
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1165 Linganore Place

SUMMARY OF REQUEST: New Construction - Garage

OWNER: Kimberly Newman

APPLICANT: Bill Prestwood

Details of Proposed Request

Existing Conditions

The existing home is a 1.5 story Tudor Revival constructed in 1930. It is a contributing structure.

Proposal

The proposal is the removal of a detached carport and construction of a 1.5 story detached garage. The garage will be of a lower scale than the house. Details include a slate roof, shed dormers. Carriage style doors, casement windows and other trim details to match the home.

Policy & Design Guidelines for Garages

1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.
5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

Policy & Design Guidelines for New Construction

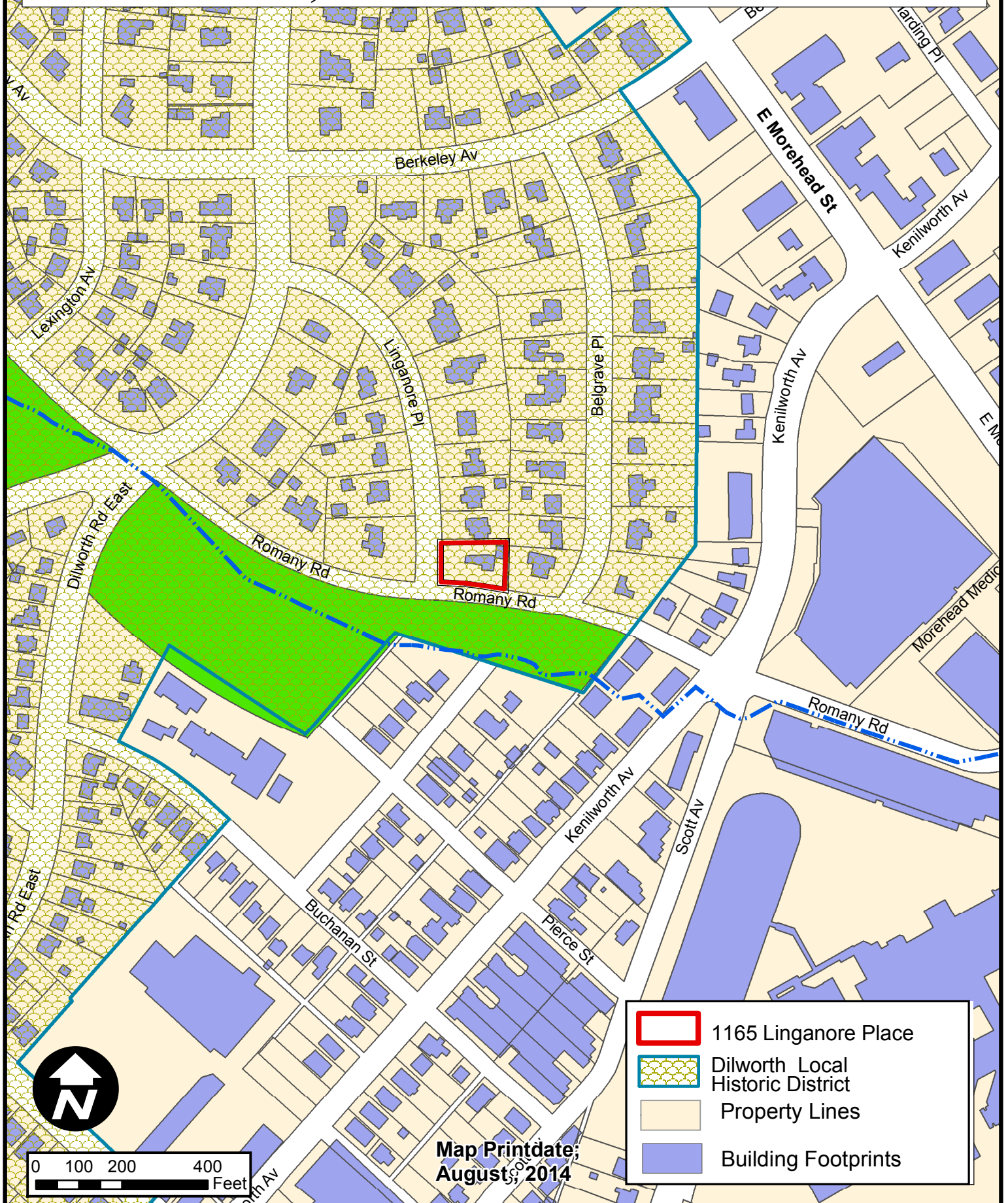
<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis

The Commission will determine if the garage meets the applicable guidelines for new construction.

