

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 906 Magnolia Avenue

**SUMMARY OF REQUEST:** Addition

**OWNER:** Jeff Morgart

**APPLICANT:** ALB Architecture

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure is a 1 story Bungalow listed as a contributing structure, ca 1925. It has a high hip roof with front bracketed gable dormer and a side gable over the porch. The surrounding context is 1, 1.5 and 2 story single family homes.

#### *Proposal*

The proposal is an addition to right side not to be taller than the existing structure. A portion of the addition will extend beyond the existing right thermal wall. Materials, fenestration and other building details will be consistent with the existing home.

### **Policy & Design Guidelines**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

Continued on page 2.

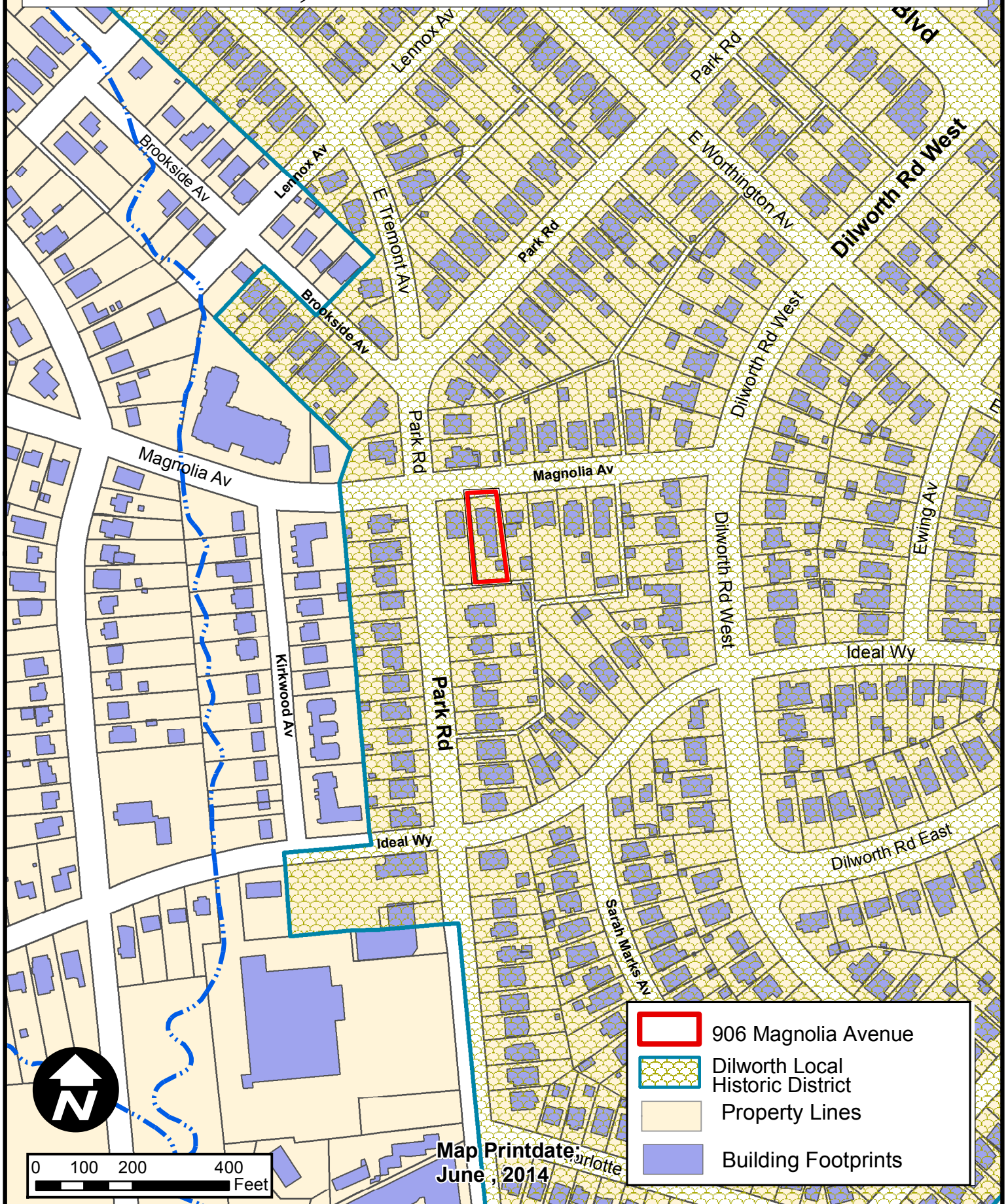
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis**

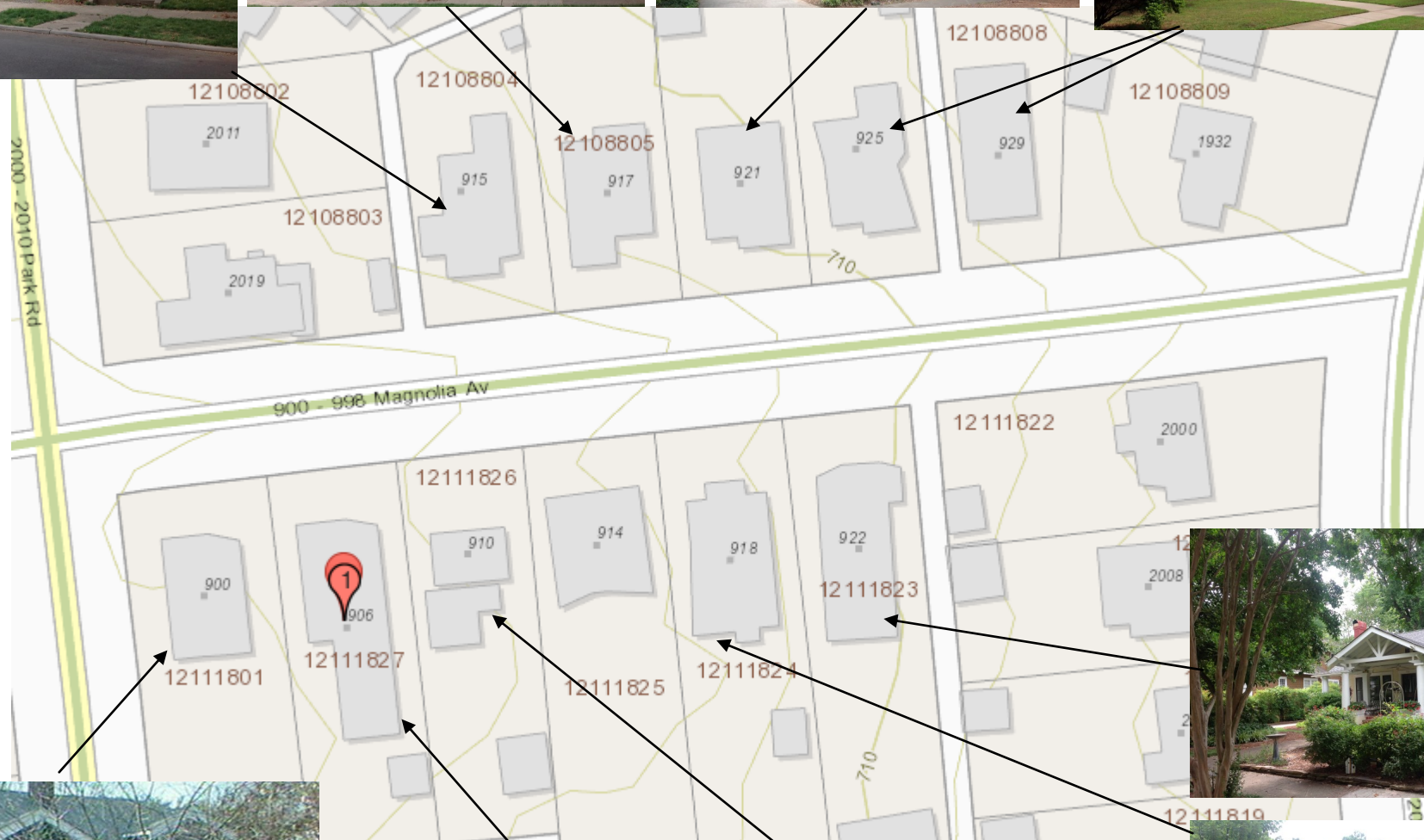
The Commission shall determine if the proposal meets the guidelines for additions. The guideline for Setback is not applicable.

