
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 1700 Heathcliff Street

SUMMARY OF REQUEST: New Construction

OWNER: Daimean & Jennifer Fludd

APPLICANT: Daimean Fludd

This application was continued from October for additional information. Requested plan details include 1) Window arrangement, 2) Additional site plan details, and 3) Porch deck material note.

Details of Proposed Request

Existing Conditions

The site is a triangular vacant lot at the end of a street. The adjacent properties are 1.5 and 2 story single family homes and a two story quadraplex. There are mature trees on the site. There is not an established front setback on the street. The site has an unimproved alley on one side.

Proposal – August 13, 2014

The proposal is a new two story single family home with a continuous gable roof from front to rear. Primary exterior materials are cementitious siding, brick and standing seam metal roof (front elevation). The height from grade is approximately 30'-8". Full size windows are 6 over 1.

Revised Proposal – October 8, 2014

Revised plan details for the two-story home address comments from August. The new plan includes wood siding and trim, brick foundation, redesigned porch roof and window details. The height from grade is approximately 30'-8".

Revised Proposal – November 12, 2014

Revised plan details for the two-story home address comments from October.

1. Window arrangement has been revised on all sides.
2. Site plan details include existing infrastructure (alley, sidewalk), proposed landscaping, lot size and building coverage dimensions, and proposed tree removal.
3. Porch material will be wood T&G.

Policy & Design Guidelines

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new

construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

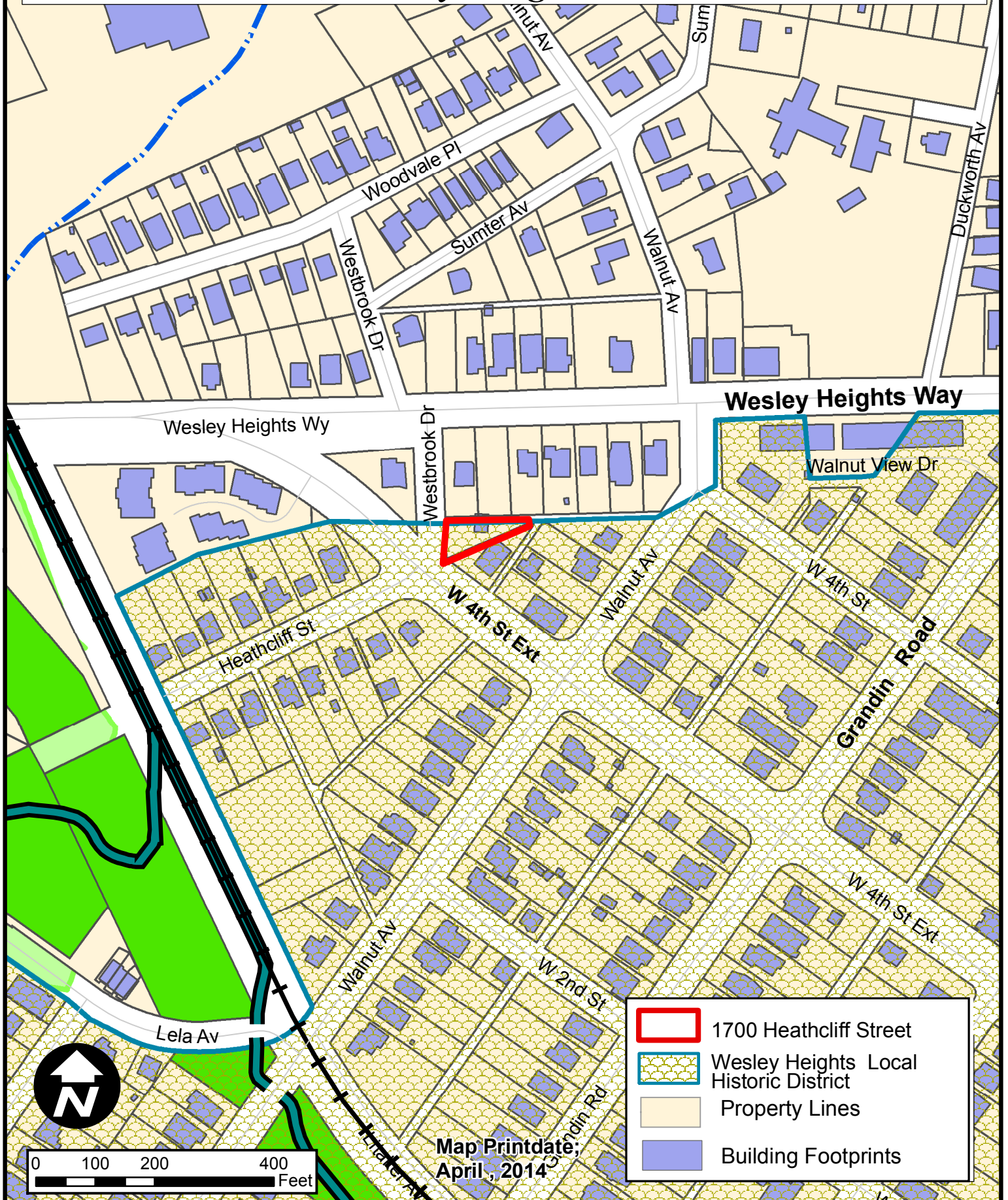
<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

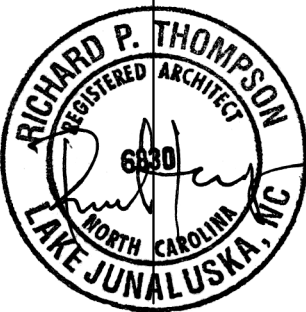
Staff Analysis

The revised plans have included all of the unresolved issues. The Commission will determine if the proposal meets the guidelines for new construction.

Charlotte Historic District Commission - Case 2014-070

Historic District ; Wesley Heights





standard contract document

Rick Thompson - Architect
P O Box 160 Lake Junaluska, NC 28745
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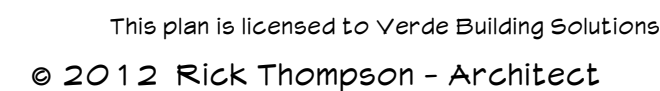
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plan # 1209A

All Federal, State and local codes shall be considered as a part of these documents, and shall take preference over anything shown or implied if differences arise.

342

W. 4TH ST.

336

335

W. 2ND ST.

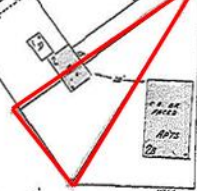


338

TUCKASEEGEE RD.

WESTBROOK DR.

328SW



WESTBROOK DR.

TUCKASEEGEE DR.

314SW (18)

HILLCREST AV.

329SW (19)

WALNUT AV.

LAKEWOOD AV.

P. & N. R. (10.55)

101' (19.15)

503



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W 4TH ST

338

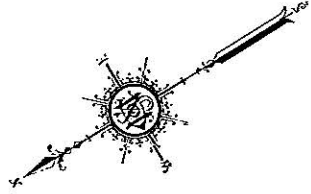
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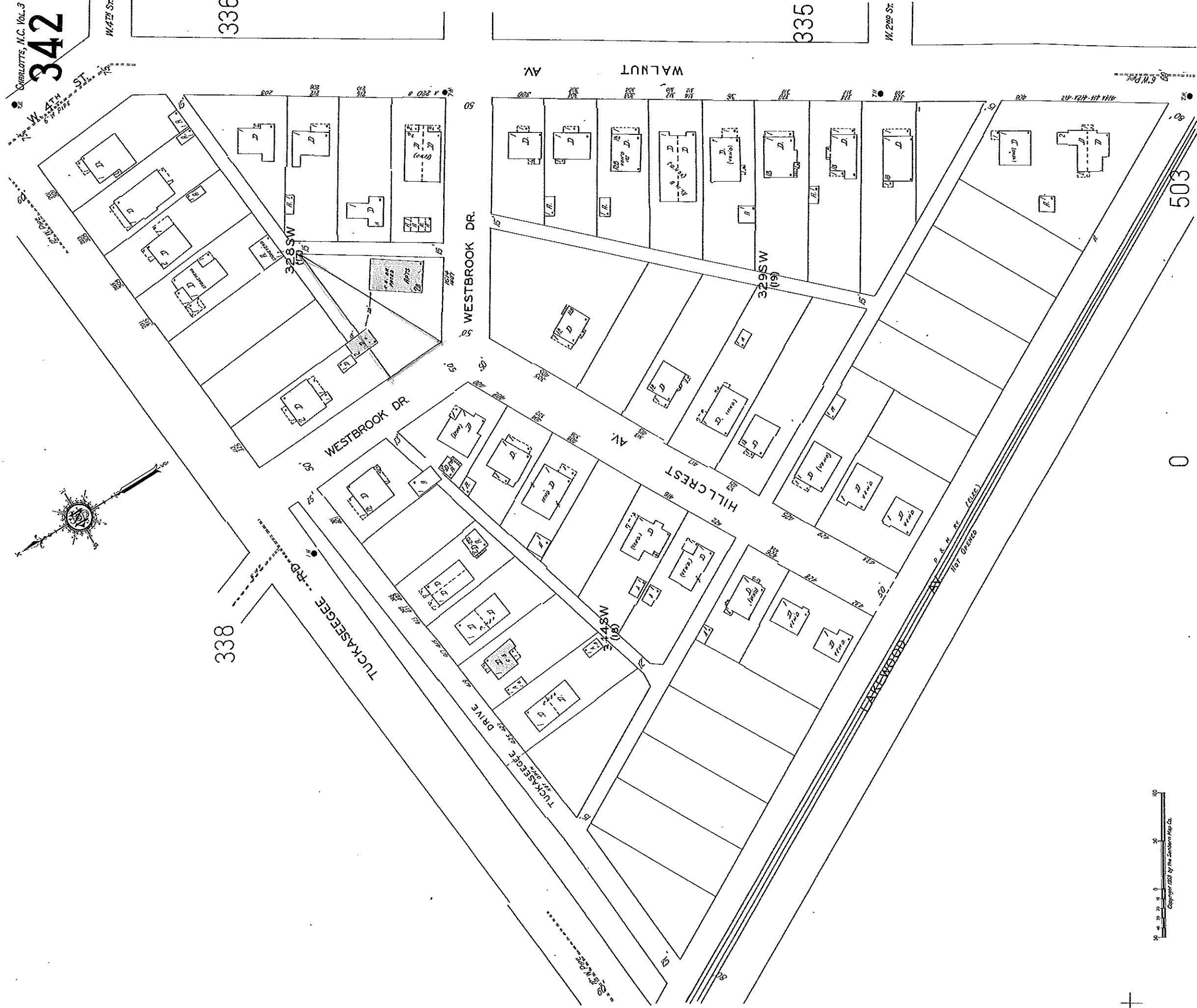
W 2ND ST

