
LOCAL HISTORIC DISTRICT: Dilworth

ADDRESS OF PROPERTY: 1701 Park Road

SUMMARY OF REQUEST: New Construction - Single Family Home

OWNER: Brennan and Colleen Giggey

APPLICANT: Connie and Frank Reed

Details of Proposed Request - Demolition

Existing Conditions

This c. 1920 house is identified as Contributing in the National Register of Historic Places Inventory. It appears as it has for many years but the understanding is that it is completely gutted to the exterior walls. Demolition is being requested. This property qualifies for Preservation Tax Credits because it is located within a National Register Neighborhood. It is a 1.5 story Colonial Revival design with balanced fenestration along the façade and a covered entrance. The exterior is wood shingle siding. The home is set back slightly from the adjacent homes on either side.

Determination of Substantial Change

The proposal was denied in November 2013 based on non-compliance with the guidelines for Size, Scale and Massing. Before deliberating on the current project the Commission must determine if the applicant has made substantial changes to the previous plan. Based on the current submittal the following revisions have been made:

1. The roof has been redesigned as a series of hip forms.
2. The setback is more consistent with the houses to either side.
3. Context images are included to show the house in comparison to those on the block.
4. The overall design concept of the home has not changed.

Staff believes the revised roof design has improved the massing and scale of the home resulting in a substantial change.

Proposal

The proposed project is a new 2 story home on a lot that slopes downward from right to left. The front setback will be in alignment with adjacent homes. The overall height of the home is approximately 31'-9" measured from the finished floor to the ridge. The adjacent homes are approximately 18'-7" and 30'-10" as noted on the plans, measured from the finished floor. The roof form is a series of hips with exposed rafter ends. The front porch has stone piers with tapered columns supporting the roof. Windows are 3 over 1. Access to the garage is through a porte-cochere with conditioned space above it. Siding is a combination of cedar shake on the lower level and wood lap siding on the upper levels. Trim banding is continued on all sides. The roof features exposed rafter ends.

Policy & Design Guidelines for New Construction

HDC Design Policy requires that new construction be evaluated according to the following:

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis – Updated for February 2014 Hearing

The Commission should consider the following:

1. Scale
2. Massing

Staff believes the proposal meets the remaining guidelines for new construction.

Charlotte Historic District Commission - Case 2014-015

Historic District -DILWORTH



1701 Park Rd.

1704

1618

1701

1715

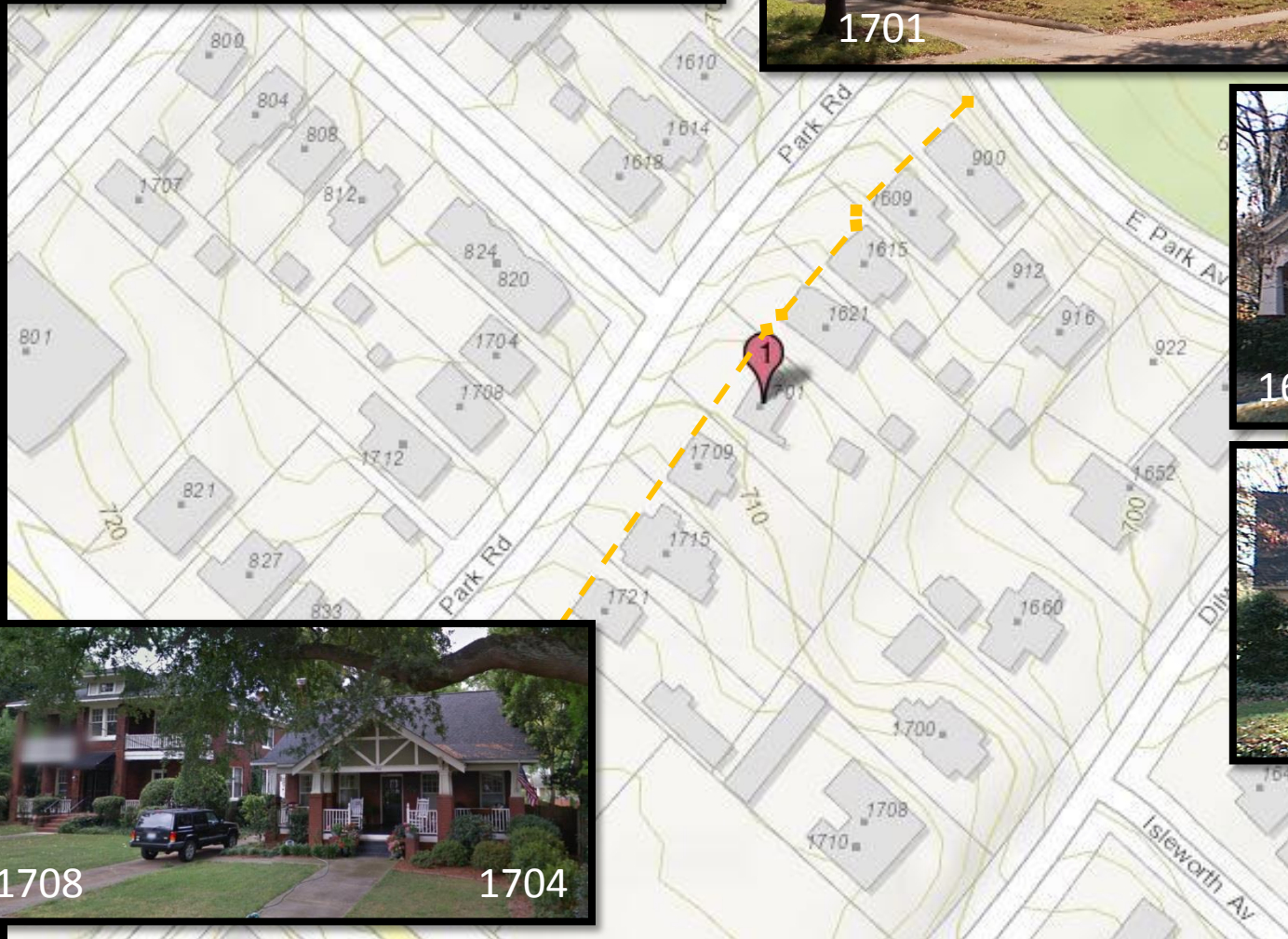
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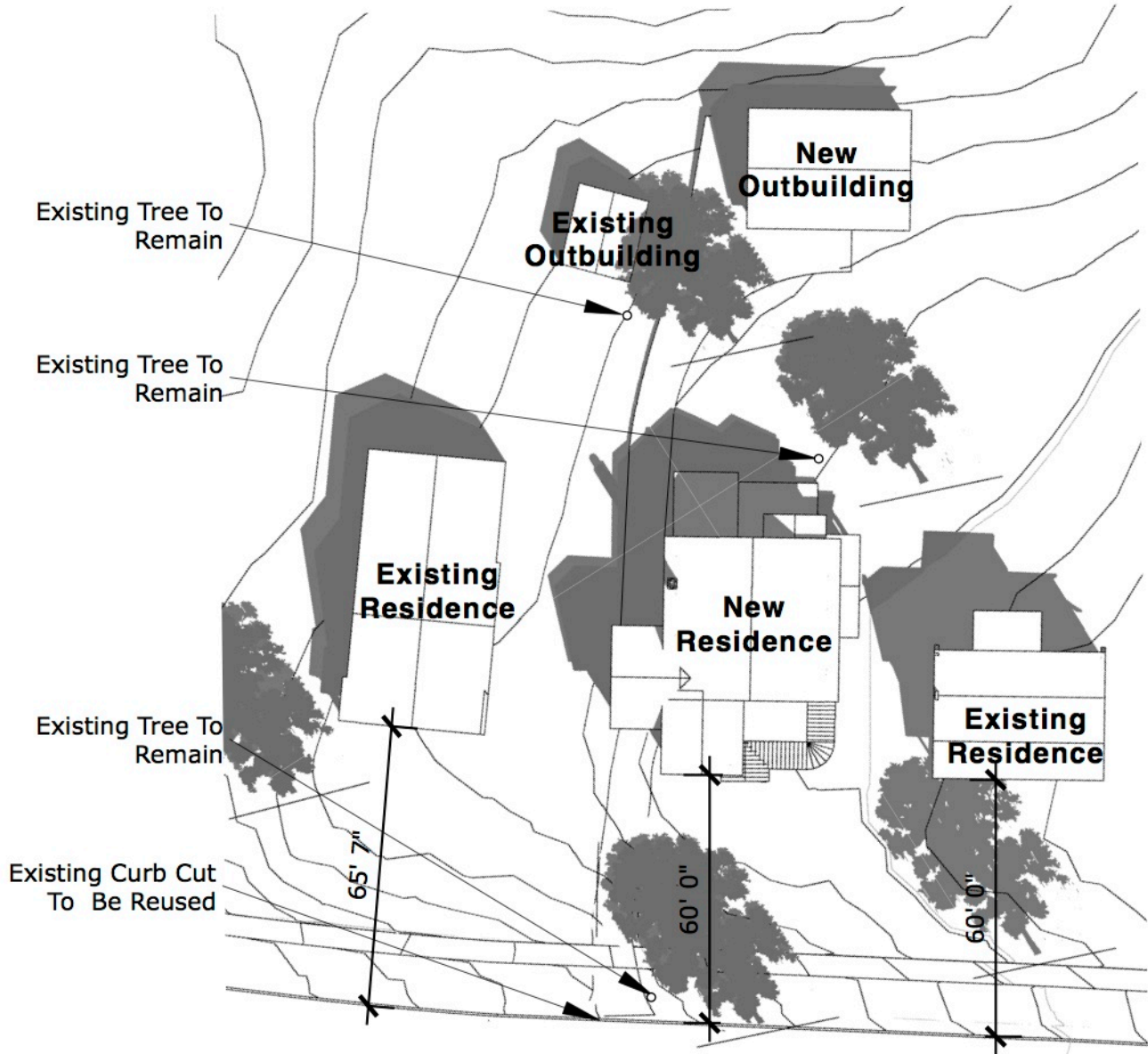
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1708