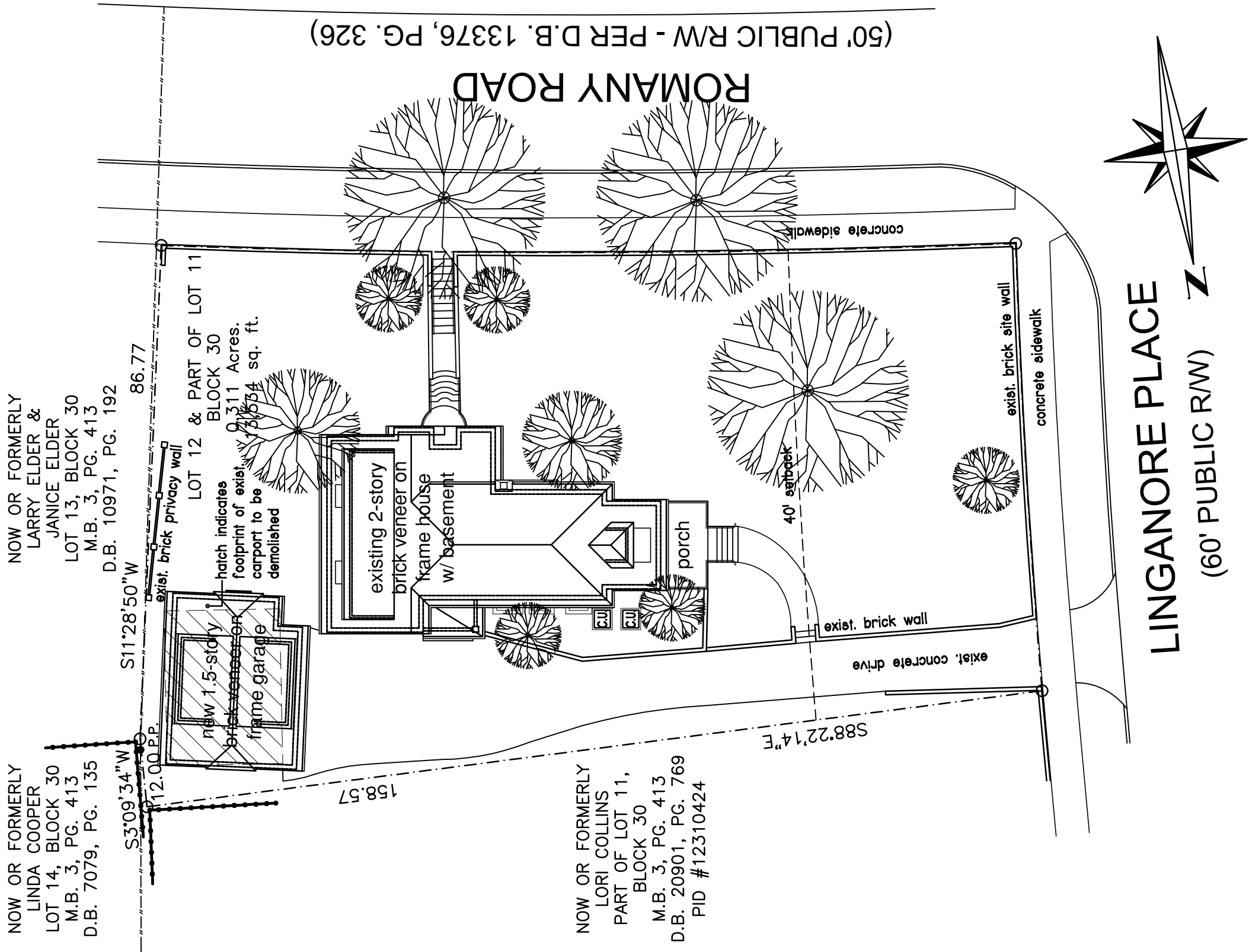
Charlotte Historic District Commission - Case 2014-161