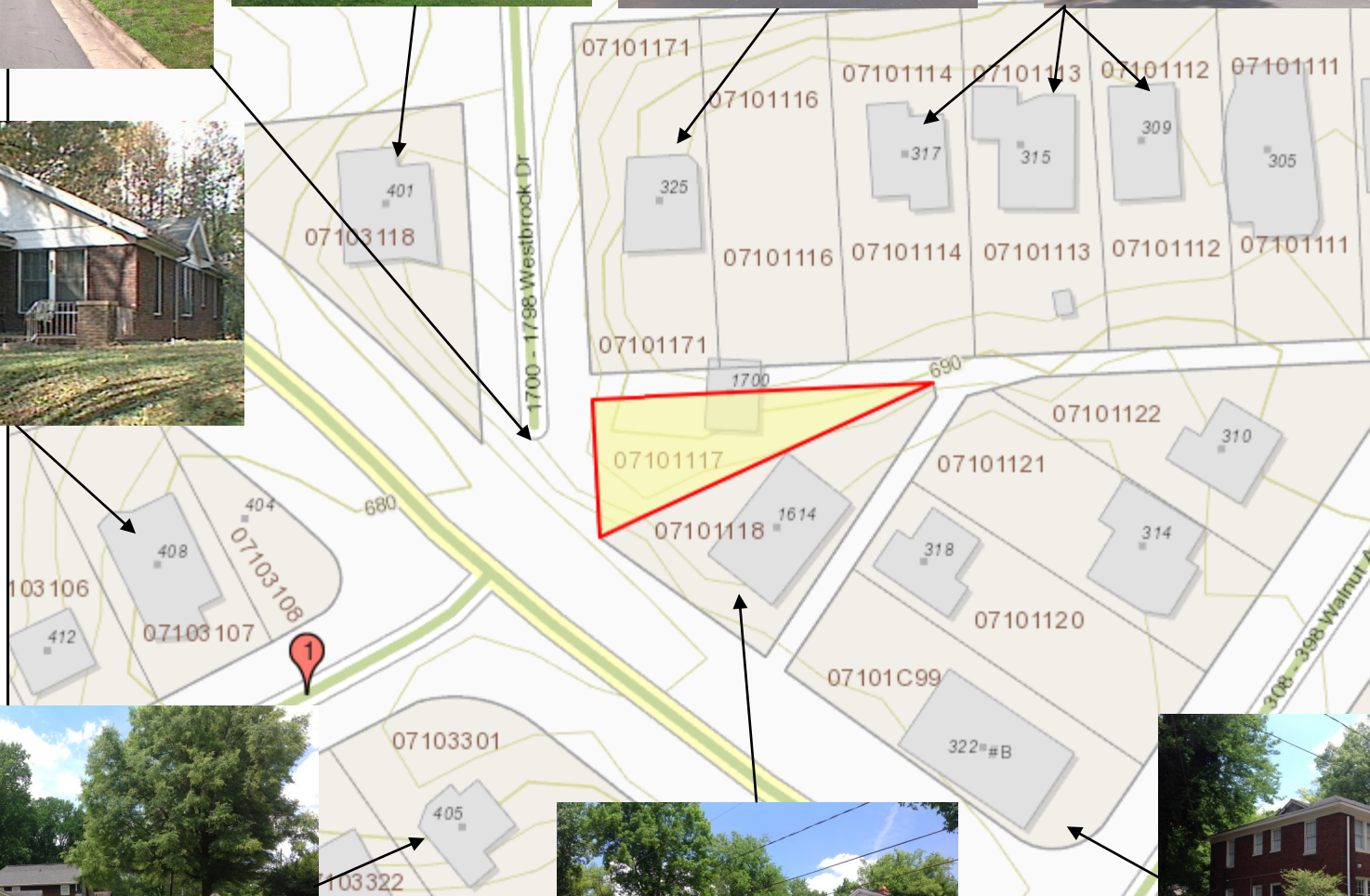
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Existing Conditions



I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

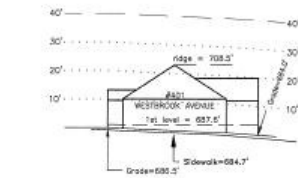
This 16th day of July, 2014.



A.G.Z.
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

WEST FOURTH STREET
EXTENSION

WESLEY HEIGHTS WAY

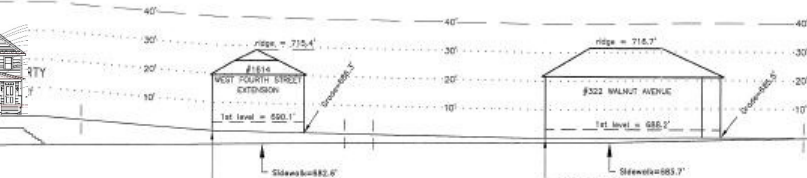


WESTBROOK
DRIVE
VIEW FACING EAST

WESLEY HEIGHTS WAY



WESTBROOK
DRIVE
VIEW FACING WEST



WEST FOURTH STREET
VIEW FACING NORTHEAST

WALNUT
AVENUE

A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

#2 southern yellow pine floor joist				
		12" o.c.	16" o.c.	24" o.c.
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	14'-2" 18'-0"	12'-10" 16'-1"	11'-0" 13'-2"
30 psf live load 10 psf dead load (sleeping rooms @ L/360)	2x8 2x10	15'-7" 19'-10"	14'-2" 18'-0"	12'-4" 14'-8"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling @ L/240)	2x6 2x8 2x10	15'-6" 20'-1" 24'-0"	13'-6" 17'-5" 20'-9"	11'-0" 14'-2" 17'-0"
rafters				
20 psf live load 7 psf dead load	2x6 2x8	17'-0" 22'-5"	15'-2" 19'-8"	12'-5" 16'-1"
30 psf live load 7 psf dead load	2x6 2x8	14'-10" 19'-5"	13'-0" 16'-10"	10'-7" 13'-9"
40 psf live load 7 psf dead load (slope over 3/12 & no finished ceiling @ L/180)	2x6 2x8	13'-4" 17'-3"	11'-6" 14'-11"	9'-5" 12'-2"
#2 S-P-F (spruce-pine-fir)				
floor joist				
		12" o.c.	16" o.c.	24" o.c.
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	13'-6" 17'-3"	12'-3" 15'-5"	10'-3" 12'-7"
30 psf live load 10 psf dead load (sleeping rooms @ L/360)	2x8 2x10	14'-11" 19'-0"	13'-6" 17'-2"	11'-6" 14'-1"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling @ L/240)	2x6 2x8 2x10	14'-9" 18'-9" 22'-11"	12'-10" 16'-3" 19'-10"	10'-6" 13'-3" 16'-3"
rafters				
20 psf live load 7 psf dead load	2x6 2x8	16'-3" 21'-3"	14'-6" 18'-5"	11'-10" 15'-0"
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abbreviations

c.j	ceiling joist
clg.	ceiling
CMU	concrete masonry unit
C.O	cased opening
conc.	concrete
CT.	ceramic tile
dbl.	double
dj	double joist
ew.	each way
f.j	floor joist
ftg.	footing
HVAC	heating/ventilating/air conditioning
jst.	joist
LVL	laminated veneer lumber - ie. Parallam
mech.	mechanical
mil	.001 inch
min.	minimum
N.T.S.	not to scale
oc	on center
pc	pull cord
pt.	pressure treated
psf	pounds per square foot
R/A	return air
reqd.	required
reinf.	reinforcing
Rm.	room
ro.	rough opening
sf	square feet
sy	southern yellow pine
shw.	shower
T&G	tongue and groove
W.H.	water heater
WWM	welded wire mesh
w/	with
yp	yellow pine

Thank you for your purchase of these house plans.

These plans are designed to conform to the 2014 International Residential Code for One and Two Family Dwellings. National and local building codes vary with location and change from time to time. Therefore it is impossible to warrant compliance to your specific location. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of the individual locale.

Structural Notes

These plans are designed for roof loads of 20 psf live load and 10 psi dead load. The chart to the left can be used to adjust for different requirements. All beams are labeled "LVL" and should be sized locally. Roof loads can vary and have a big impact on the beams carrying accumulated loads. Most lumber suppliers can have this done at no charge, however having a registered engineer is recommended.

General Notes

• Square footages are for heated floor areas. This does not include fireplace projection or vaulted space. Stairs are counted on the main floor only.

• Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present..

• All footings shall be on firm undisturbed soil of no less than 2000 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions. Verify design with local engineer.

• HVAC design to be sized according to the local climate conditions including compass direction.

Energy Notes

• Caulk all exterior toe plates with latex caulk.

• Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.

• Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.

• Seal all joints in HVAC ducts, with leakage no more than 3%. Three inch fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.

• Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam.

• Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vents.

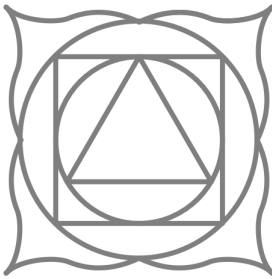
• Insulate all hot water pipes.

• Install wrap kit on water heater.

Builder's Guide from EEBA.org

This one book, available from The Energy and Environmental Building Association, if followed, will do more to insure a well built home than any material I know of. It is very clearly written and contains many useful details to build an energy efficient home. Phone 952-881-1092 or order online at eeba.org. There are 4 different versions based on a climate zone map.

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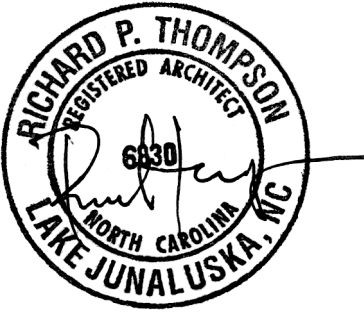
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Index to Drawings

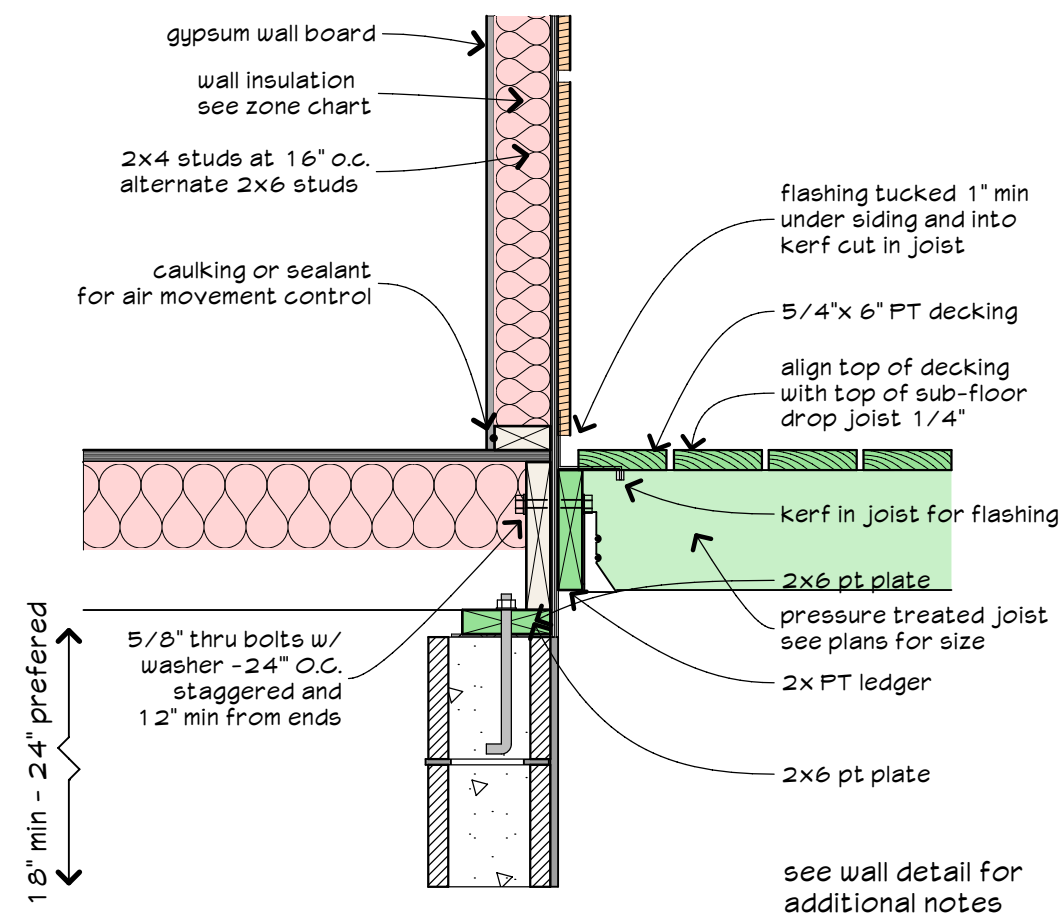
Sheet 01 - Cover sheet	
	Drawing Index
Sheet 02 - Crawl Foundation	
	Crawl Foundation Plan
	_Fdn&blkBrick
	_Fl1blkbrick&-4
	_crawl notes
	_ledgerblk&-4
Sheet 03 - Floor 1 Plan	
	1 - Kitchen Caabinet
	2 - Kitchen Cabinet
	3 - Kitchen Cabinet
	Floor 1 Plan
	_deck rail 1
Sheet 04 - Floor 2 Plan	
	Door List RT
	Electrical 1 Floor Plan
	Electrical 2 Floor Plan
	Floor 2 Plan
	Roof Plan
	Window List RT
Sheet 05 - Front and Right Elevations	
	Front Elevation
	Right Side Elevation
	_porch&EaveDn1&
Sheet 06 - Rear and Left Elevations	
	Left Side Elevation
	Rear Elevation
Sheet 07 - Details - Building Section	
	-eave&id&box1&-4
	-rakeAttic12boxed
	Building Section
	_insulation chart
	_porch&colBrick
Sheet 08 - Site	
	site site 2