# Charlotte Historic District Commission - Case 2014-133

## Historic Distric; Dilworth











VICINITY MAP



NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-1 Existing & Proposed Site Plan
- A-2 Existing Plans
- A-3 Existing Plans
- A-4 Existing Elevations
- A-5 Existing Elevations
- A-6 Proposed Plans
- A-7 Proposed Plans
- A-8 Proposed Plans
- A-9 Proposed Elevations
- A-10 Proposed Elevations

SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing First Floor:	2,312 S.F.	216 S.F.
	+	+
Proposed First Floor:	694 S.F.	49 S.F.
Total:	3006 S.F.	265 S.F.
Total Under Roof:	3,271 S.F.	

ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595  
E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com

30 JUN 2014

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

COVER SHEET

**A-0**

OF: ELEVEN





WATERFALL POOL @ BACK YARD



SUBJECT HOUSE LEFT SIDE @ REAR



SUBJECT HOUSE LEFT SIDE @ REAR



SUBJECT HOUSE AT LEFT SIDE @ FRONT



SUBJECT HOUSE AT FRONT LEFT



SUBJECT HOUSE AT FRONT RIGHT



RIGHT SIDE GABLE @ FRONT PORCH



SUBJECT HOUSE AT RIGHT SIDE @ FRONT



KITCHEN CORNER WHERE NEW ADDITION W/PORCH ADDED



SUBJECT HOUSE AT REAR RIGHT WHERE  
SIDE ADDITION WILL BE



RIGHT REAR PORCH TO BE ENCLOSED

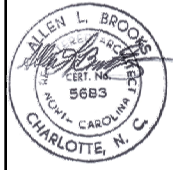


SUBJECT HOUSE AT REAR WHERE A SMALL BAY WOULD BE ADDED



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



30 JUN 2014

504  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

Addition & Renovation *for the:*  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

SITE CONTEXT

OF: ELEVEN





HOUSE ACROSS STREET FACING PARK



900 MAGNOLIA HOUSE TO RIGHT



CORNER OF MAGNOLIA PARK



STREET SCAPE TO LEFT



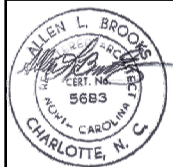
SUBJECT HOUSE @  
906 MAGNOLIA AVENUE



STREET SCAPE TO RIGHT



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595  
  
E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



30 JUN 2014

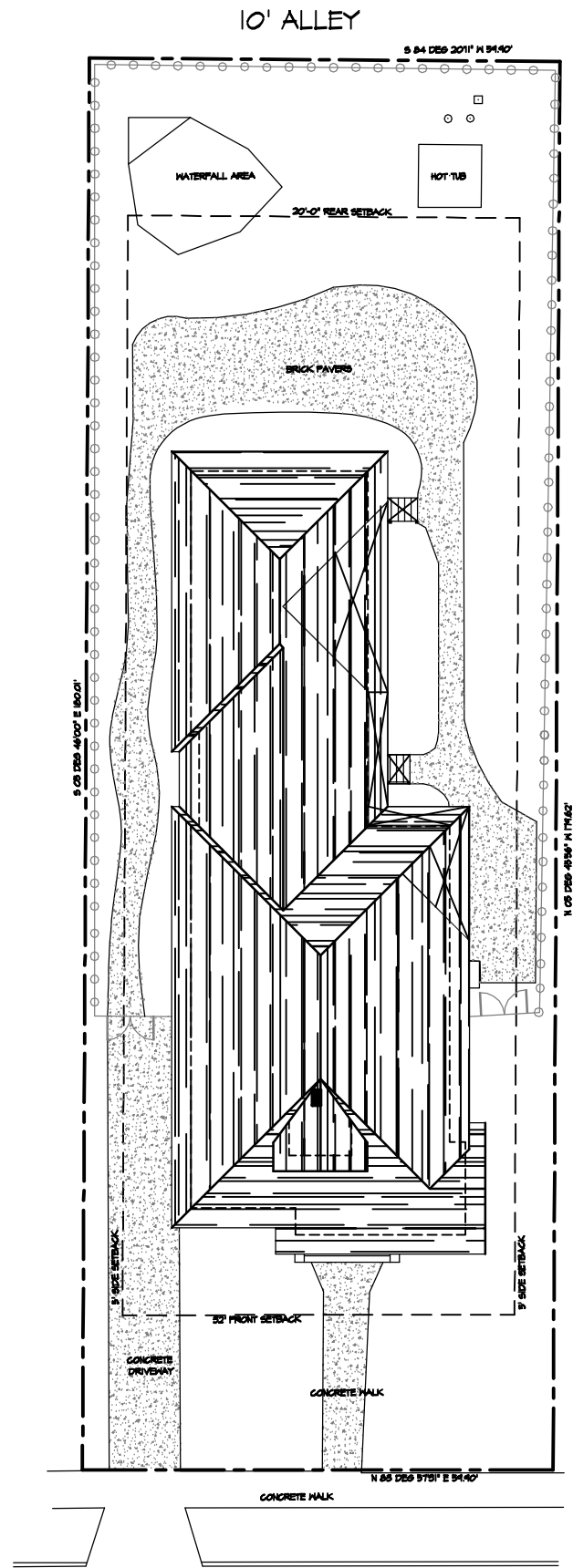
504

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. For use on any other project is prohibited. This drawing is to be returned upon request.