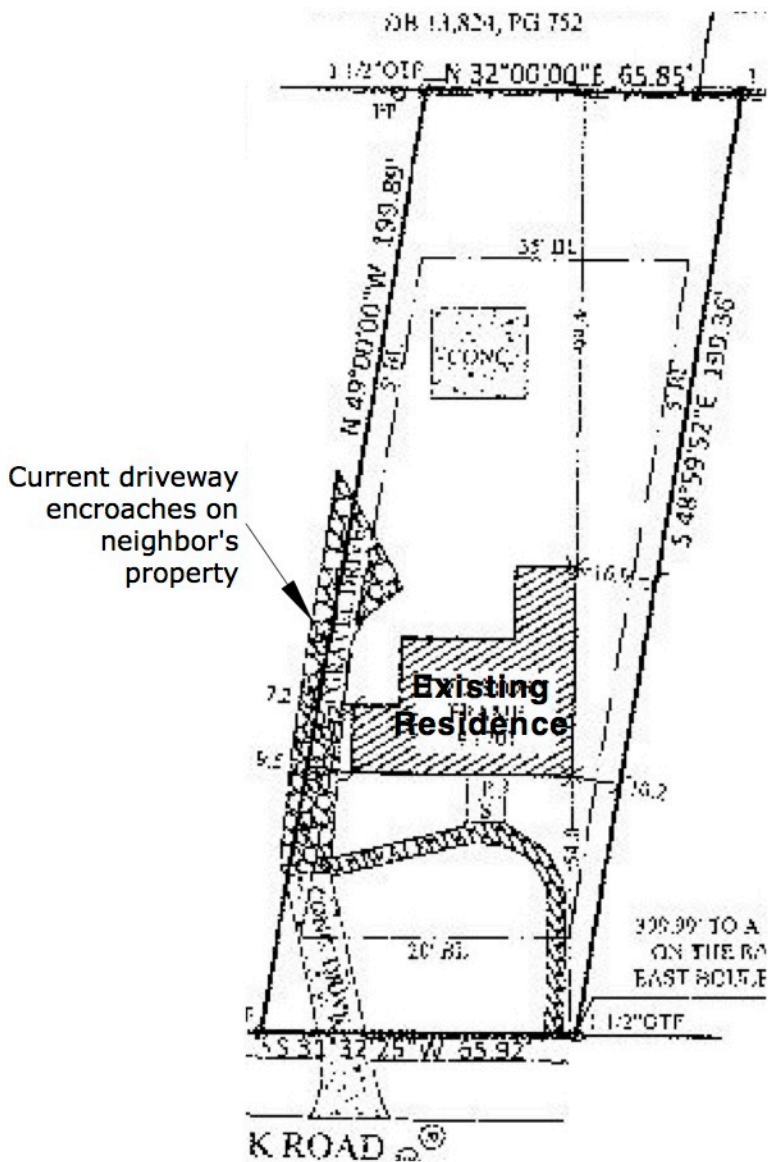
1704





Aerial of Context

Scale: 1"=40'-0"



Existing vs. New

Scale: 1"=40'-0"

Zoning Setback Summary:

Zoning: R-5
Required Setback: 30 ft.
Required Side yard Setback: 5 feet
Required Rear Yard Setback: 40 feet
Architectural Features (Eaves, Cornices, Etc.)
Allowed to project up to 3 feet into any required yard

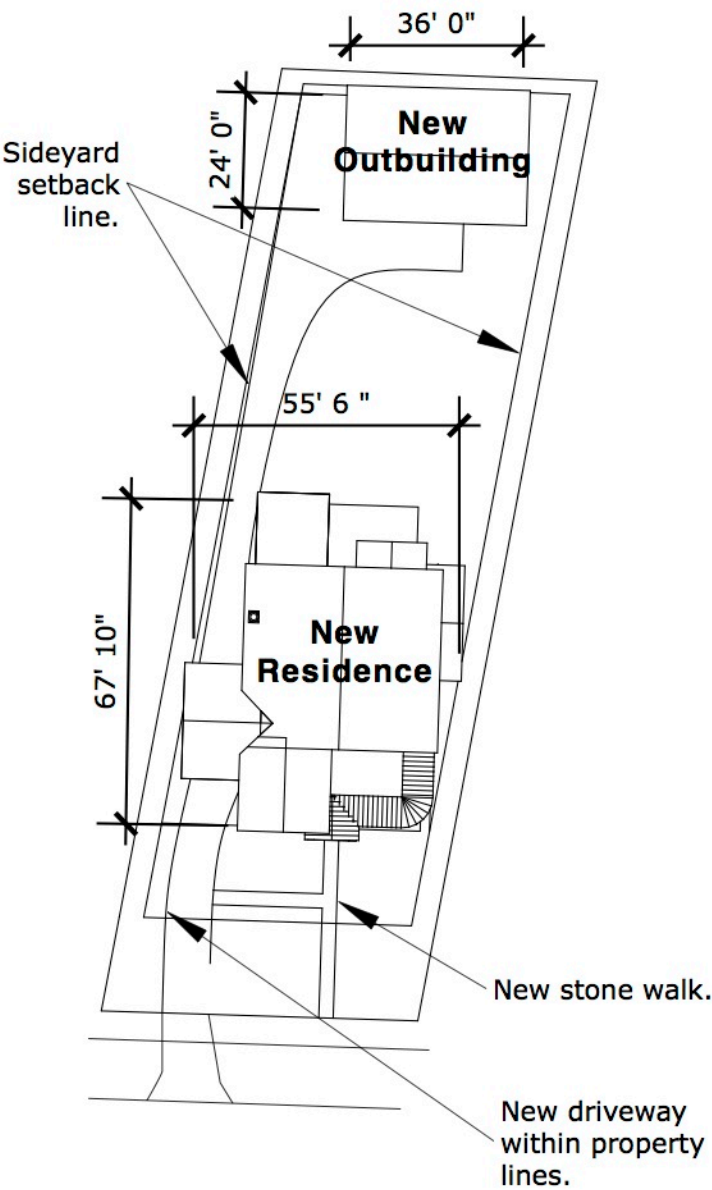
Accessory Structure Setbacks:
Side Yard: 5 feet
Rear Yard: 3 Feet
No architectural feature of any feature on the accessory building shall project into the setback.

New Residence Setbacks:

Front Yard Setback: 39'-6"
Left Sideyard Setback: 5'-0"
Right Sideyard Setback: 5'-10"
Architectural Feature
Encroachment: 1'-10"

Accessory Structure Setbacks:

Sideyard: 10' and 16'
Rearyard: 5'-0"
Overhang: 2'-0"



Issue Date:
09.18.13 HDC Initial
11.04.13 HDC Final
Job Number: 13-13
Drawn By: CLG

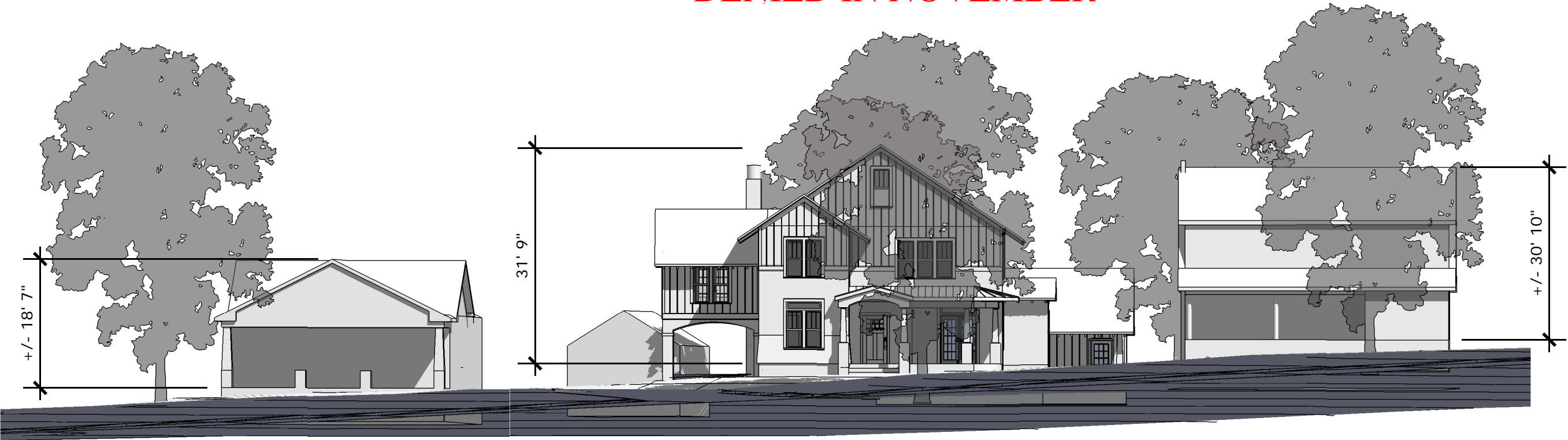
Reed Residence
New Residence
1701 Park Road
Charlotte, NC 28203

Site Plans
A1

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927 central ave charlotte nc 28204
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DENIED IN NOVEMBER



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Issue Date:

09.18.13 HDC Review
10.01.13 HDC Final

Job Number: 13-13
Drawn By: CLG

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New Residence
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View From Park Road

A2



New Streetscape
Scale: 1/16" = 1'-0"