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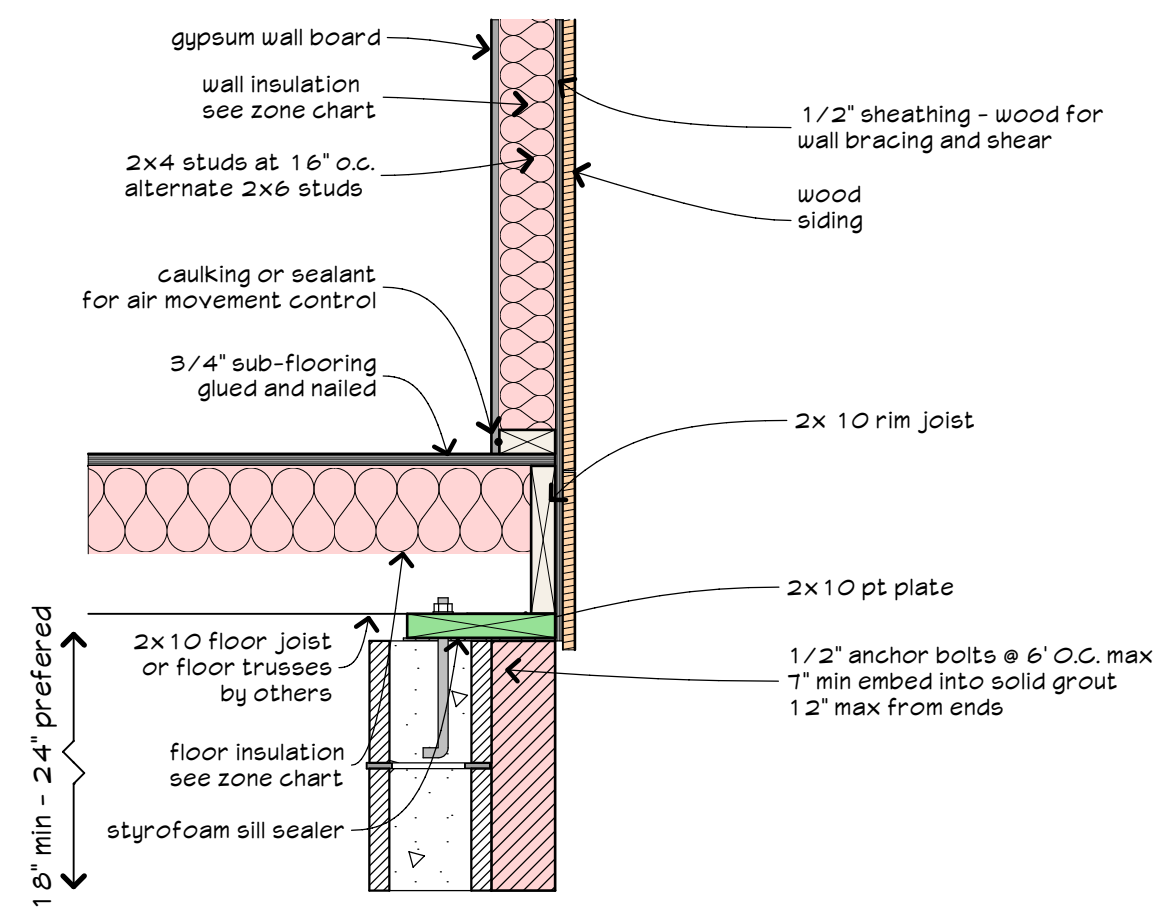
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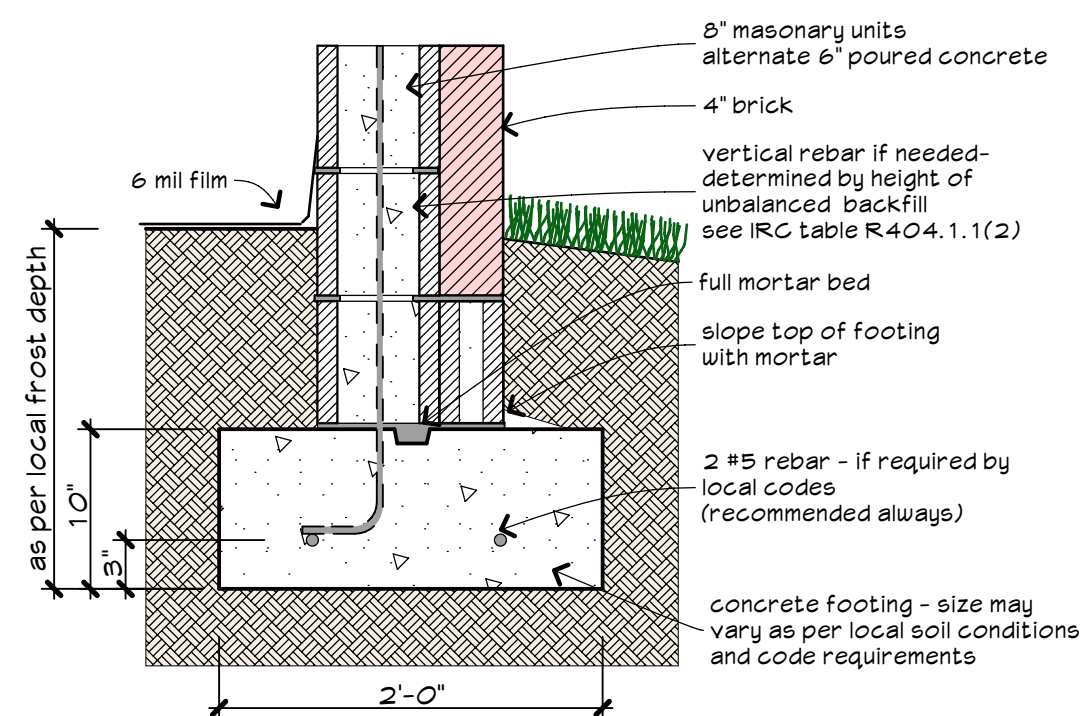
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W5 Porch/ Deck Detail
scale 1"= 1'-0"



W1 Wall detail F1
scale 1"= 1'-0"



F4 Foundation - brick face
scale 1"= 1'-0"

General crawl notes

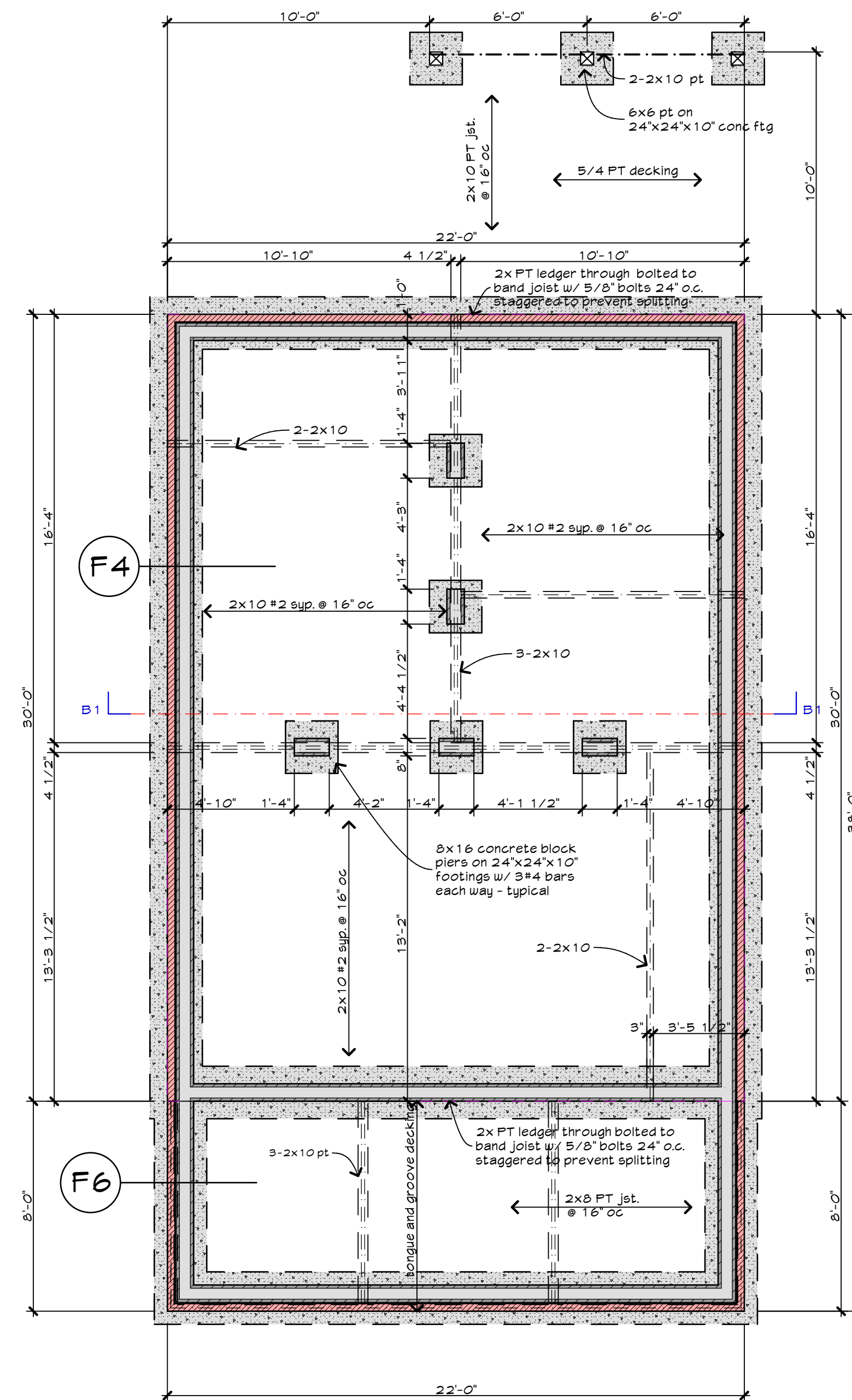
Provide 18"x24" min. access door.
Location as per field conditions - side preferred.

Provide foundation vents not less than 1 sqft per 150 sqft under floor space. One vent within 3 feet of each corner. IRC - R408.1
or
Unvented where exposed earth is covered and air supplied as per IRC - R408.3

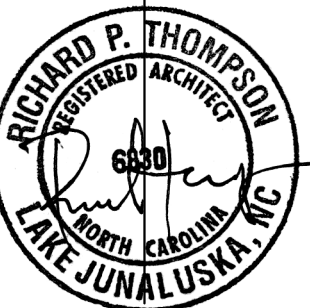
Fill piers solid with grout. Pier block size shown is minimum. May vary as per foundation height.

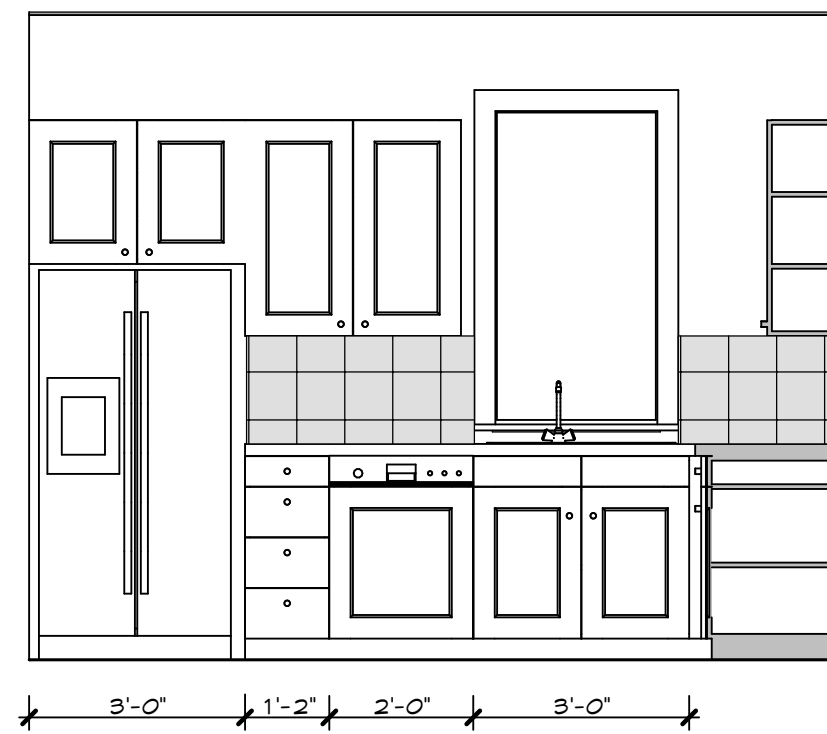
Pier spacing may vary dependant on local snow loads, soil bearing capacity and the use of roof trusses.