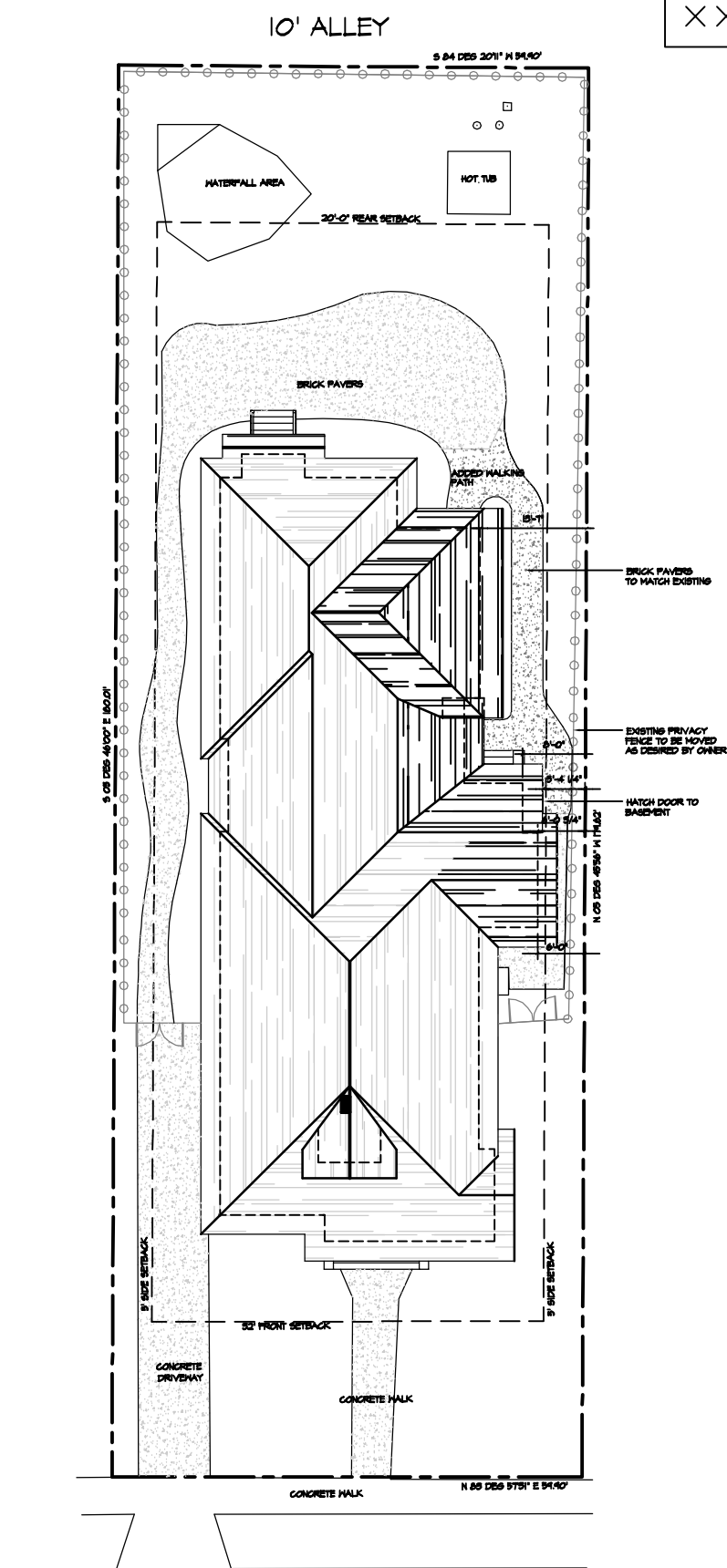
© 2014 ALB

Addition & Renovation *for the:*  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -  
  
STREET SCAPE  
  
OF: ELEVEN



② EXISTING SITE PLAN  
1" = 10'-0"



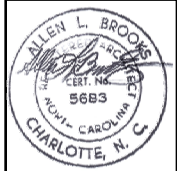
① PROPOSED SITE PLAN  
1" = 10'-0"