Existing Streetscape
Scale: NTS

DENIED IN NOVEMBER



Asphalt Shingle Roof
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

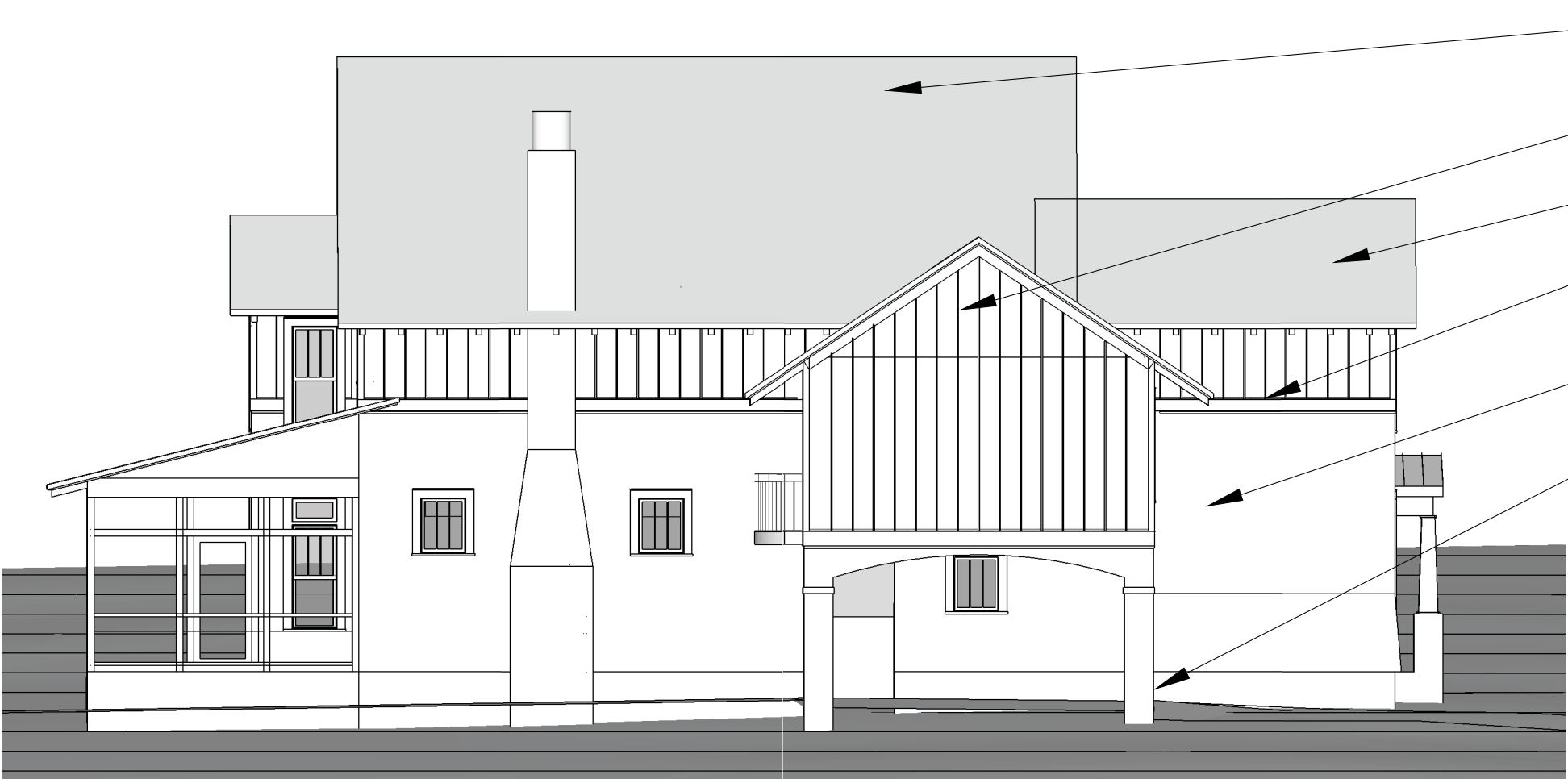
3 Over One Double-
Hung Windows
(Transoms At First
Floor)

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Front Elevation

Scale: 1/8" = 1' 0"



Asphalt Shingle Roof
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Left Side Elevation

Scale: 1/8" = 1' 0"



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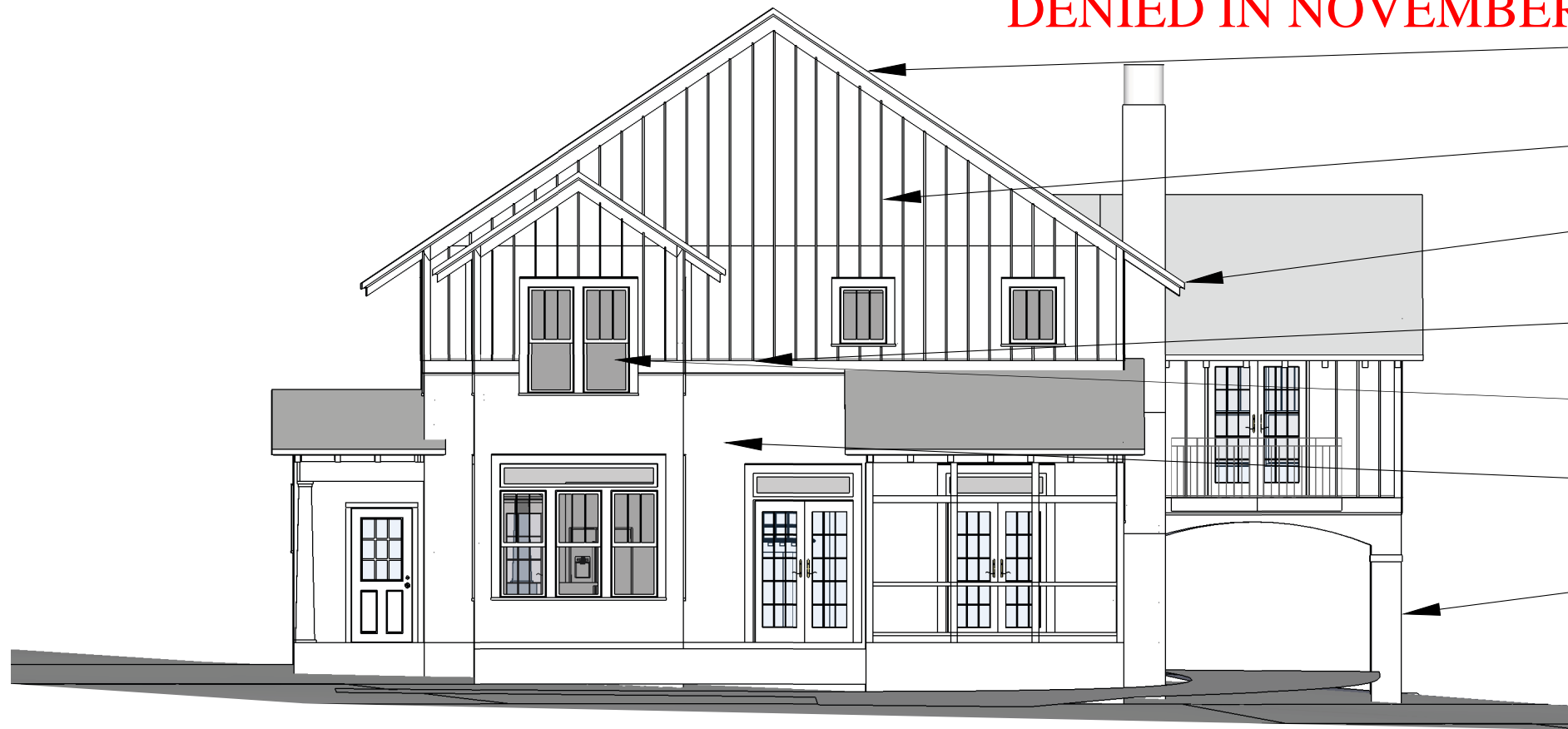
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Exterior Elevations