Footing sizes and reinforcement are assumed. Soil conditions vary and must be taken into account. Inspectors can allow builders to adjust the use of rebar and footing sizes as per local conditions.

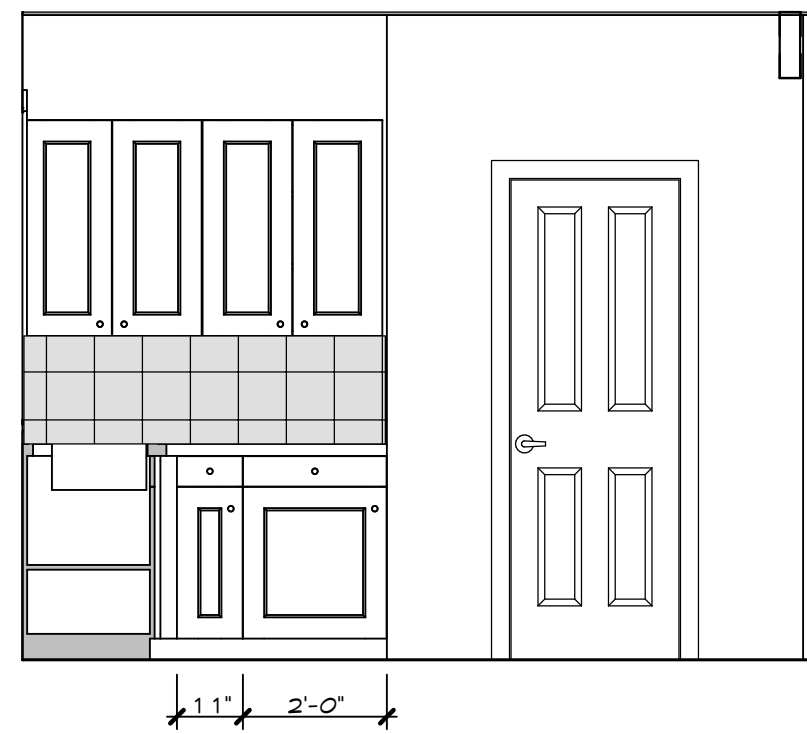


Crawl Foundation Plan
scale 1/4"= 1'-0"

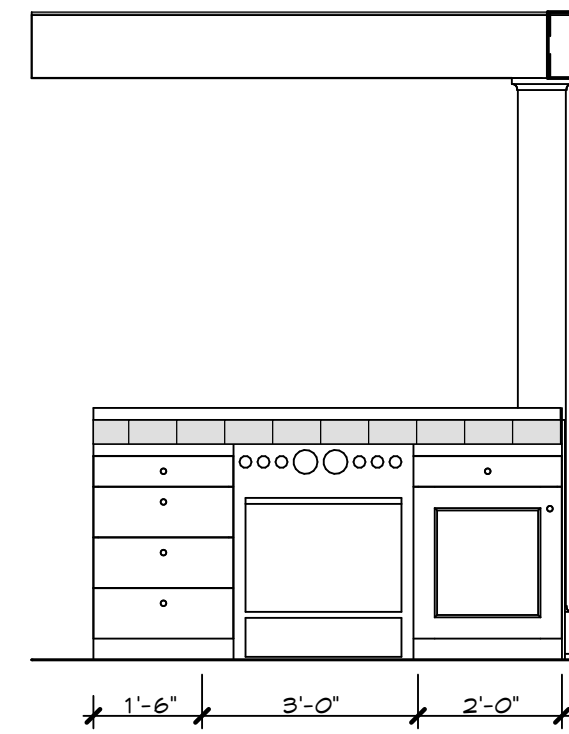




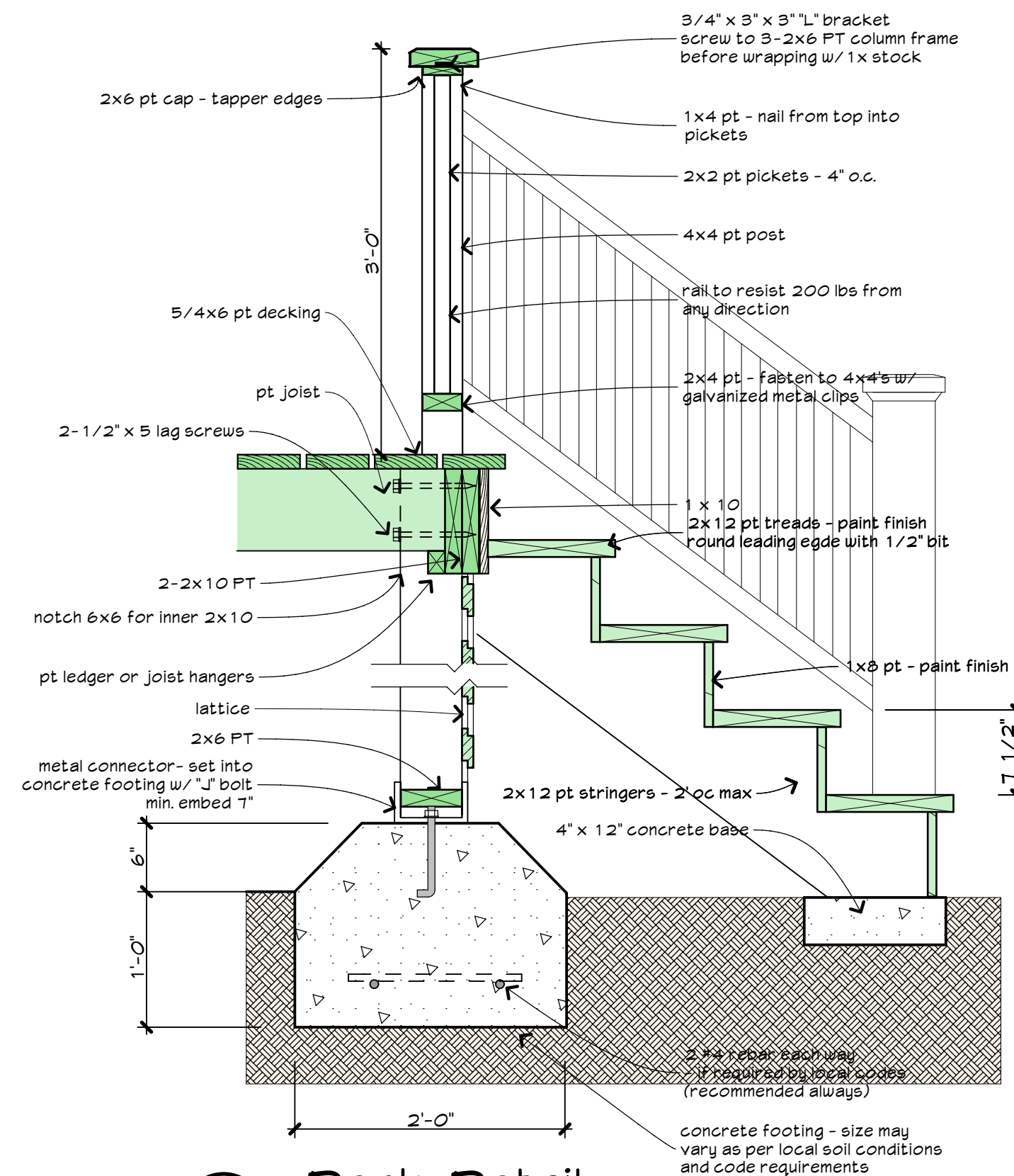
1 - Kitchen Cabinet
Scale 3/8" = 1'-0"



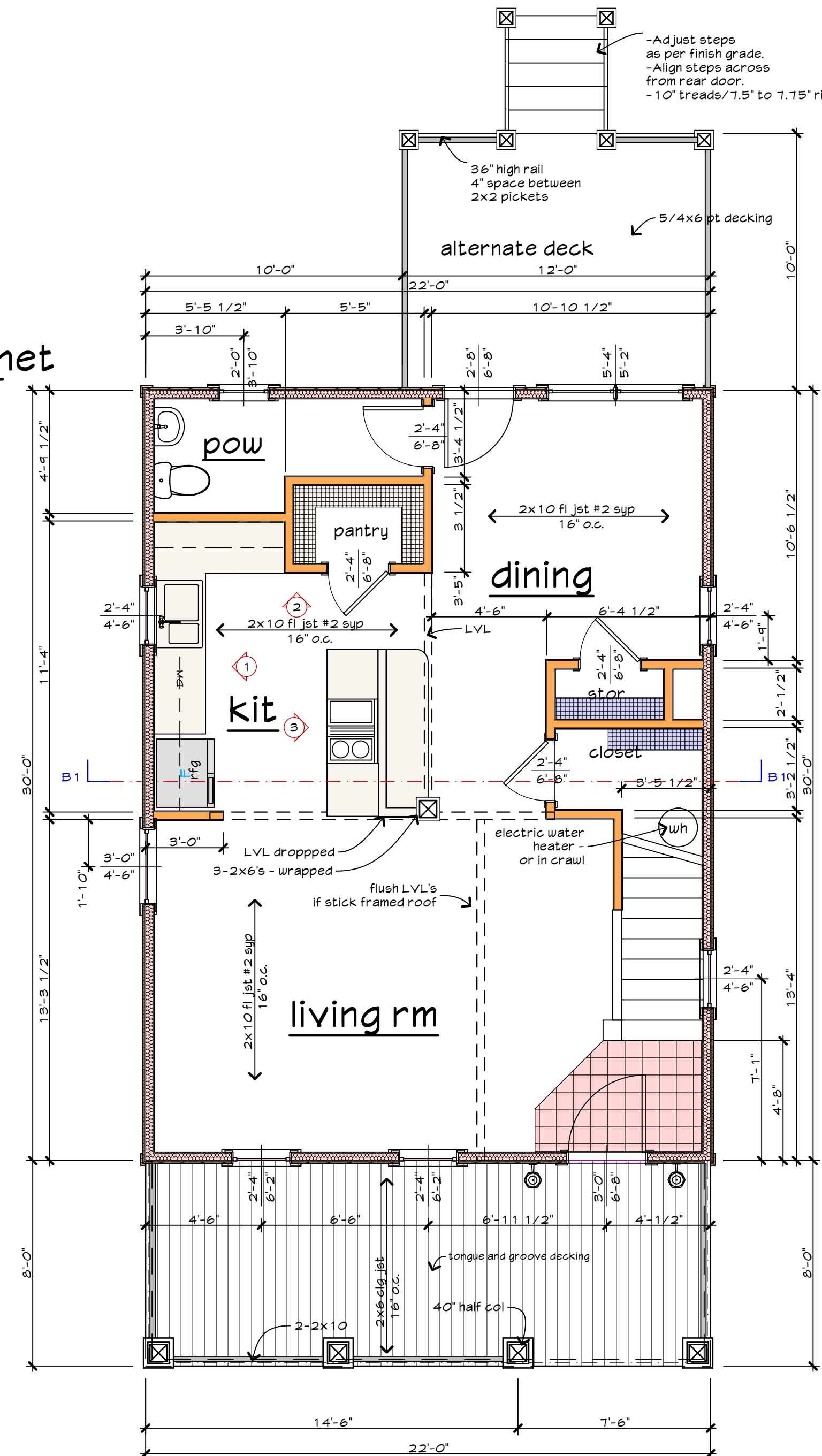
2 - Kitchen Cabinet
Scale 3/8" = 1'-0"



3 - Kitchen Cabinet
Scale 3/8" = 1'-0"



F7 Deck Detail
scale 1"=1'-0"