XXXX AREAS TO BE REMOVED



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



30 JUN 2014

504  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

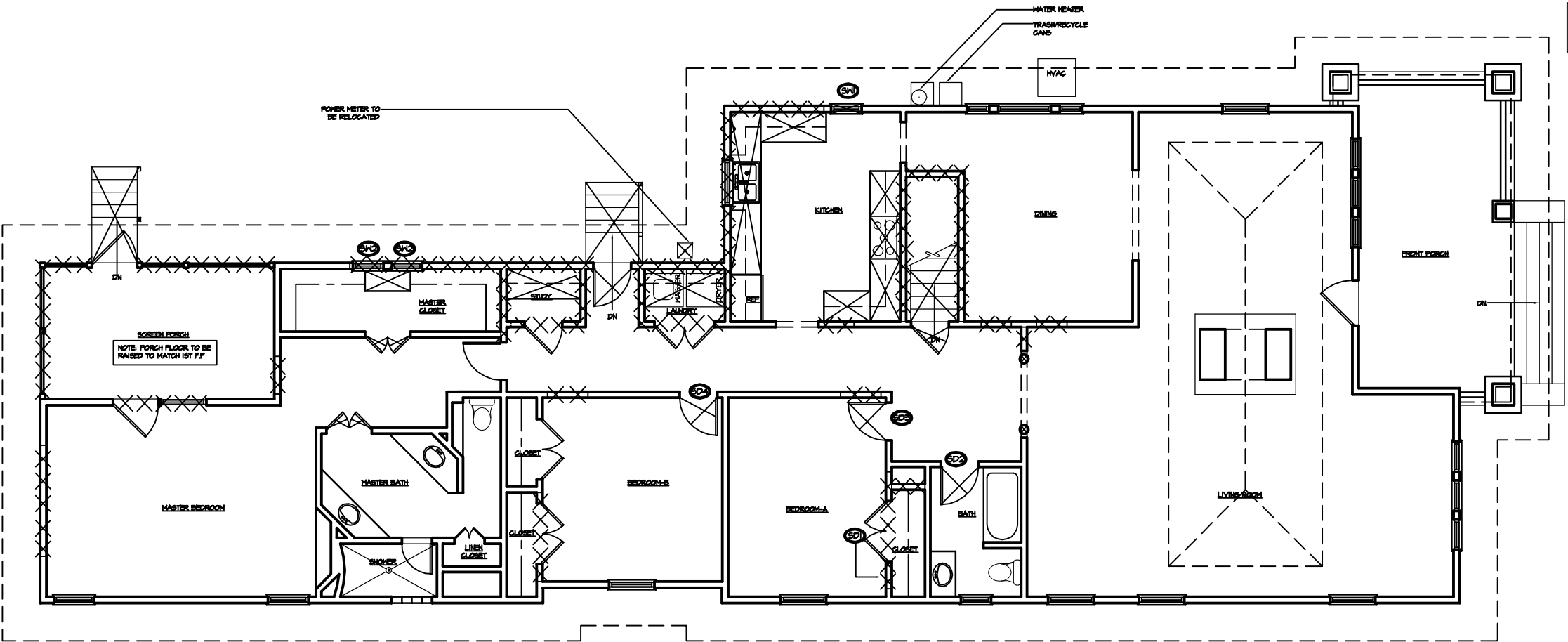
EXISTING & PROPOSED  
SITE PLAN

**A-1**

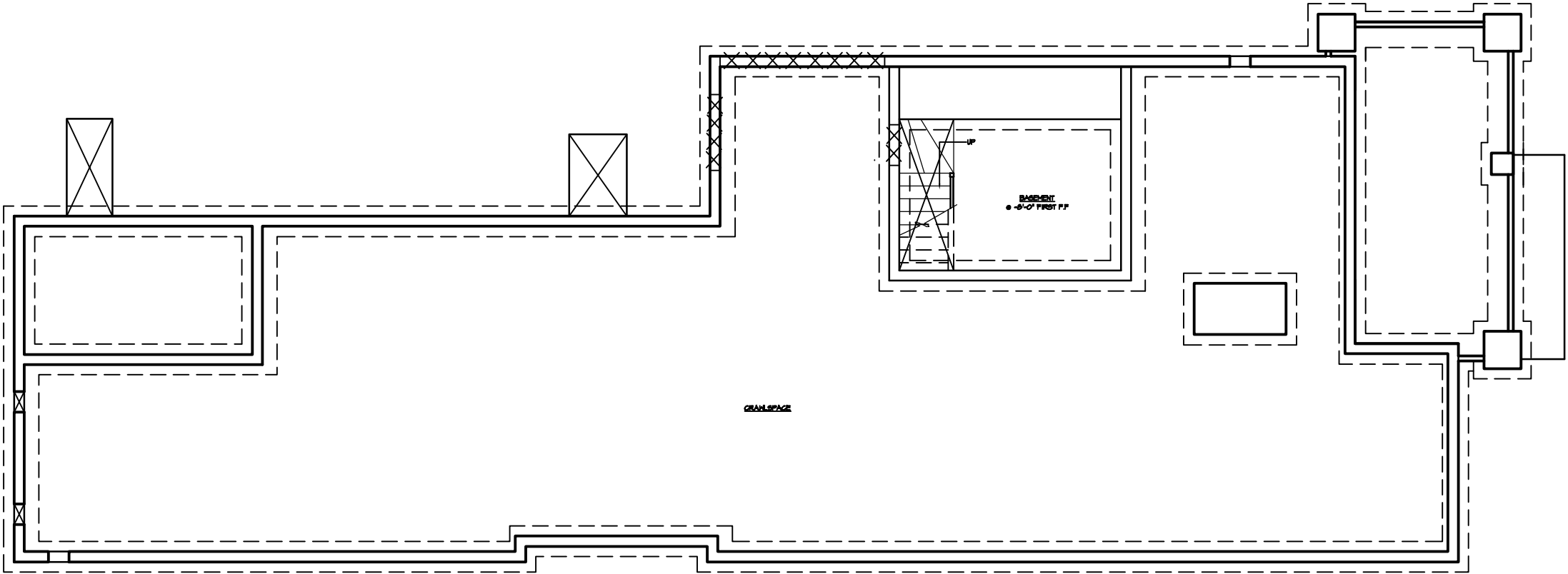
OF: ELEVEN



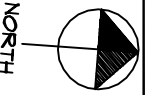
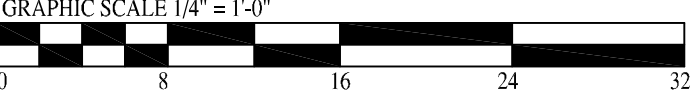




② EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



① EXISTING FOUNDATION/BASEMENT PLAN  
1/4" = 1'-0"



AREAS TO BE REMOVED

### SALVAGED WINDOW SCHEDULE

ID	OPENING	LOCATION	TYPE
SW1	2'-0" X 8'-0"	KITCHEN	DOUBLE HUNG
SW2	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

### FIRST FLOOR SALVAGED DOOR SCHEDULE

ID	OPENING	LOCATION
SD1	PR 2'-0" X 6'-8"	CLOSET OF BEDROOM-A
SD2	2'-8" X 6'-8"	BATH
SD3	2'-8" X 6'-8"	BEDROOM-A
SD4	2'-8" X 6'-8"	BEDROOM-B

ALB

Architecture, PA

ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595  
  
E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com

ALLEN L. BROOKS

REGISTERED ARCHITECT

5683

STATE OF NORTH CAROLINA

CHARLOTTE, N. C.

30 JUN 2014

504

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203



OF: ELEVEN



SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
10	2'-0" X 5'-10"	KITCHEN	DOUBLE HUNG
11	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

FIRST FLOOR SALVAGED DOOR SCHEDULE		
ID	OPENING	LOCATION
50	PR 2'-0" X 6'-8"	CLOSET OF BEDROOM-A
51	2'-6" X 6'-8"	BATH
52	2'-6" X 6'-8"	BEDROOM-A
53	2'-6" X 6'-8"	BEDROOM-B

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW-SH1)	MATCH EXISTING	DOUBLE HUNG
B	2'-6" X 3'-10"	MATCH EXISTING	DOUBLE HUNG
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
D	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
E	2'-0" X 1'-0" (SALVAGED WINDOW-SH2)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	T-6"	FIXED
G	1'-6" X 1'-6"	4'-0"	FIXED

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (N/ FLASHING) & BACK BAND TRIM @ WINDOWS.