Historic District; Dilworth









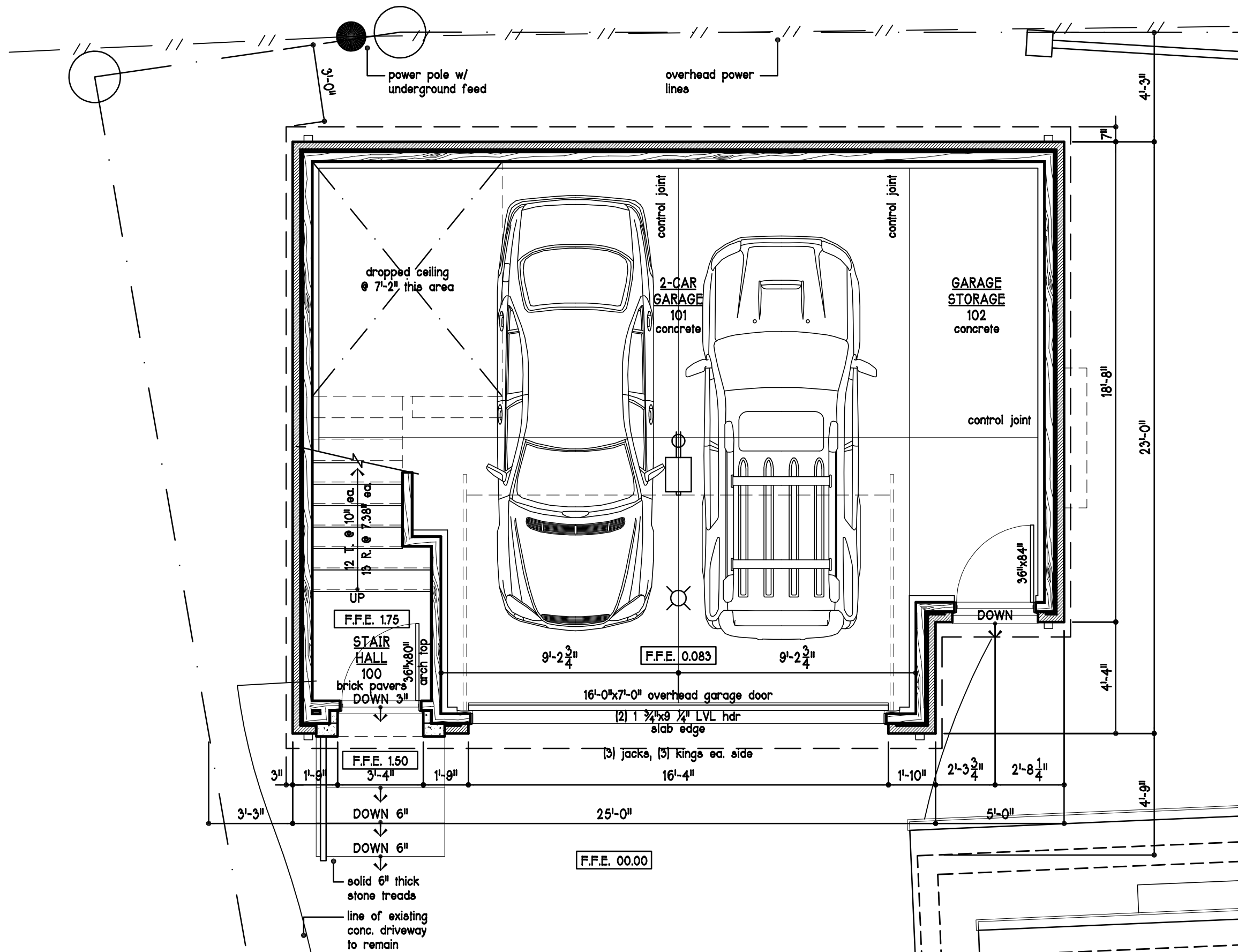
DETACHED GARAGE
1 SITE PLAN
HDC0 SCALE: 1" = 20'-0"

Newman Garage
1165 Linganore Place
Charlotte, NC

DonDuffy
Architecture
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DETACHED GARAGE

1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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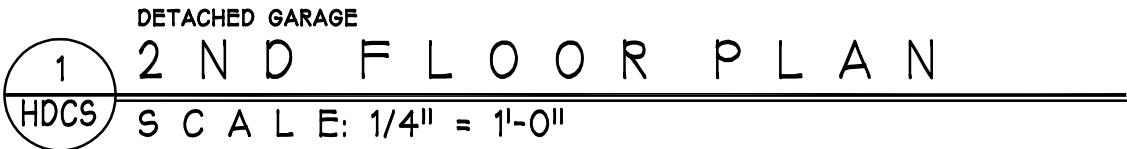
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DETACHED GARAGE - VIEW FROM LINGANORE PLACE