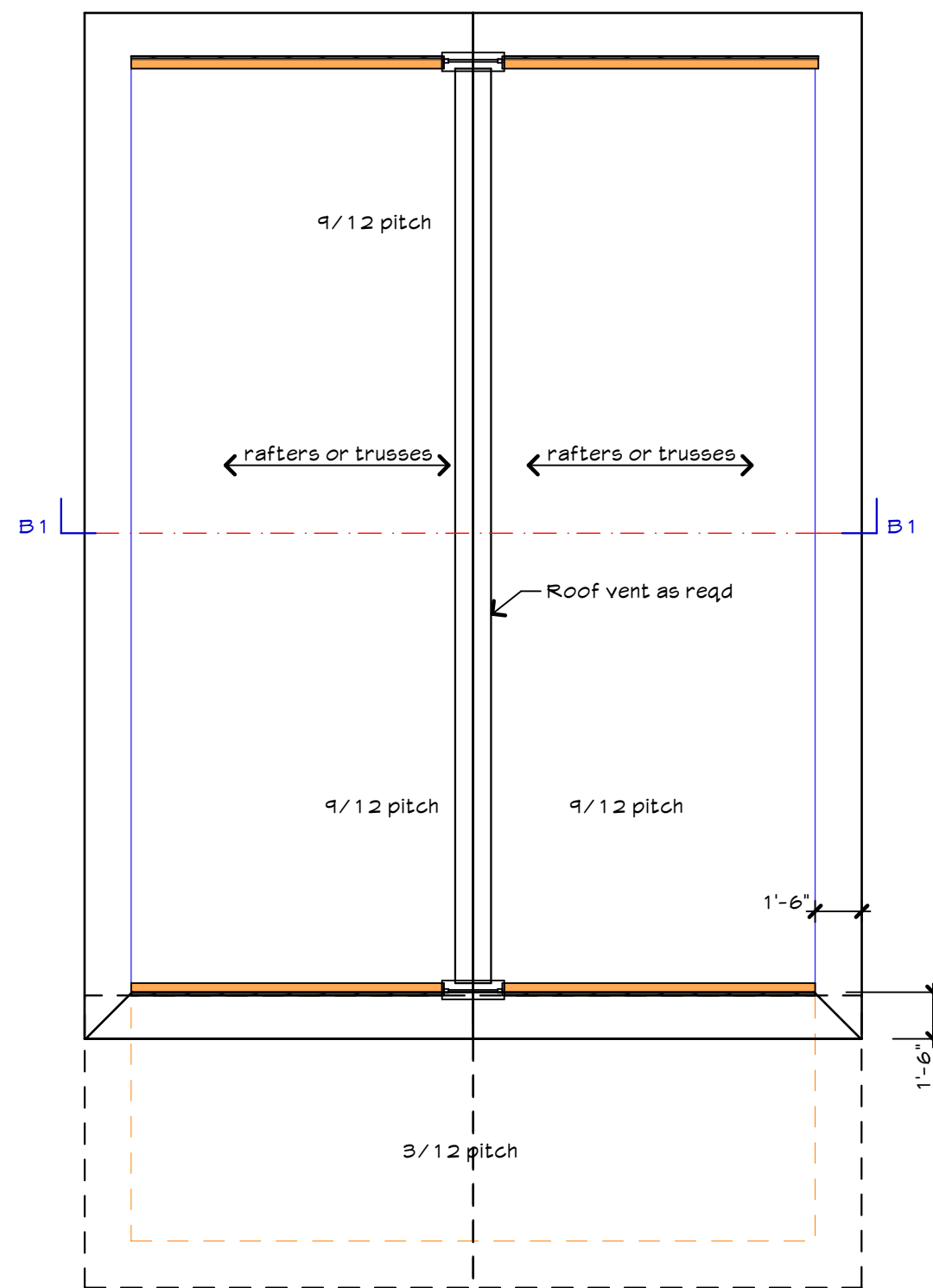


Floor 1 plan
scale 1/4"=1'-0"

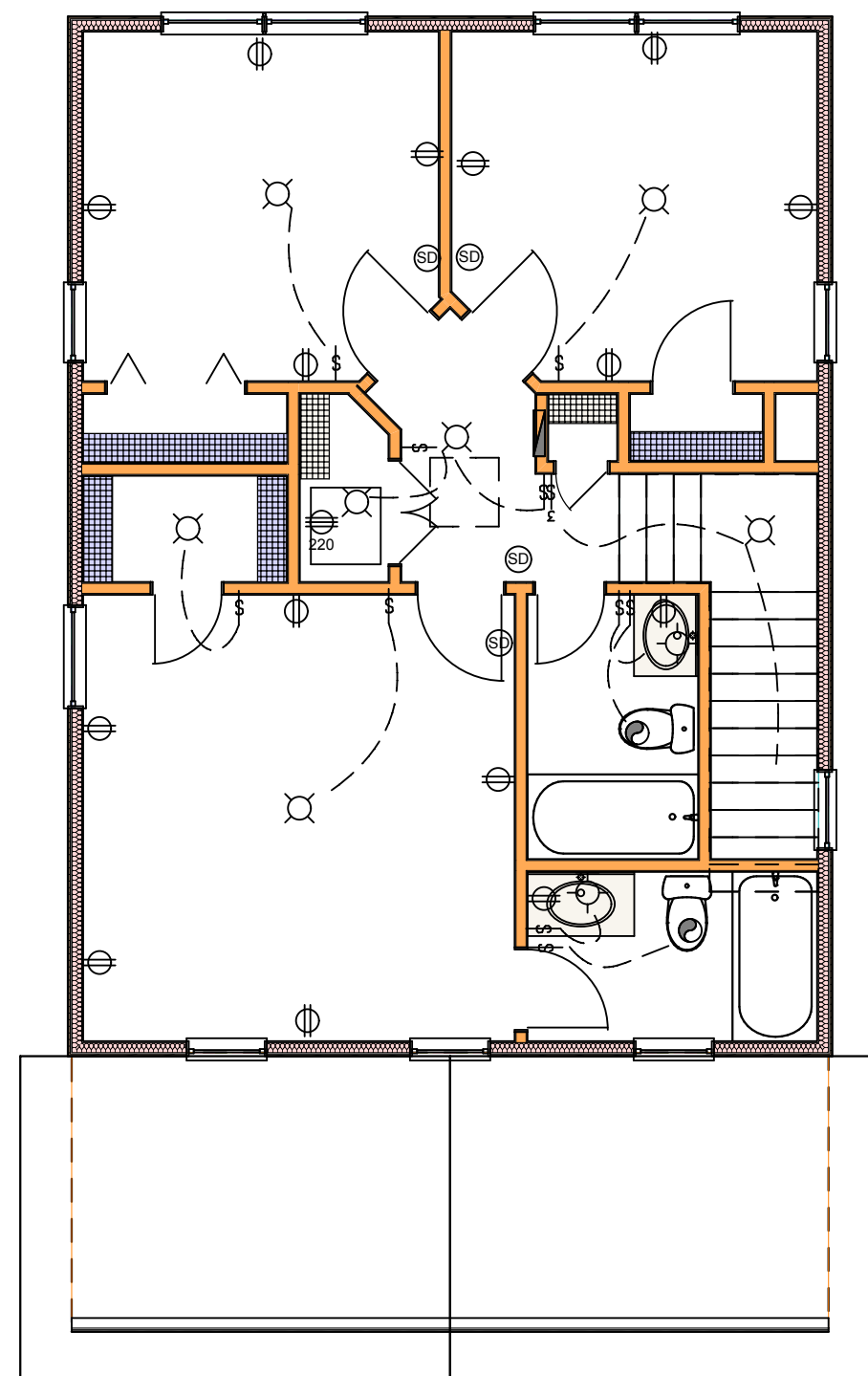
Floor 1 plan	660 sq.ft.
Floor 2 plan	617 sq.ft.
total	1277 sq.ft.

Lot size = 4356 sf
building coverage = 836 sf

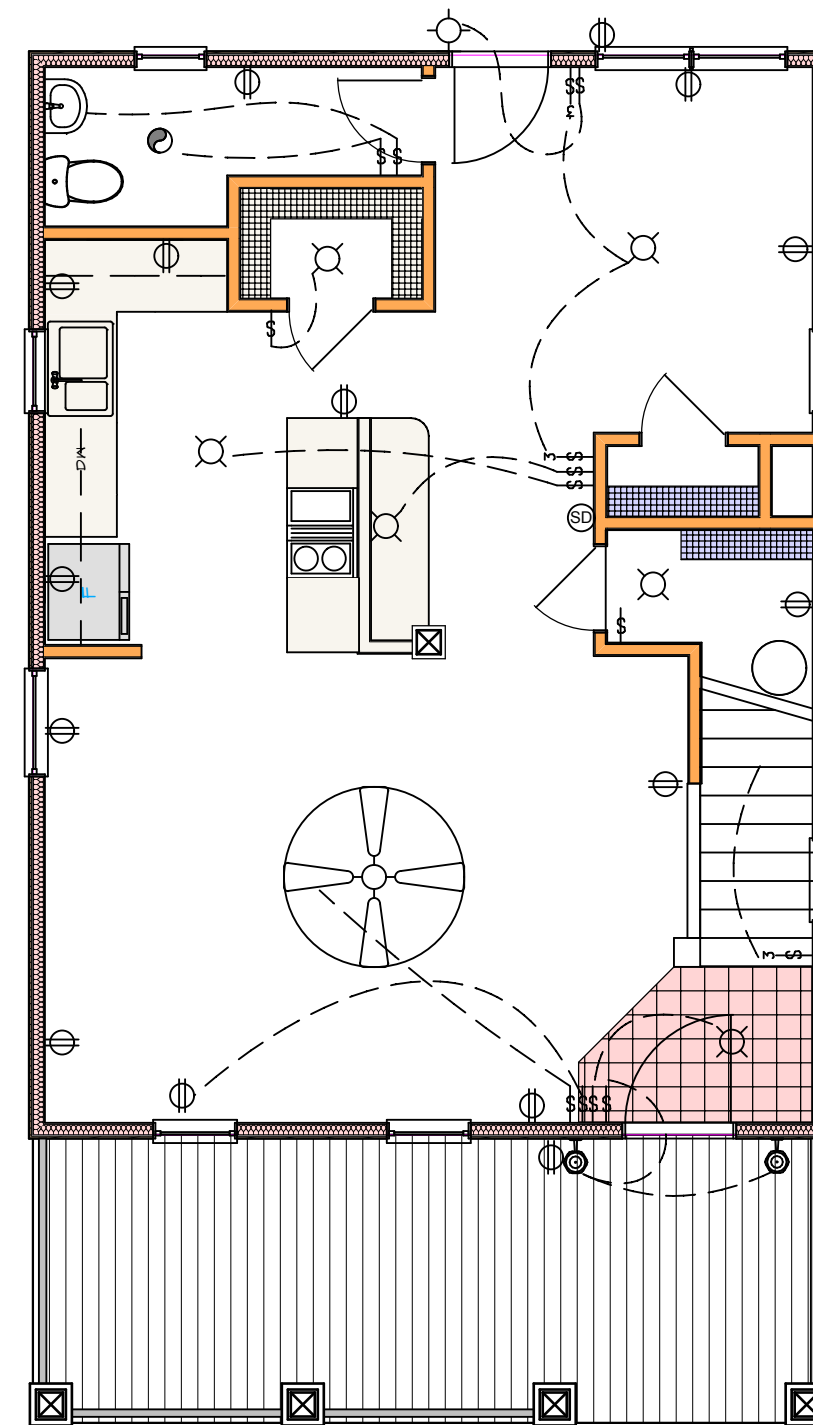




Roof plan
scale 3/16"=1'-0"



Electrical - Floor 2 Plan
scale 3/16" = 1'-0"