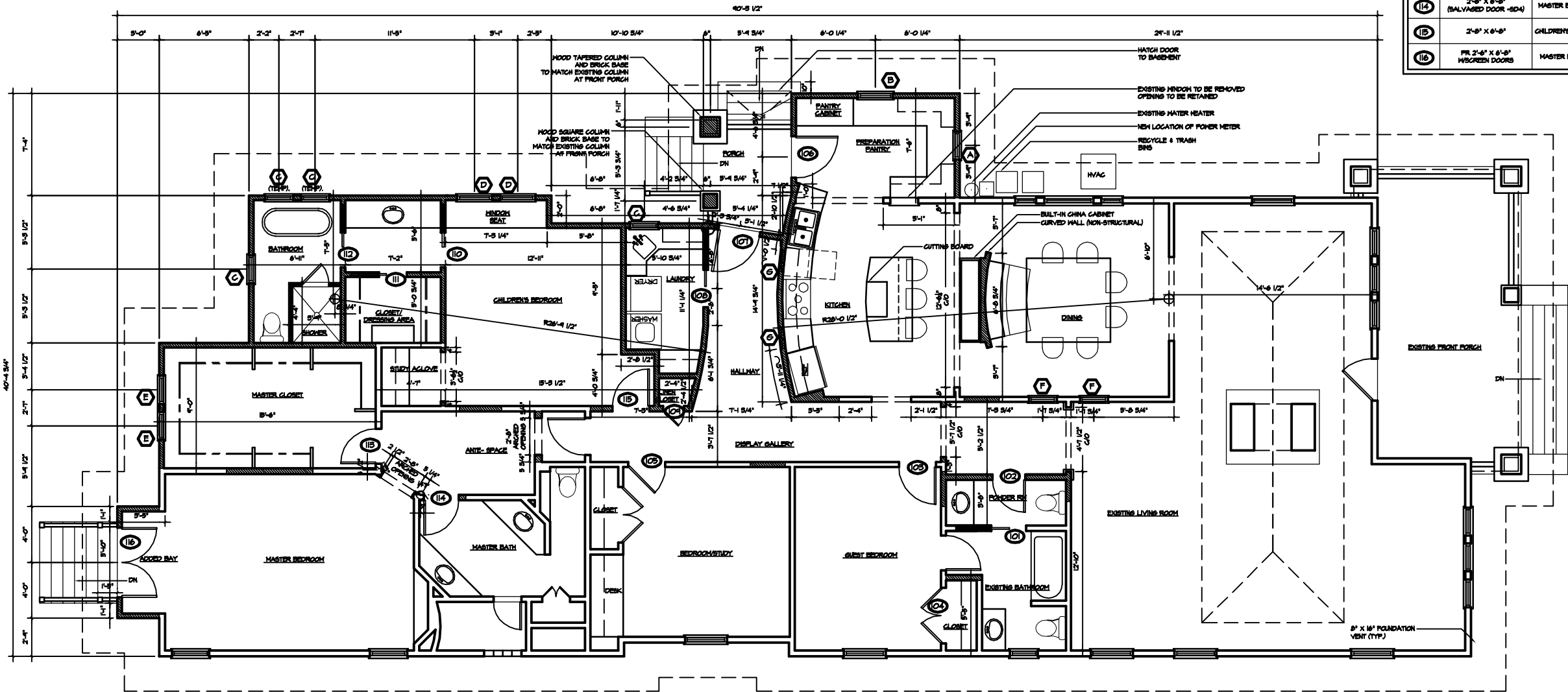
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING - SEE ELEVATIONS FOR HUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR DRESS OR TAPERED GLASS.

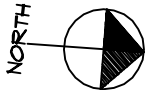
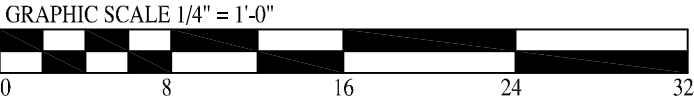
\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 4 S.F. OF GLASS OR MORE & LESS THAN 16" A.P.F. MUST BE TAPERED PER CODE (TYP.)

FIRST FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
101	2'-6" X 6'-8" POCKET DOOR	EXISTING BATHROOM
102	2'-6" X 6'-8" (SALVAGED DOOR-S02)	POWDER ROOM
103	2'-6" X 6'-8"	GUEST BEDROOM
104	PR 2'-0" X 6'-8" (SALVAGED DOOR-S04)	GUEST BEDROOM CLOSET
105	2'-6" X 6'-8"	BEDROOM/STUDY
106	3'-0" X 6'-8"	PREPARATION PANTRY
107	5'-0" X 6'-8"	SIDE HALLWAY
108	2'-6" X 6'-8" POCKET DOOR	LAUNDRY
109	1'-6" X 6'-8"	LINEN CLOSET
110	2'-6" X 6'-8" POCKET DOOR	CHILDRENS BEDROOM BATHROOM
111	2'-0" X 6'-8" POCKET DOOR	CHILDRENS BEDROOM CLOSET
112	2'-6" X 6'-8" POCKET DOOR	CHILDRENS BEDROOM BATHROOM
113	2'-6" X 6'-8" (SALVAGED DOOR-S03)	MASTER CLOSET
114	2'-6" X 6'-8" (SALVAGED DOOR-S04)	MASTER BATHROOM
115	2'-6" X 6'-8"	CHILDRENS BEDROOM
116	PR 2'-6" X 6'-8" W/SCREEN DOORS	MASTER BEDROOM



① PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

PROPOSED PLANS

**A-7**

OF: ELEVEN

ALB

Architecture, PA

ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595  
E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com

ALLEN L. BROOKS

REGISTERED ARCHITECT

5683

STATE OF NORTH CAROLINA

CHARLOTTE, N. C.

30 JUN 2014

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

×

×

×

AREAS TO BE REMOVED



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



504  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

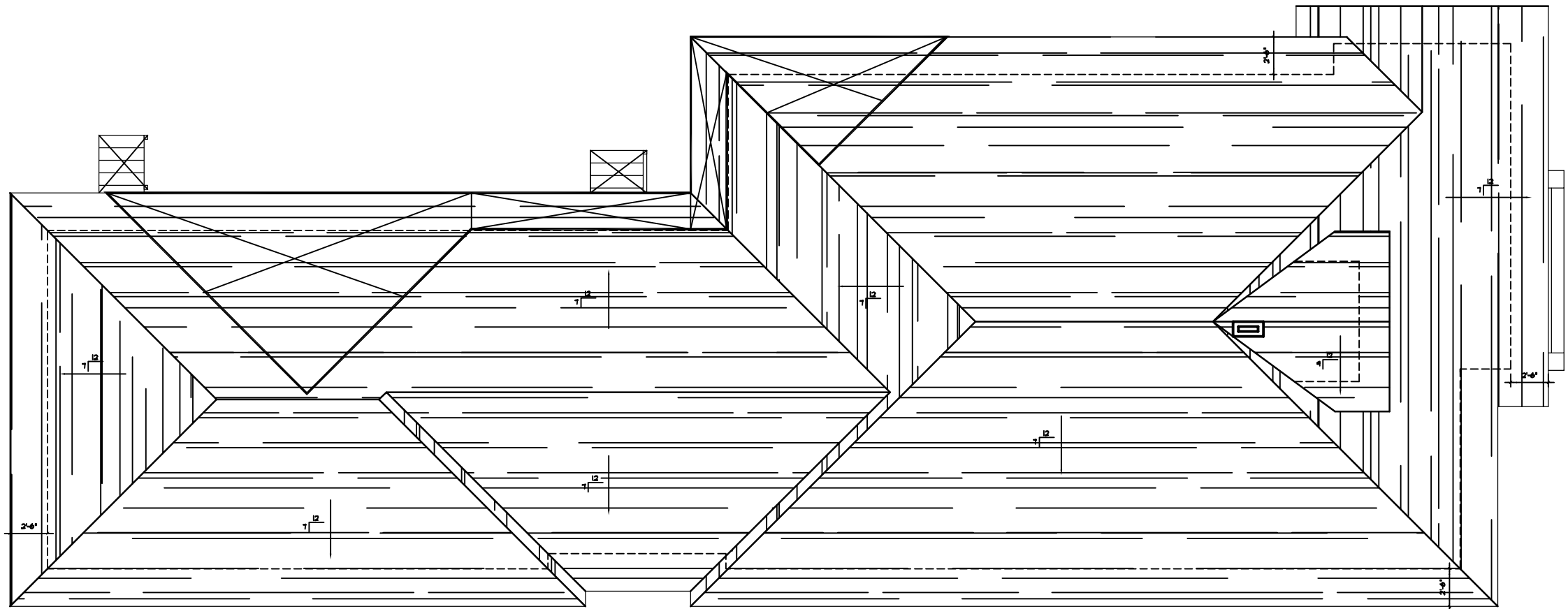
Addition & Renovation *for* the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