1 FRONT ELEVATION

HDC3

SCALE: 1/4" = 1'-0"

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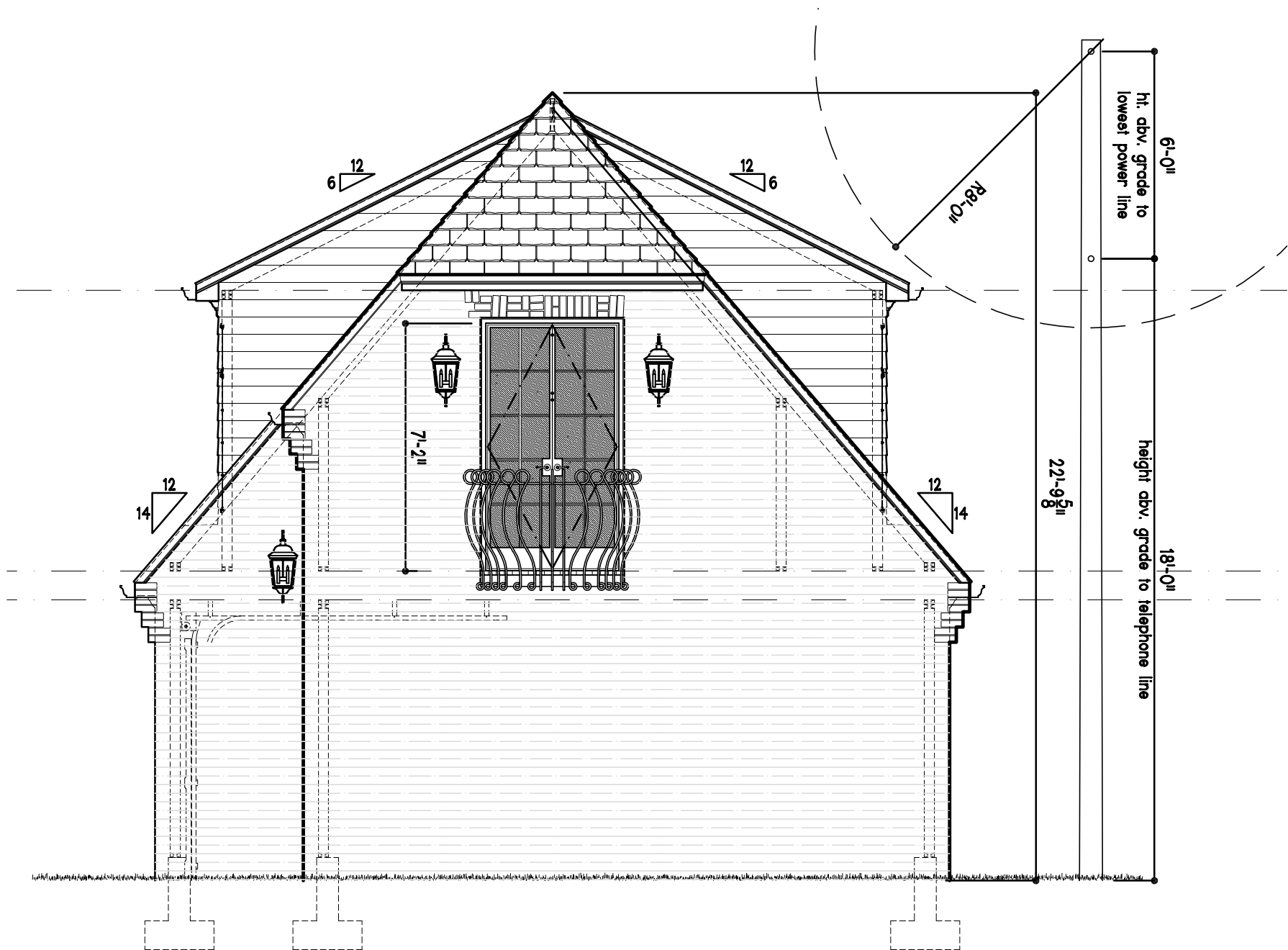
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DETACHED GARAGE - VIEW FROM ROMANY ROAD