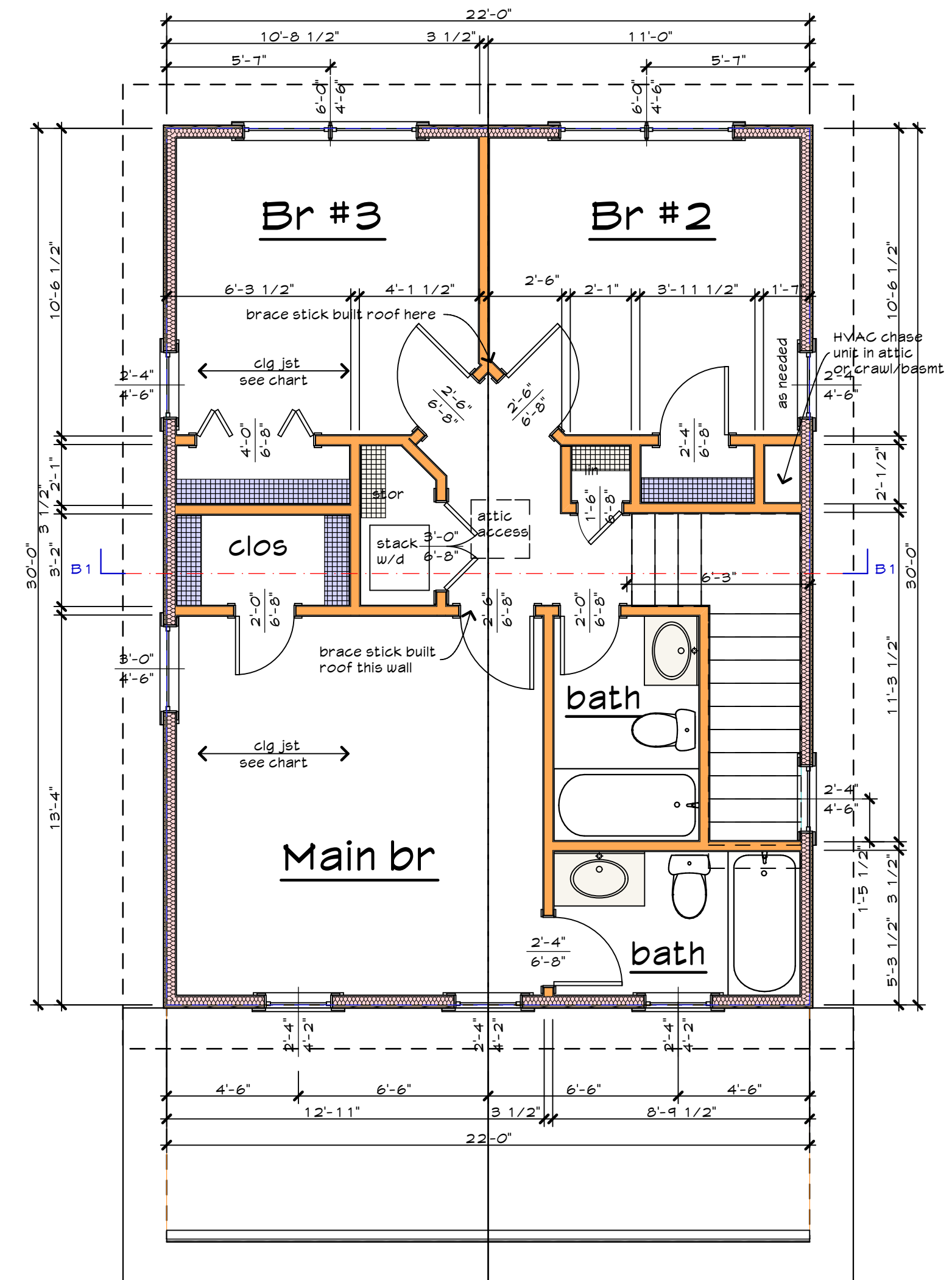


Electrical - Floor 1 Plan
scale 3/16" = 1'-0"

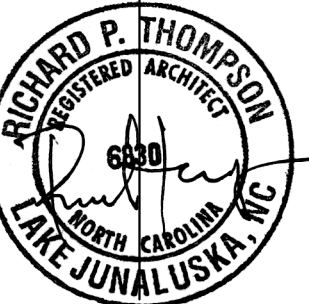
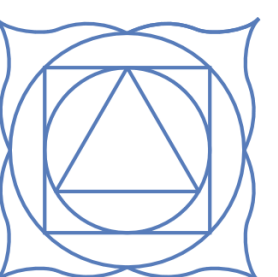
Door List				
Quantity	Width	Height	Type	Name
1	1'-6"	6'-8"	Interior	RDO2 Swing
1	2'-8"	6'-8"	Exterior Wood	RDO1 Door ST
1	3'-0"	6'-8"	Exterior Wood	RDO1 Door ST
1	3'-0"	6'-8"	Interior	RDO2 Swing
1	4'-0"	6'-8"	Interior	RDO5 Bifold
2	2'-0"	6'-8"	Interior	RDO2 Swing
3	2'-6"	6'-8"	Interior	RDO2 Swing
6	2'-4"	6'-8"	Interior	RDO2 Swing
16				

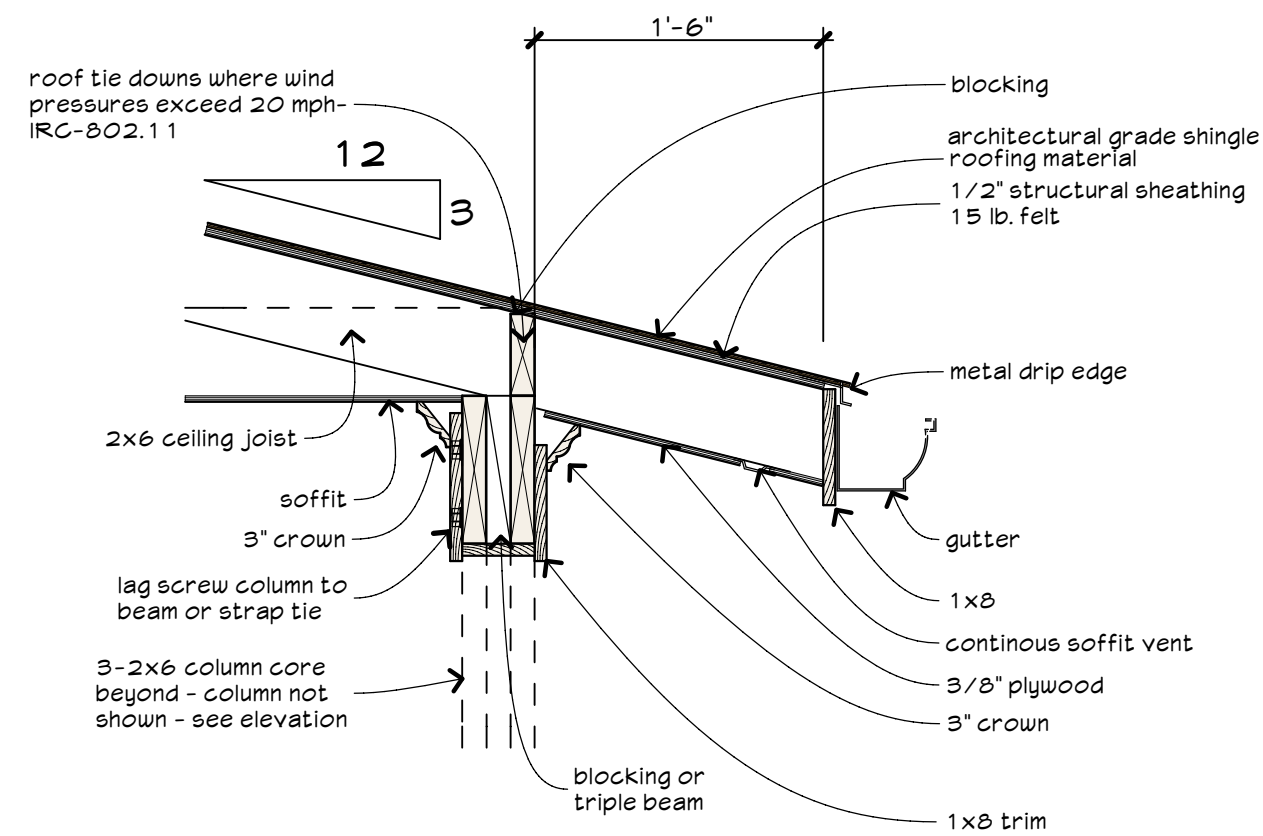
Window List			
Quantity	W x H Size	Units	Wood Clad
1	2'-0"x3'-10"	Single	RN1-4 Doublehung
1	5'-4"x5'-2"	Triple	RN1-4 Doublehung
2	2'-0"x3'-0"	Louver	RN1-1 Stationary
2	2'-4"x4'-6"	Twin	RN1-4 Doublehung
2	2'-4"x6'-2"	Single	RN1-4 Doublehung
2	3'-0"x4'-6"	Single	RN1-4 Doublehung
2	6'-0"x4'-6"	Twin	RN1-4 Doublehung
3	2'-4"x4'-2"	Single	RN1-4 Doublehung
4	2'-4"x4'-6"	Single	RN1-4 Doublehung
19			

All windows to be wood windows

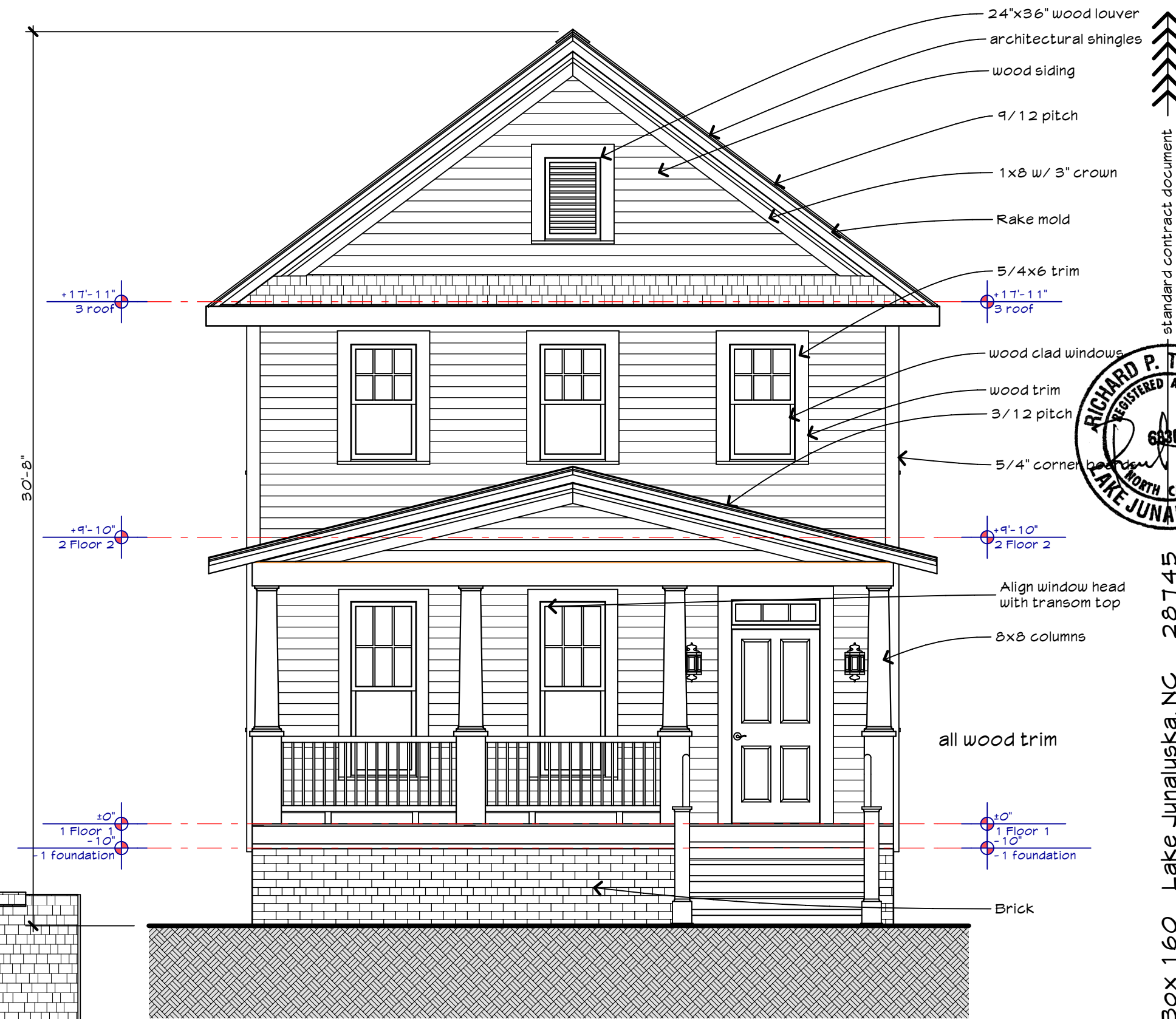


Floor 2 plan
scale 1/4"=1'-0"