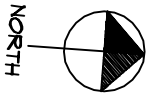
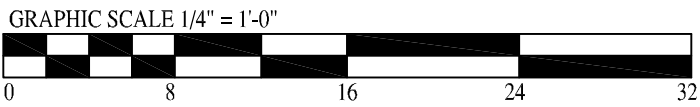
EXISTING PLANS

**A-3**

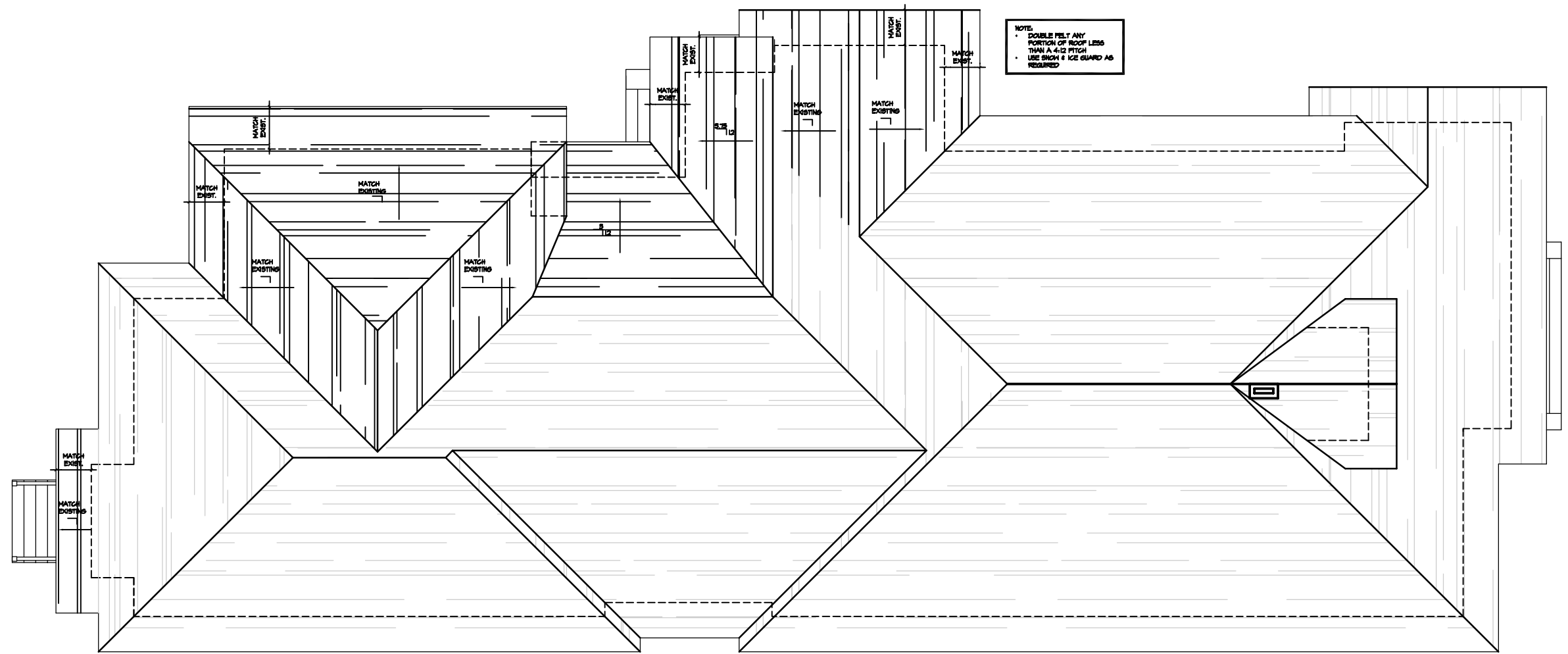
OF: ELEVEN



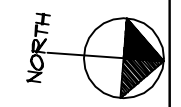
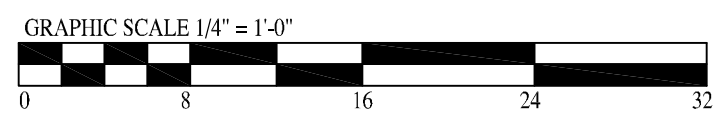
**① EXISTING ROOF PLAN**  
1/4" = 1'-0"



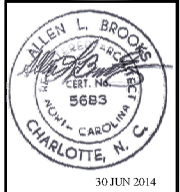




① **PROPOSED ROOF PLAN**  
1/4" = 1'-0"



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595  
E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



54  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

PROPOSED PLANS

**A-8**

OF: ELEVEN

× × × × AREAS TO BE REMOVED

SALVAGED WINDOW SCHEDULE			
12	OPENING	LOCATION	TYPE
12	2'-0" X 8'-10"	KITCHEN	DOUBLE HUNG
12	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



30 JUN 2014

504  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 11/2013/2014

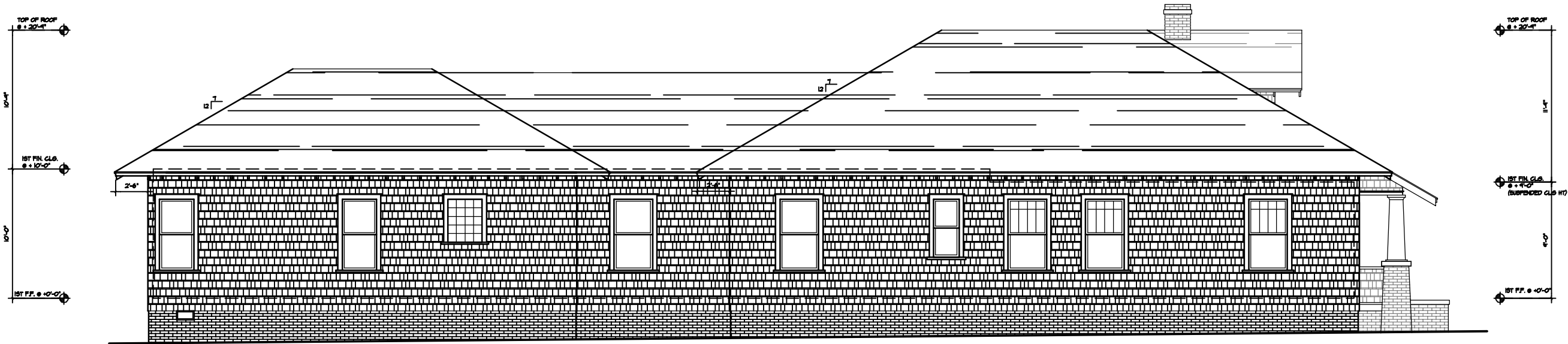
Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

