedar rafter tails to be added at the back of the house with 28" projection

We hope that this will be the first of many renovations in Plaza Midwood/Charlotte for our team. We have extensive experience with historic properties and enjoy the character and history an older home provides.

Regards,

Stacy Stephens Burtner, President
Songfisher LLC
704-544-8210
enclos.

Chris Manus, Manus Contracting Services
NCGC Lic# 73847, RRP Certified
704-400-2962

October 2014



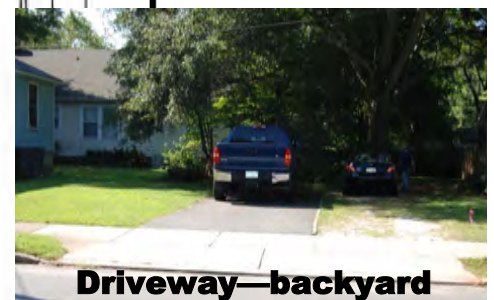
Current Photos



2037 The Plaza



Belvedere side



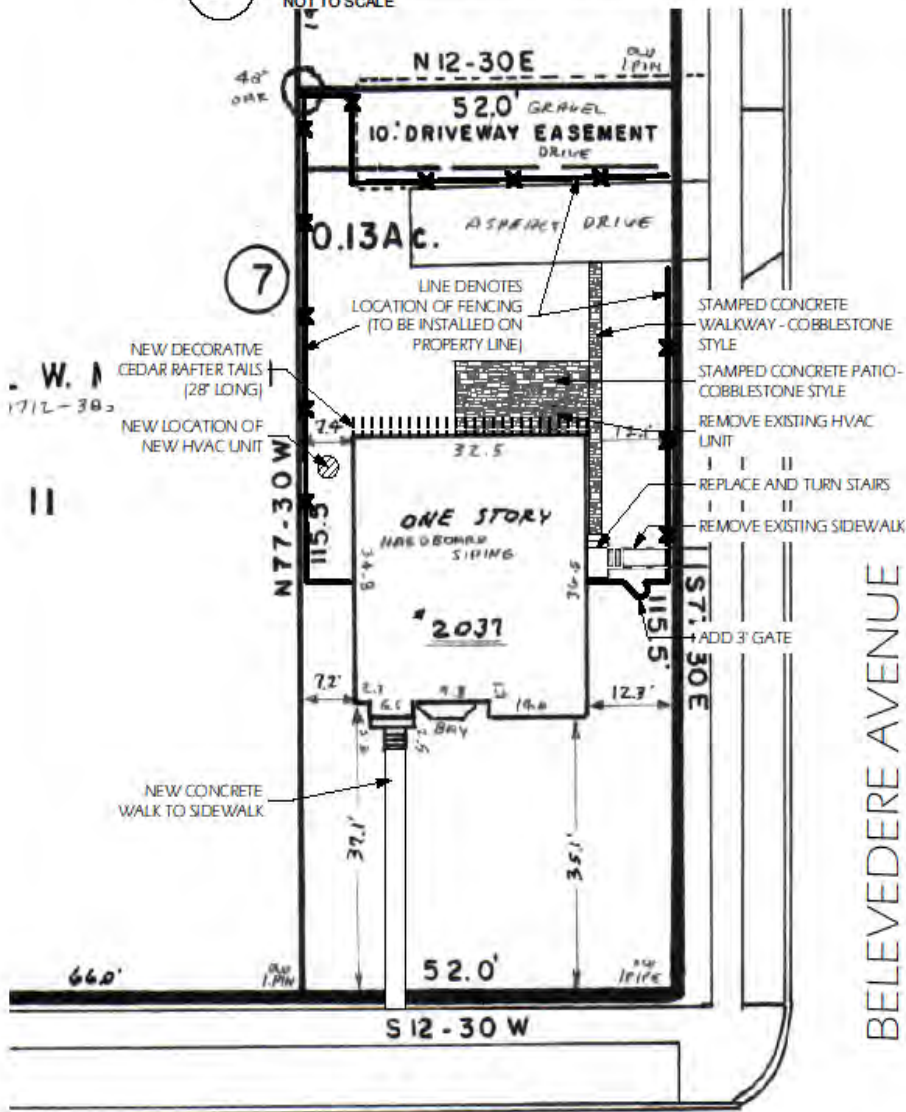
Driveway—backyard



Fence style proposal

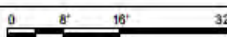
2 FRONT ELEVATION

NOT TO SCALE



1 SITE PLAN

SCALE: 1/16" = 1'-0"



JBA
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Songfisher, LLC Project
2037 The Plaza
Charlotte, NC 28025

DATE:
9/26/2014

DRAWN BY:
JAB

SHEET NUMBER:

SCALE:

PROJECT NO:
14.620

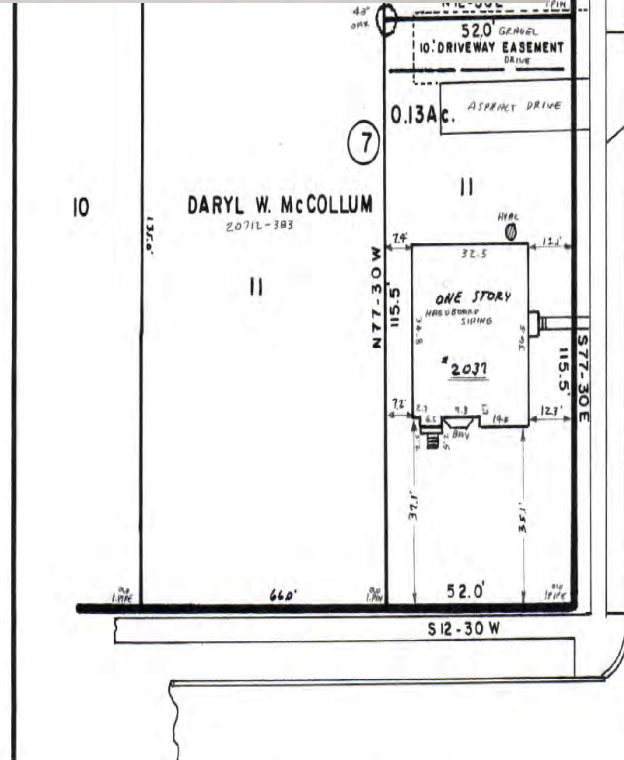
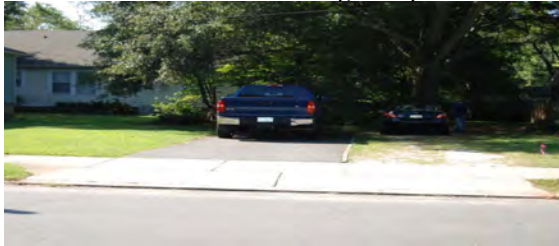
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SHEET TITLE:

SITE PLAN

November 2014

Current driveway/backyard

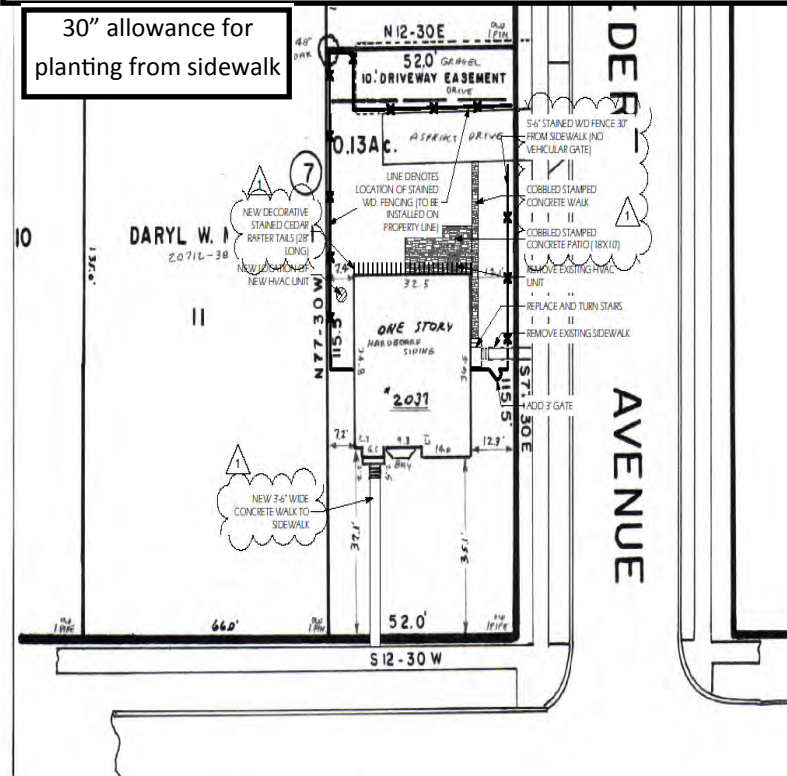


1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

New stained Fence 5'6" Window trim upgrade 28" Rafter tail design



30" allowance for planting from sidewalk



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

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Songfisher, LLC Project
2037 The Plaza
Charlotte, NC 28025

0	Date:	Revision:
1	10/13/14	REVIEWS

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DATE:	DRAWN BY:
10/13/2014	JAB
SCALE:	PROJECT NO:
	14620
CHECKED BY:	JENNIFER BENSON
SHEET TITLE:	SITE PLAN
SHEET NUMBER:	



Belvedere street view



2037 The Plaza



Renovation of 2037 The Plaza Revision 11-2014



Current siding to be replaced with cedar siding; smooth face 5/8" thick beveled cedar. No cedar shake addition. No mullions will be added to the window glass .

Window trim to be enhanced to _6.5 inch header with 1 3/8 panel mold applied to the top edge, brick mold 3 1/2 flat stock, and traditional sub-sill and apron. Sample below.



Existing parging on foundation to be repaired and painted a darker colour.

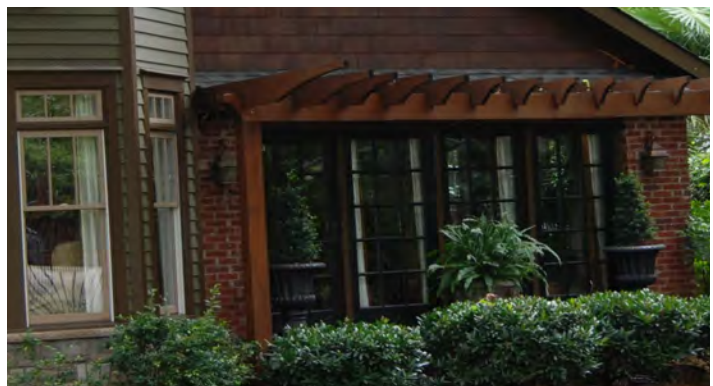
Porch to be cleaned and repaired; brick steps to be replaced with only one type of red brick.



28 " Rafter tail design to be added to the back of the house over patio.



Sample of exterior colour to be painted on lap siding.















2033