1 SIDE ELEVATION

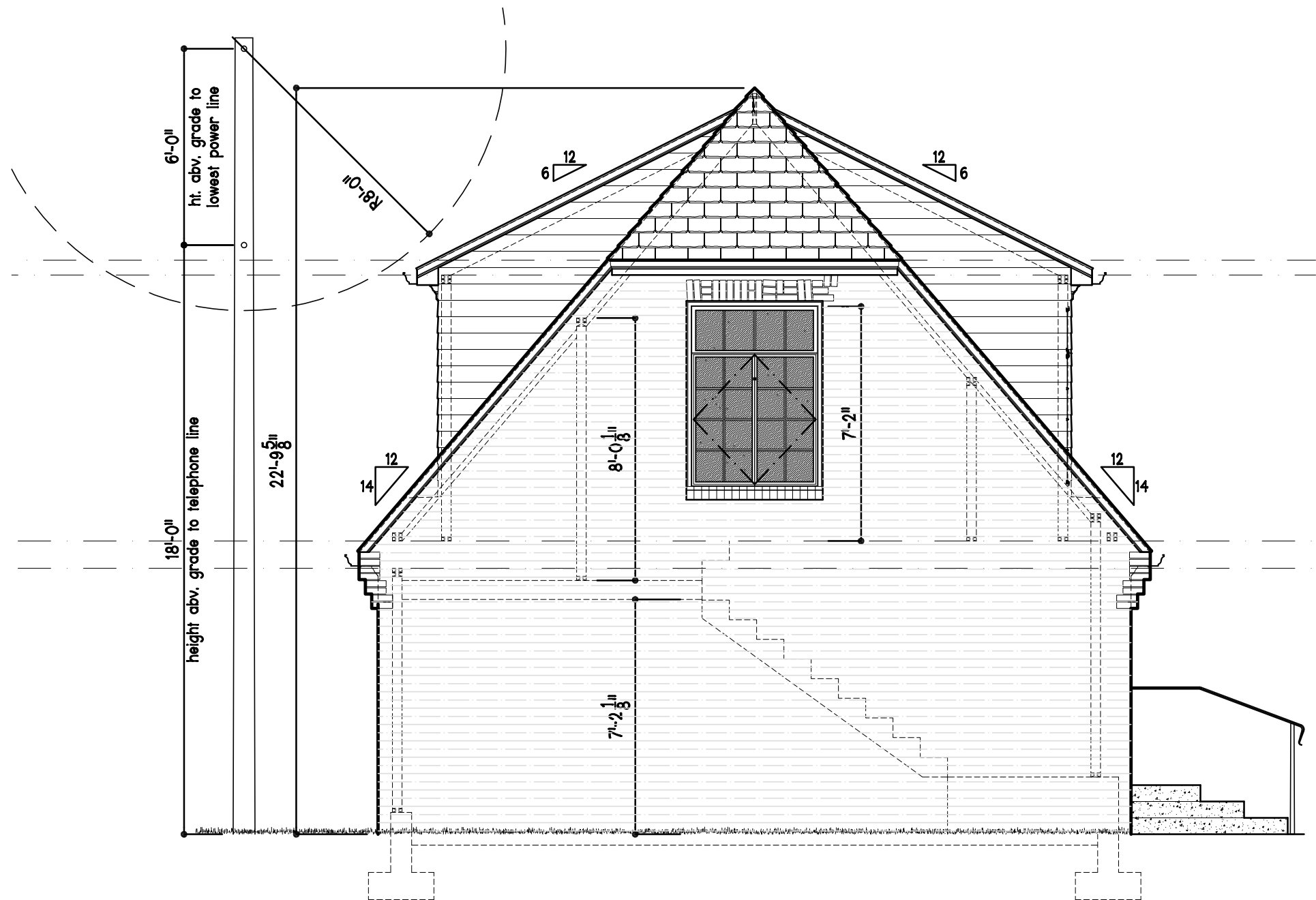
SCALE: 1/4" = 1'-0"

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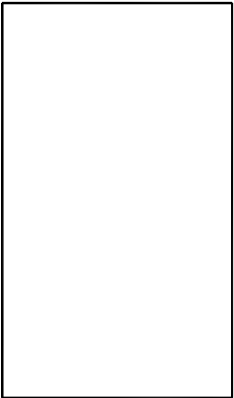
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DETACHED GARAGE - VIEW FROM AJJOINING PROPERTY

SIDE ELEVATION

S C A L E: 1/4" = 1'-0"