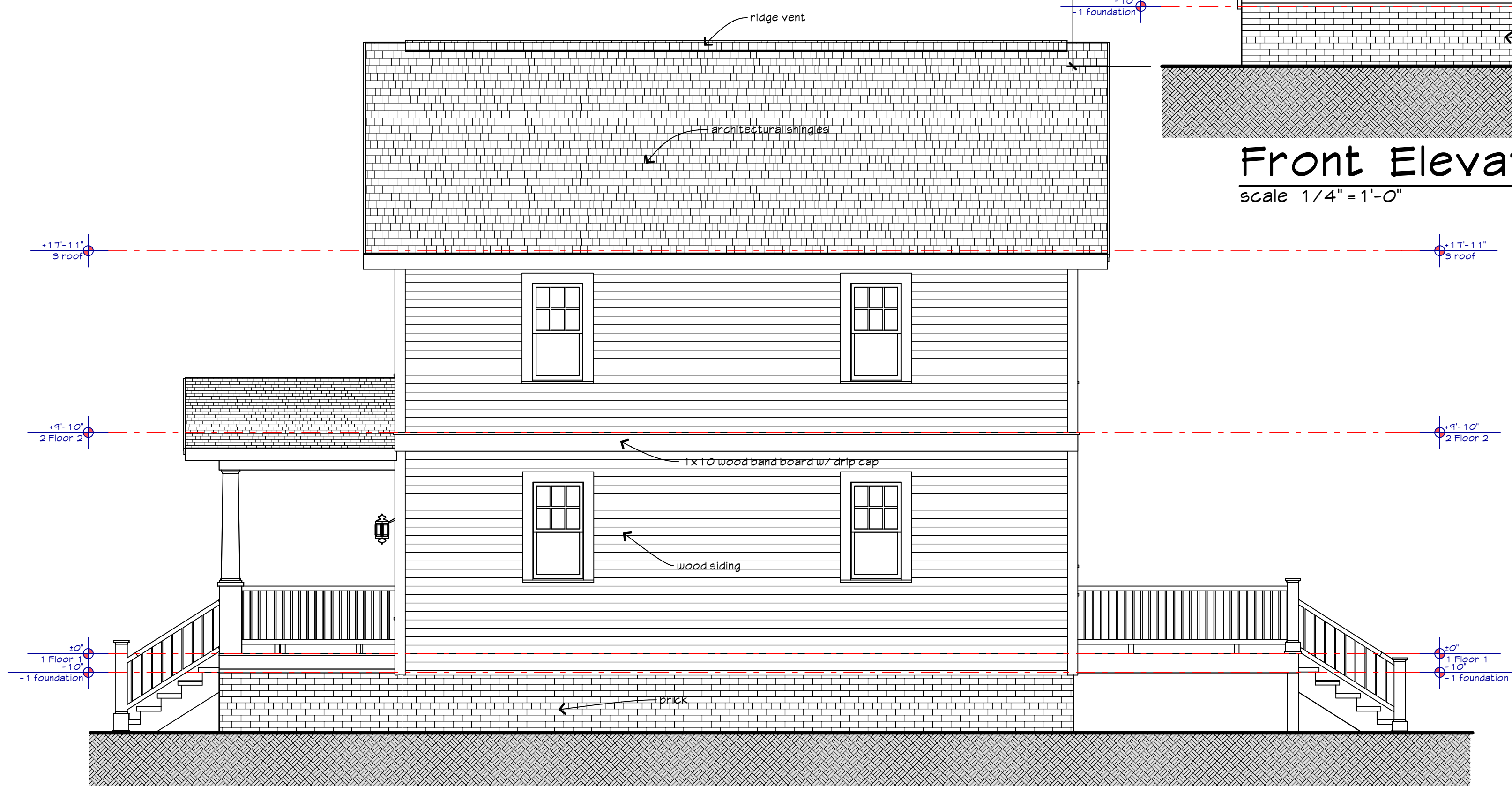




PE 2 Typical Porch Boxed Eave
scale 1" = 1'-0"



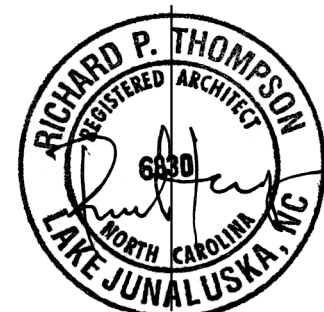
Front Elevation
scale 1/4" = 1'-0"



Right Side Elevation
scale 1/4" = 1'-0"

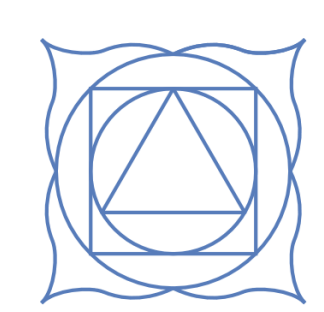


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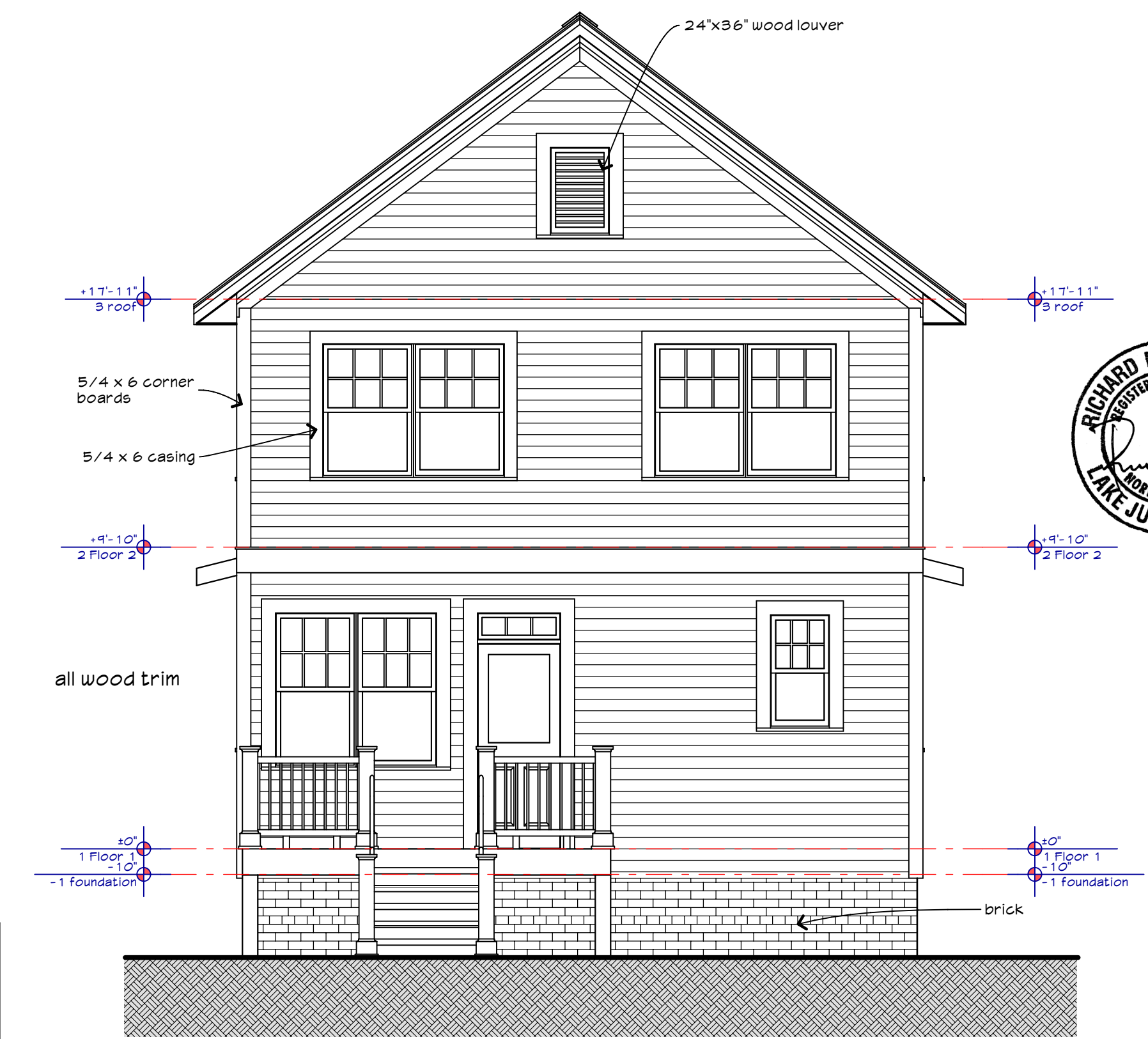
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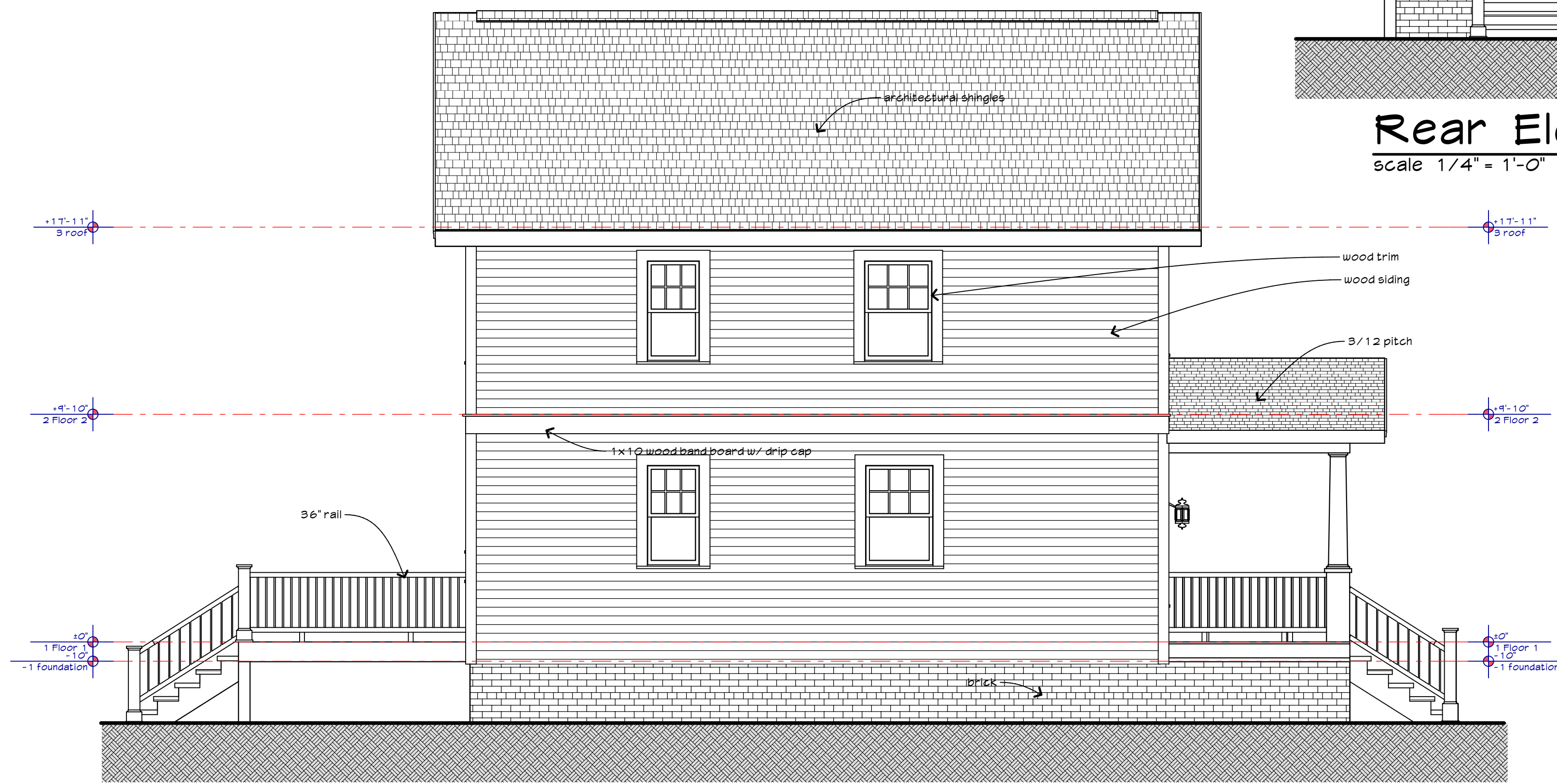