A3

DENIED IN NOVEMBER



Asphalt Shingle Roof
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

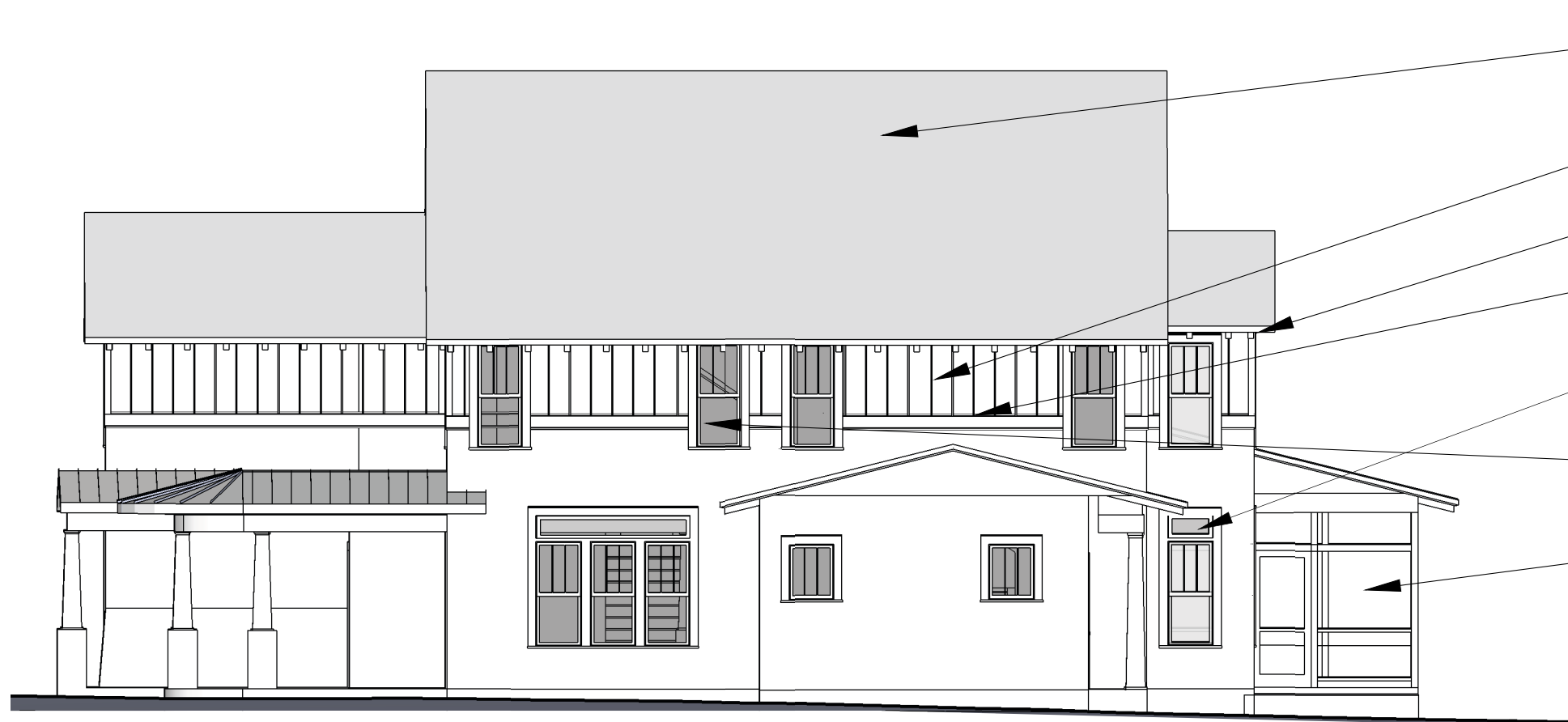
3 Over One Double-
Hung Windows

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Rear Elevation

Scale: 1/8" = 1' 0"



Asphalt Shingle Roof
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

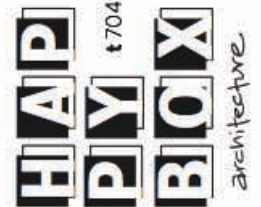
3 Over One Double-
Hung Windows
(Transoms At First
Floor)

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Right Side Elevation

Scale: 1/8" = 1' 0"