EXISTING ELEVATIONS

**A-4**

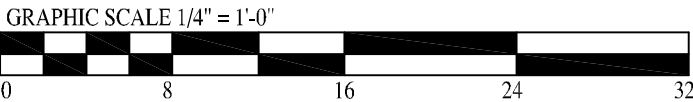
OF: ELEVEN



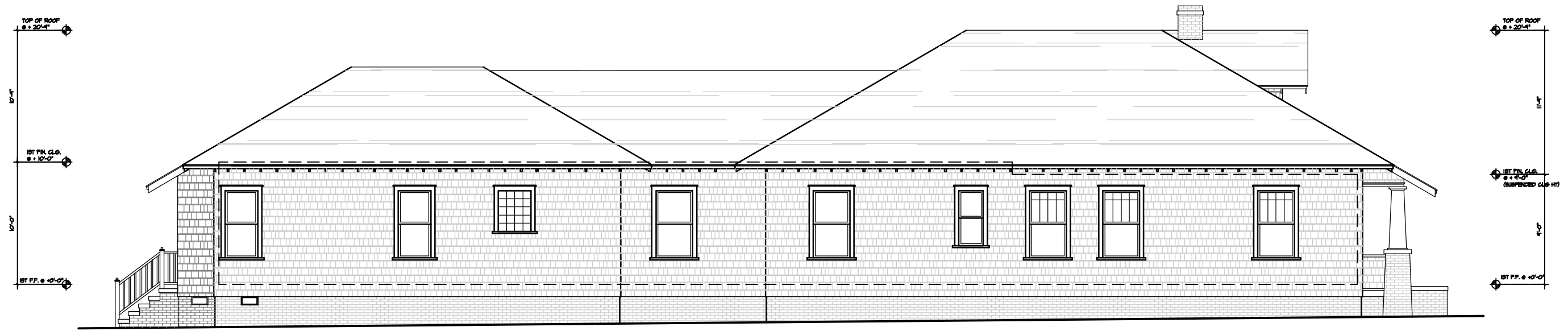
② EXISTING LEFT ELEVATION (NO CHANGE)  
1/4" = 1'-0"



① EXISTING FRONT ELEVATION (NO CHANGE)  
1/4" = 1'-0"







SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
SW1	2'-0" X 5'-10"	KITCHEN	DOUBLE HUNG
SW2	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW- SW1)	MATCH EXISTING	DOUBLE HUNG
B	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
D	2'-6" X 5'-0"	MATCH EXISTING	DOUBLE HUNG
E	2'-0" X 1'-0" (SALVAGED WINDOW- SW2)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	7'-6"	FIXED
G	1'-6" X 1'-6"	9'-0"	FIXED

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

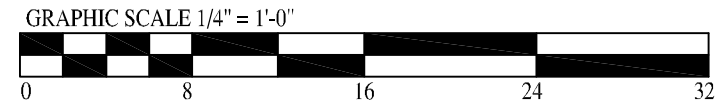
\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 1 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYPE).

② PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



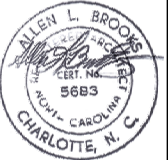
XXXX AREAS TO BE REMOVED

SALVAGED WINDOW SCHEDULE			
12	OPENING	LOCATION	TYPE
12	2'-0" X 8'-10"	KITCHEN	DOUBLE HUNG
12	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com



30 JUN 2014

50  
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2014 ALB

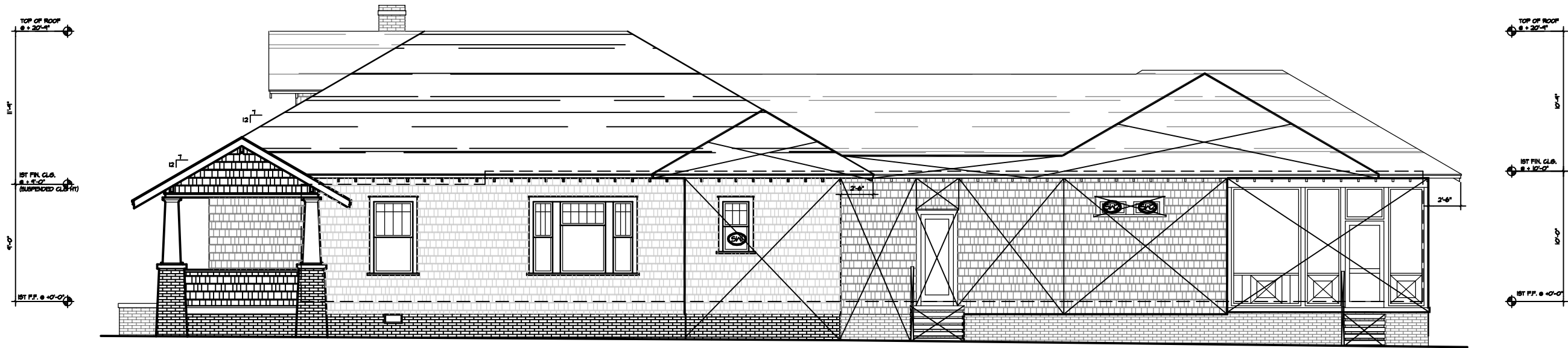
Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