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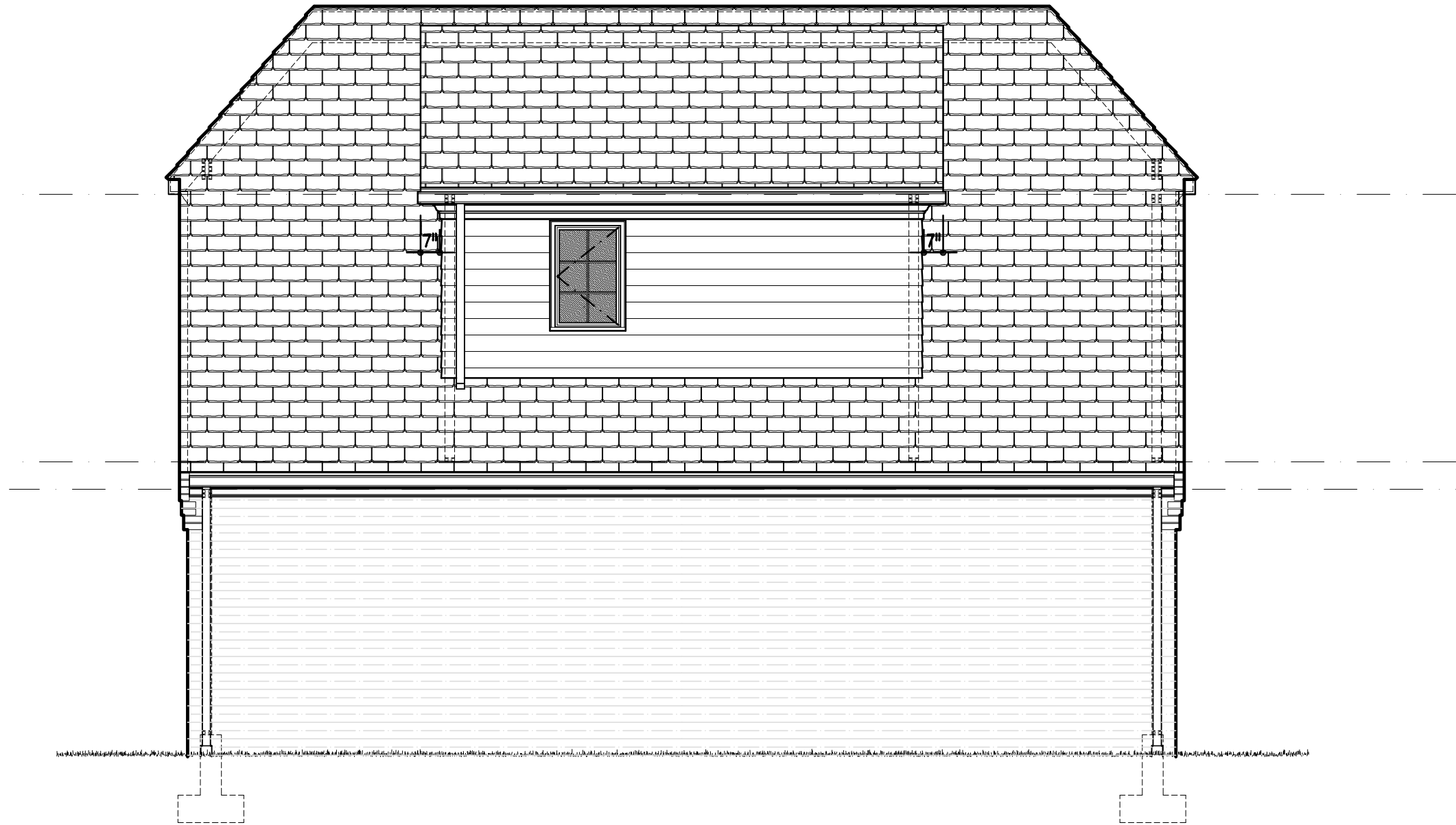
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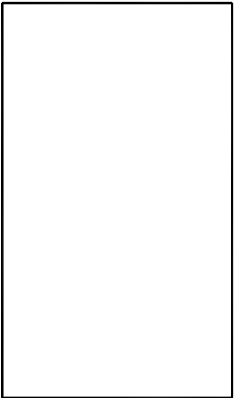
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DETACHED GARAGE - VIEW FROM LINGANORE PLACE
R E A R E L E V A T I O N
S C A L E: 1/4" = 1'-0"

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HDC5a

DETACHED GARAGE & EXISTING HOUSE

SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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DETACHED GARAGE & EXISTING HOUSE - VIEW FROM ROMANY ROAD

SIDE ELEVATION

SCALE: 1/4" = 1'-0"

1

HDC4a