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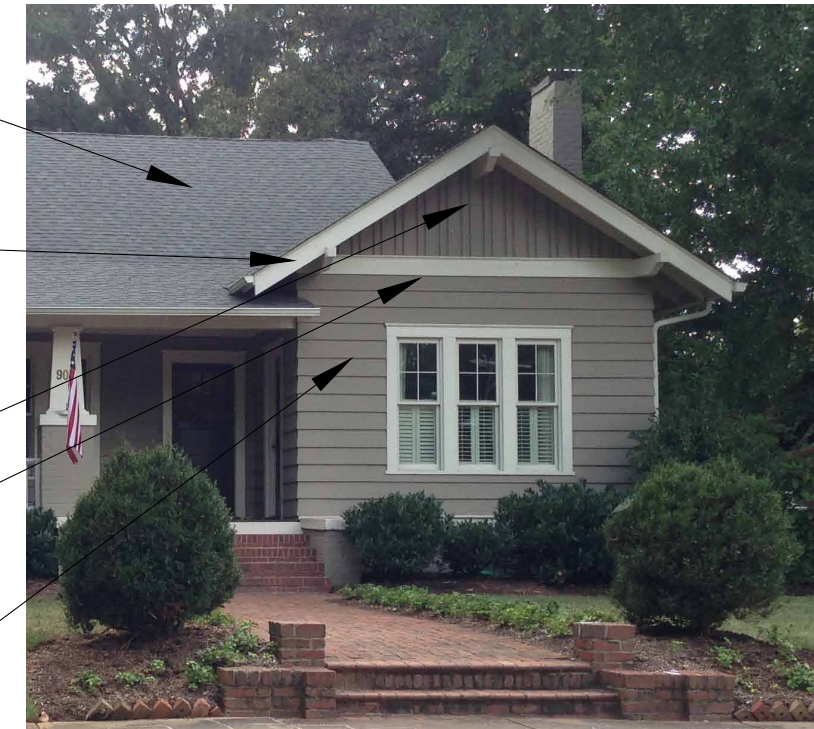
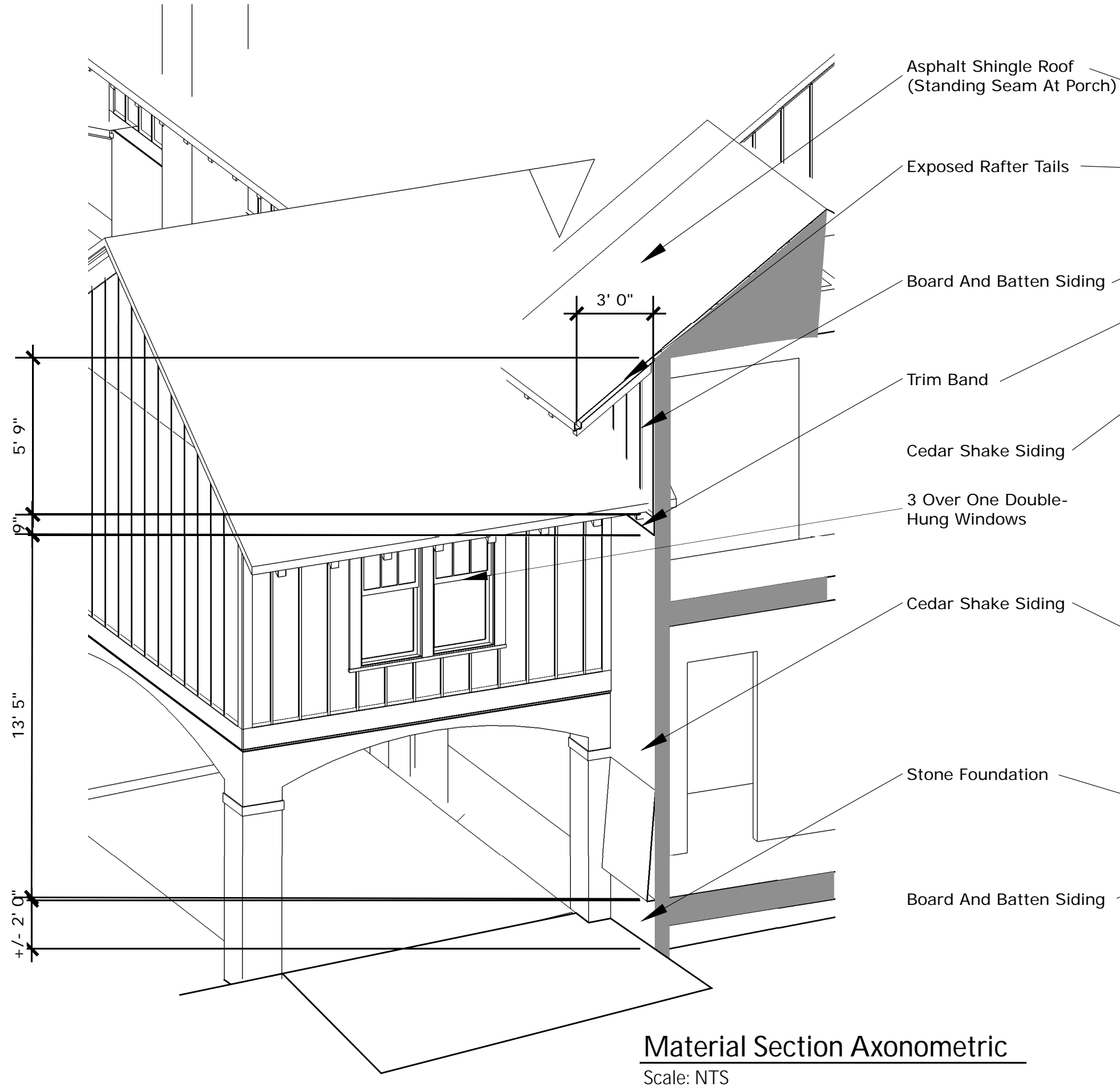
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Exterior Elevations