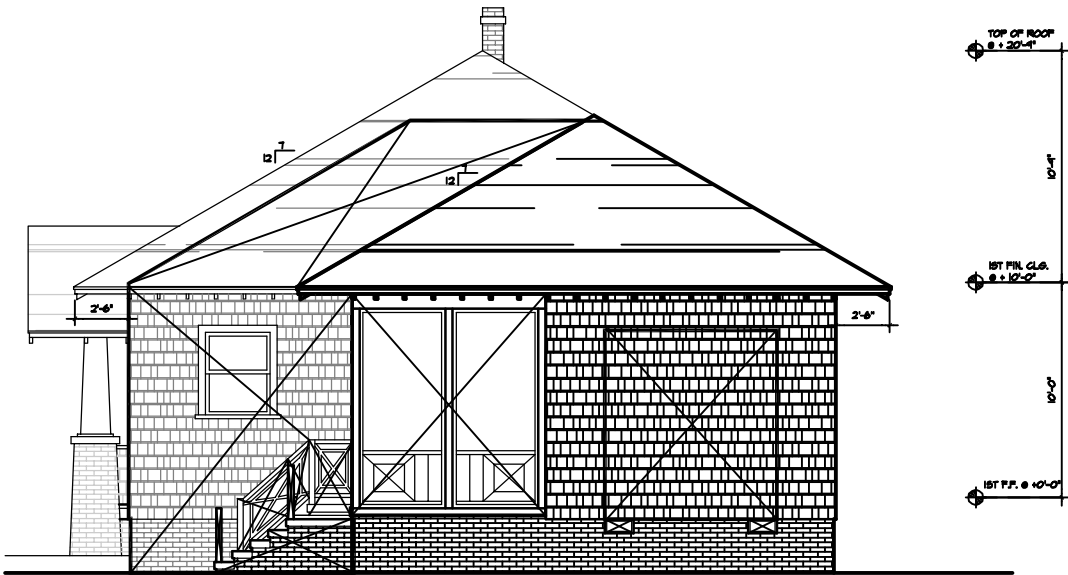
EXISTING ELEVATIONS

**A-5**

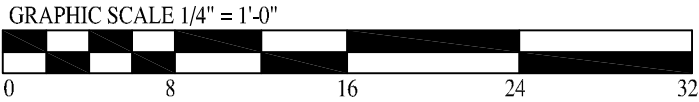
OF: ELEVEN



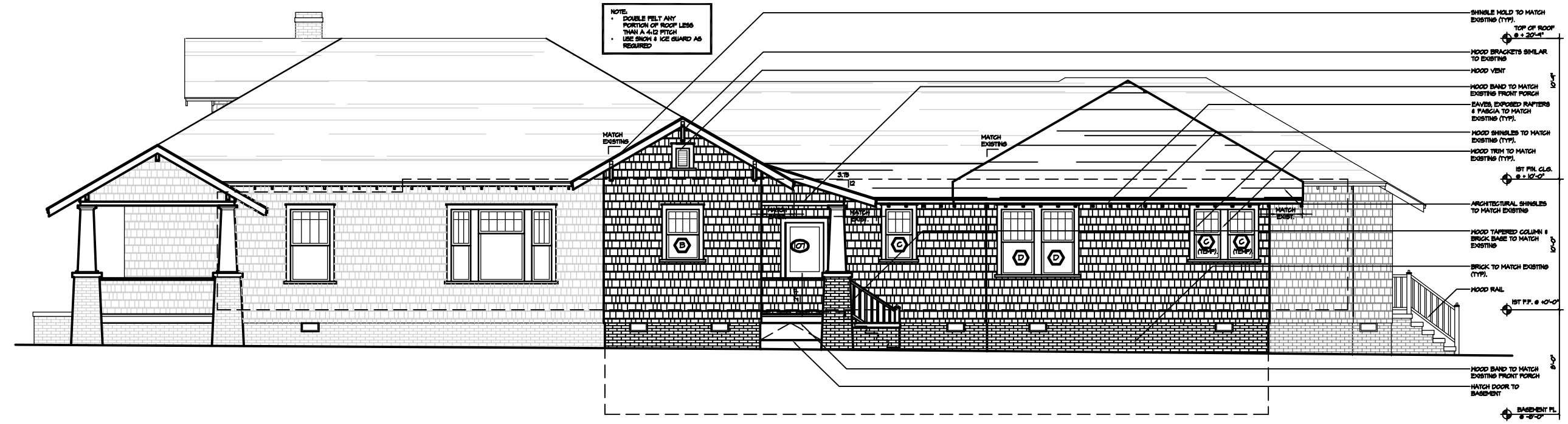
② EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



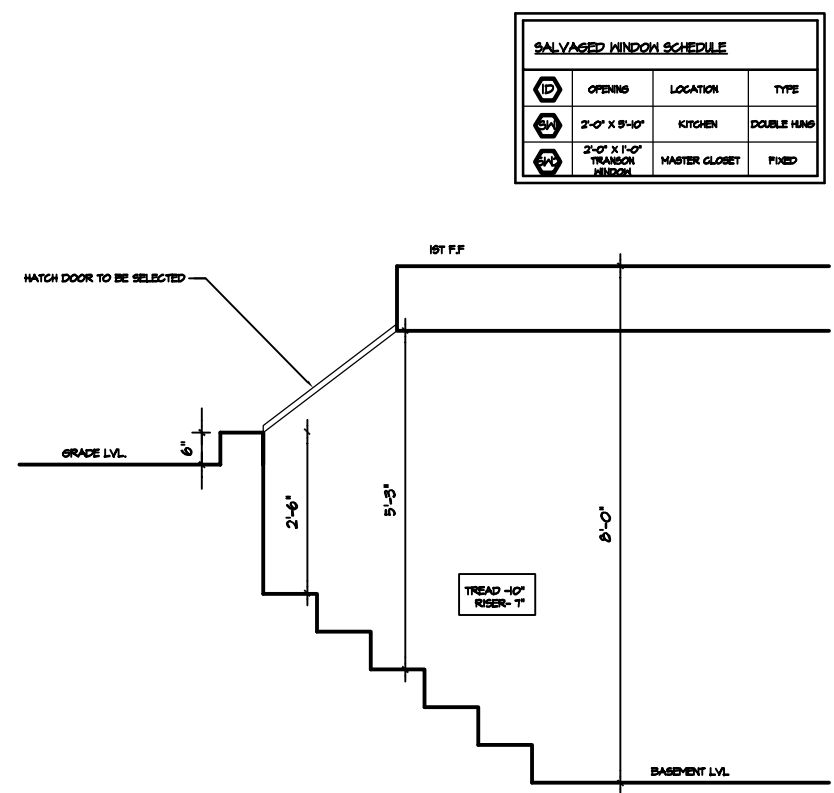
① EXISTING REAR ELEVATION  
1/4" = 1'-0"







**② PROPOSED RIGHT ELEVATION**  
1/4" = 1'-0"



**③ SECTION THROUGH BASEMENT STAIRS**  
3/4" = 1'-0"

SALVAGED WINDOW SCHEDULE			
IDENTIFIER	OPENING	LOCATION	TYPE
SH1	2'-0" X 5'-10"	KITCHEN	DOUBLE HUNG
SH2	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

WINDOW SCHEDULE			
IDENTIFIER	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW- SH1)	MATCH EXISTING	DOUBLE HUNG
B	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
D	2'-6" X 5'-0"	MATCH EXISTING	DOUBLE HUNG
E	2'-0" X 1'-0" (SALVAGED WINDOW- SH2)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	7'-6"	FIXED
G	1'-6" X 1'-6"	9'-0"	FIXED

NOTE: MATCH TRIM DETAILS W/ HOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 4 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)



**① PROPOSED REAR ELEVATION**  
1/4" = 1'-0"