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Rear Elevation
scale 1/4" = 1'-0"



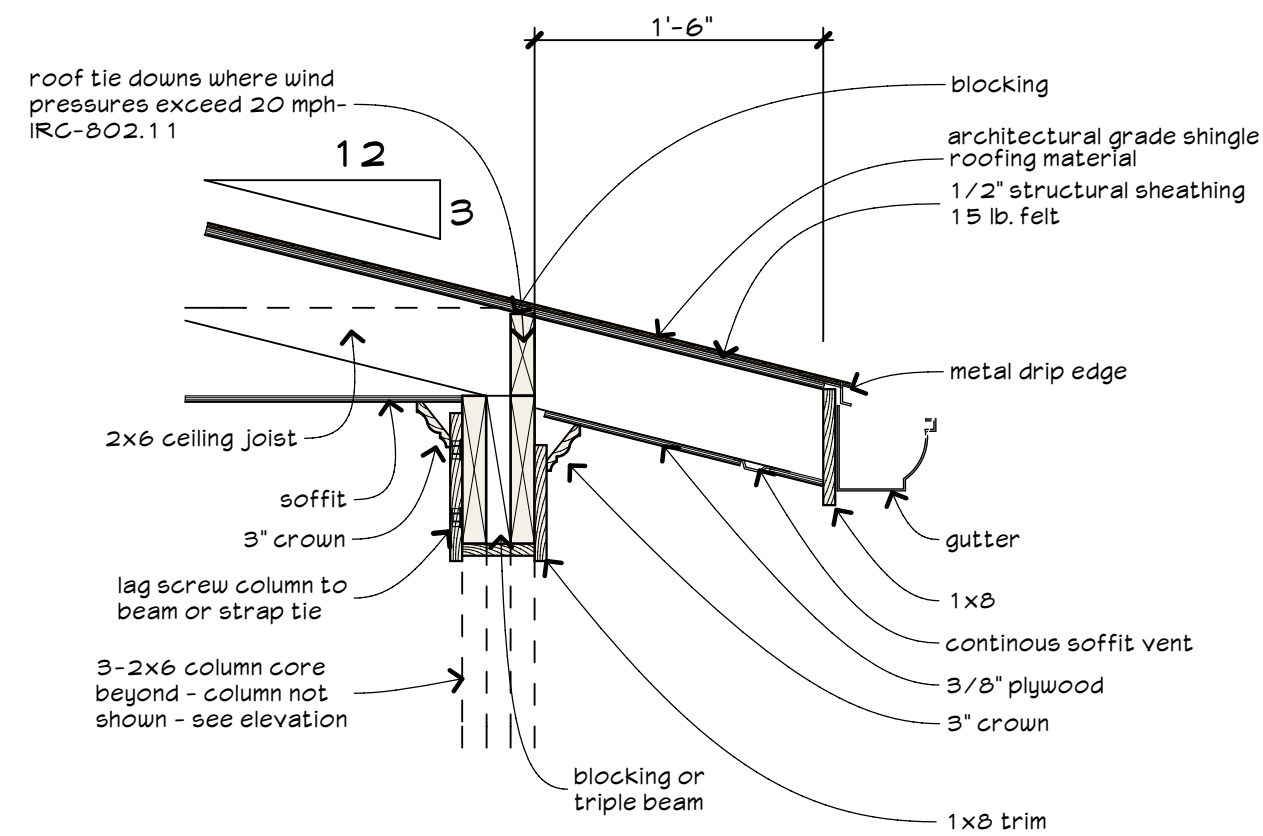
Left Side Elevation
scale 1/4" = 1'-0"

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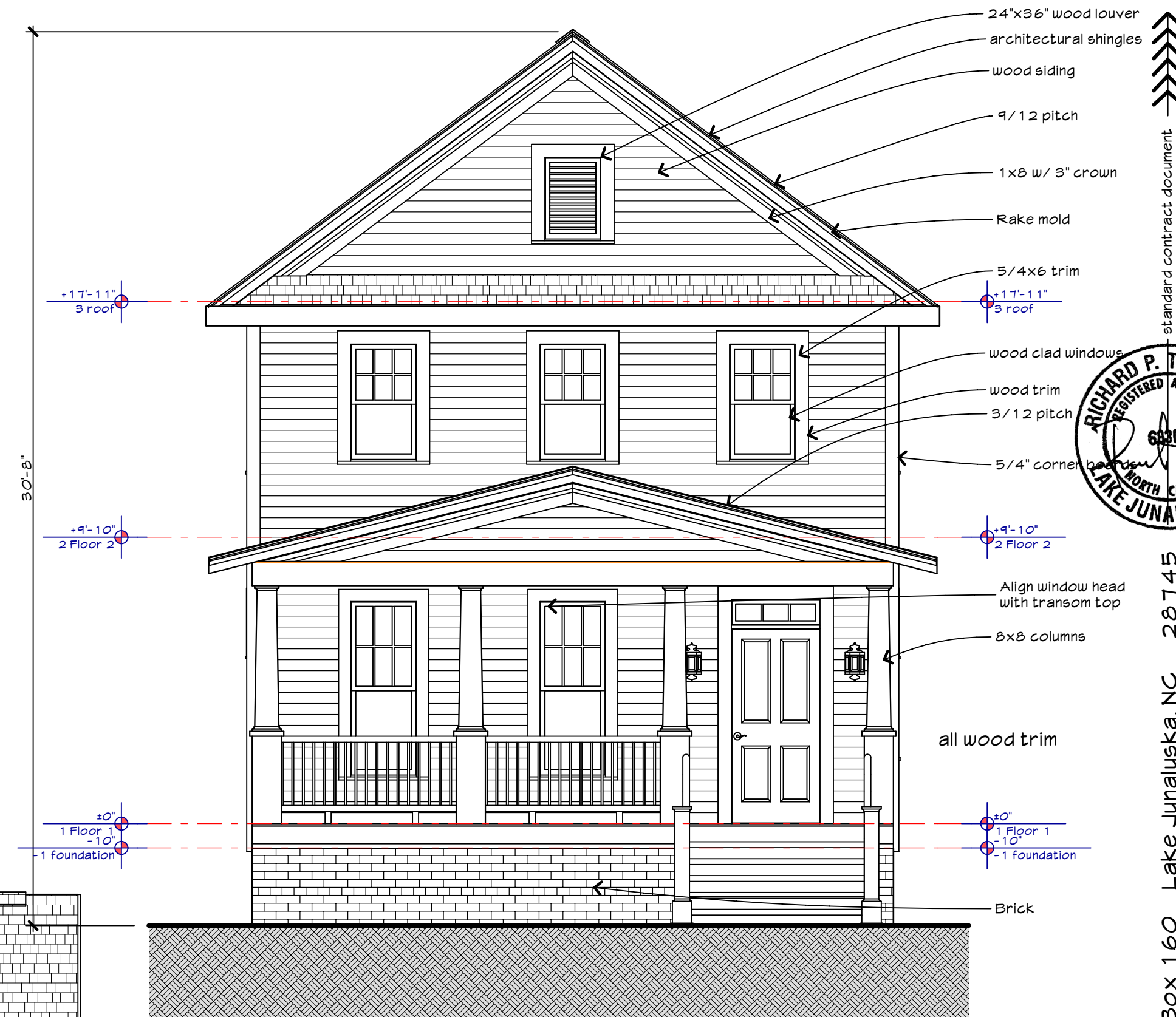
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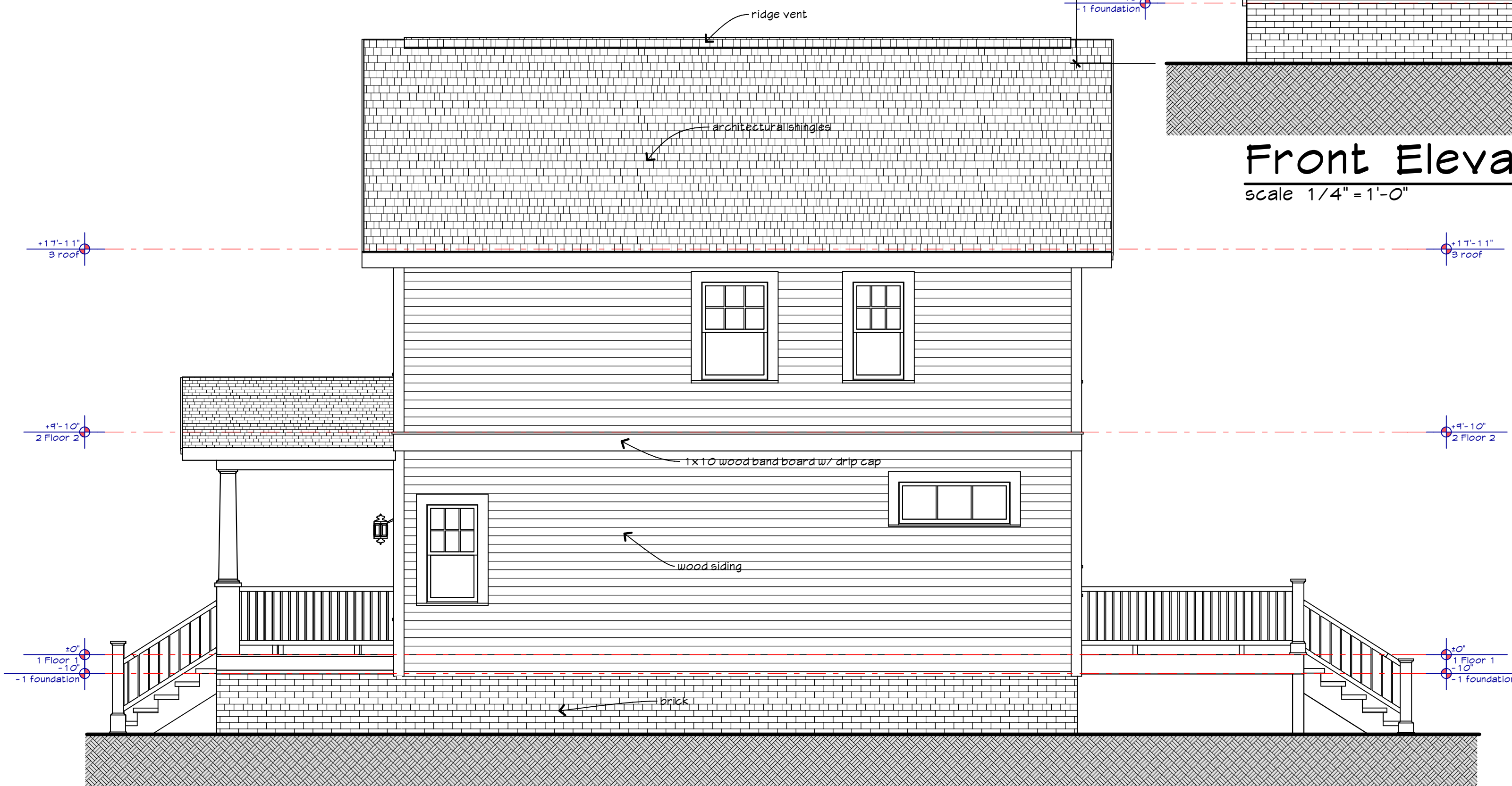
OCTOBER 2014



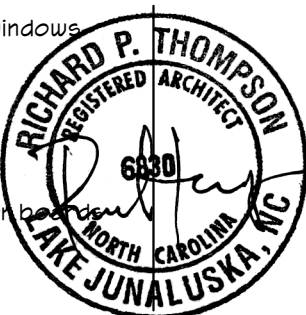
PE2 Typical Porch Boxed Eave
scale 1" = 1'-0"



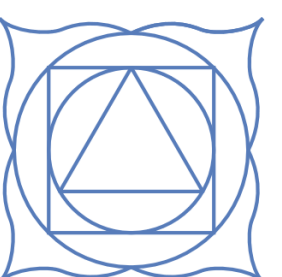
Front Elevation
scale 1/4" = 1'-0"



Right Side Elevation
scale 1/4" = 1'-0"



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