A4

DENIED IN NOVEMBER



HAPPY BOX
architecture

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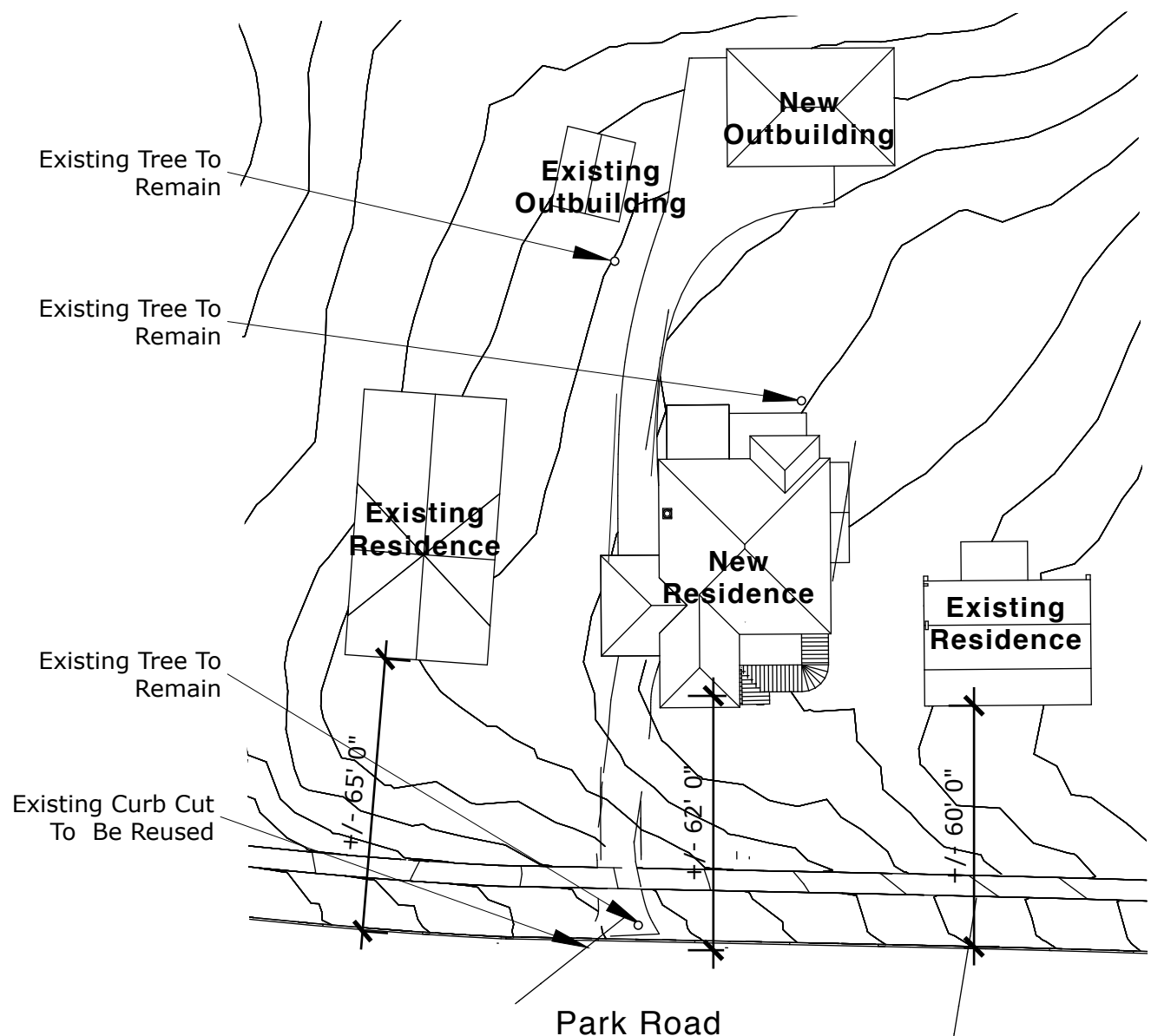
Issue Date:
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10.01.13 HDC Final
Job Number: 13-13
Drawn By: CLG

Reed Residence
New Residence
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Material Palette and
Precedence

A5

FEBRUARY 2014



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Existing vs. New

Scale: 1"=40'-0"

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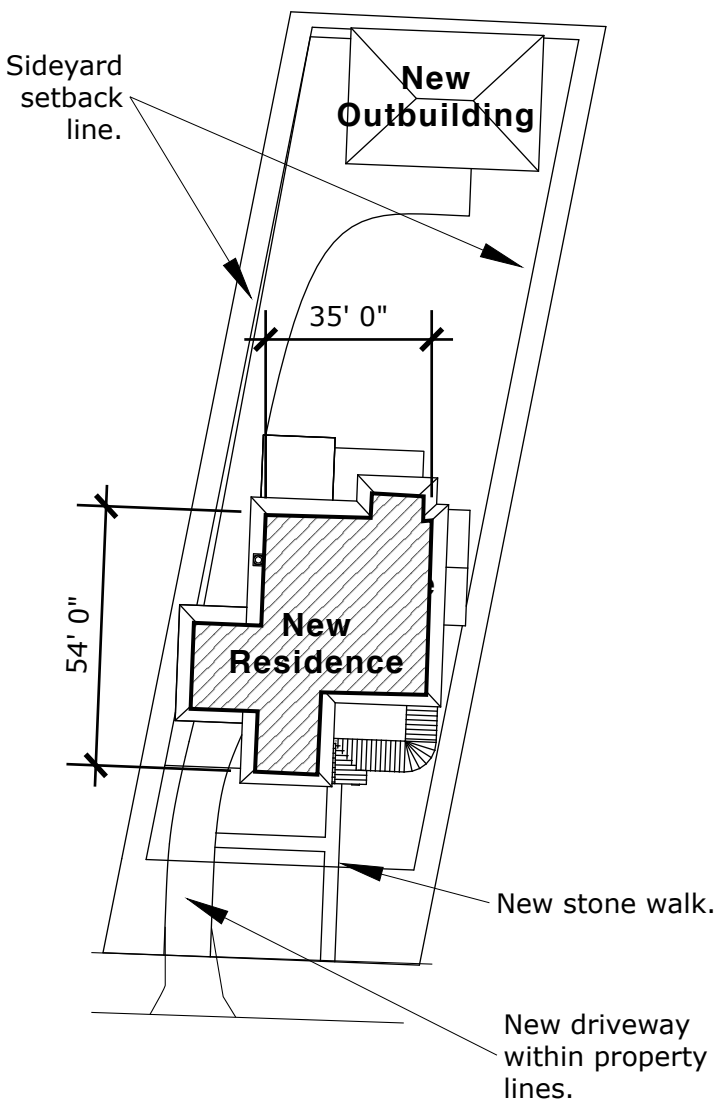
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New Residence Setbacks:

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Architectural Feature
Encroachment: 1'-10"

Accessory Structure Setbacks:

Sideyard: 10' and 16'
Rearyard: 5'-0"
Overhang: 2'-0"



Issue Date:
01.15.14 HDC Initial
Job Number: 13-13
Drawn By: CLG

Reed Residence
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Site Plans

A1

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FEBRUARY 2014



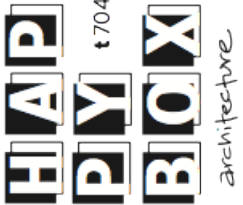
Proposed Streetscape

Scale: NTS



Proposed View From East Blvd.

Scale: NTS



Issue Date:

02.03.14 HDC
Application Addendum

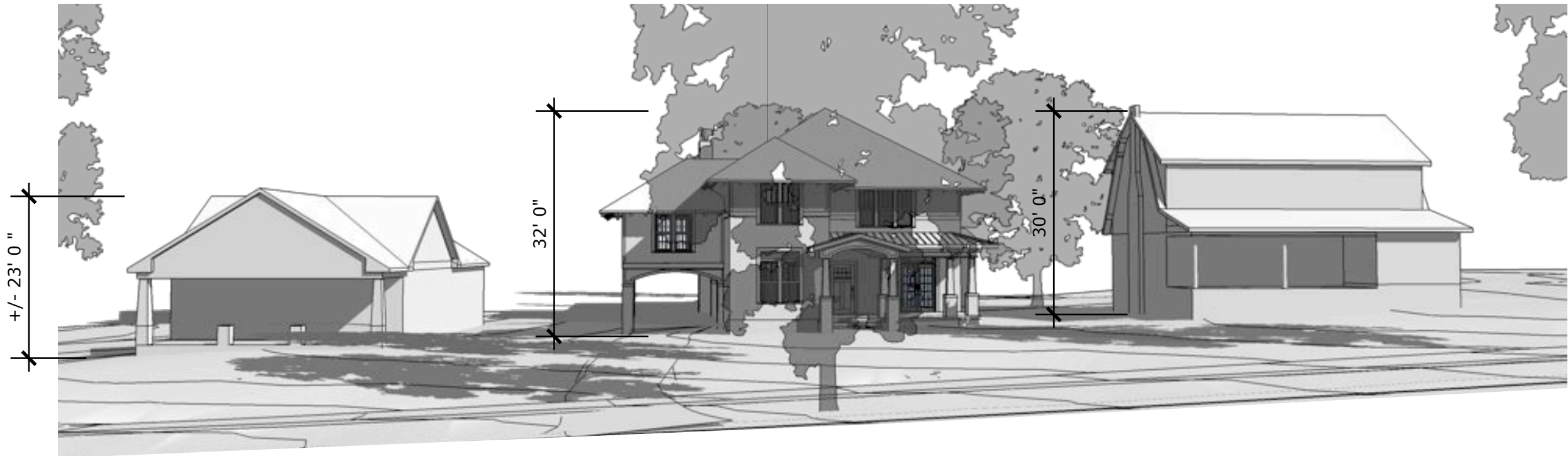
Job Number: 13-13
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Street Perspectives

A7

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Issue Date:

01.15.14 HDC Initial

Job Number: 13-13
Drawn By: CLG

Reed Residence
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Charlotte, NC 28203

View From Park Road

A2



New Streetscape
Scale: NTS

Existing Streetscape
Scale: NTS

FEBRUARY 2014



Asphalt Shingle Roof
(Standing Seam At Porch)

Exposed Rafter Tails

German Lap Siding

Trim Band

3 Over One Double-
Hung Windows
(Transoms At First
Floor)

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Front Elevation

Scale: 1/8" = 1' 0"



Issue Date:

01.15.14 HDC Initial

Job Number: 13-13
Drawn By: CLG



Asphalt Shingle Roof
(Standing Seam At Porch)

German Lap Siding

Exposed Rafter Tails

Trim Band

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Left Side Elevation

Scale: 1/8" = 1' 0"

Reed Residence
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Exterior Elevations

A3

FEBRUARY 2014



Asphalt Shingle Roof
(Standing Seam At Porch)

German Lap Siding

Exposed Rafter Tails

Trim Band

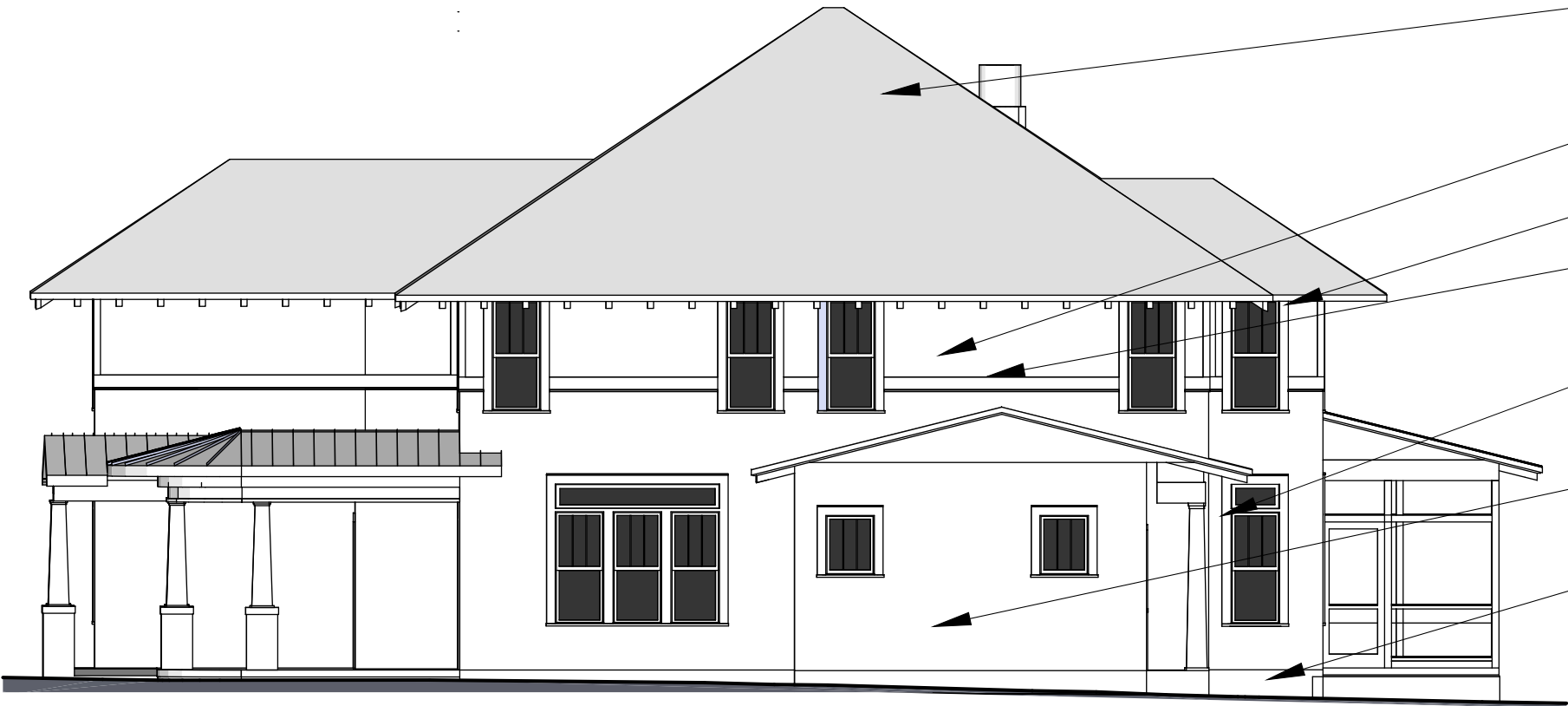
3 Over One Double-
Hung Windows

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Rear Elevation

Scale: 1/8" = 1' 0"



Asphalt Shingle Roof
(Standing Seam At Porch)

German Lap Siding

Exposed Rafter Tails

Trim Band

3 Over One Double-
Hung Windows
(Transoms At First
Floor)

Cedar Shake Siding

Stone Foundation
(Stone Columns
At Porte Cochere)

Right Side Elevation

Scale: 1/8" = 1' 0"



Issue Date:

01.15.14 HDC Initial

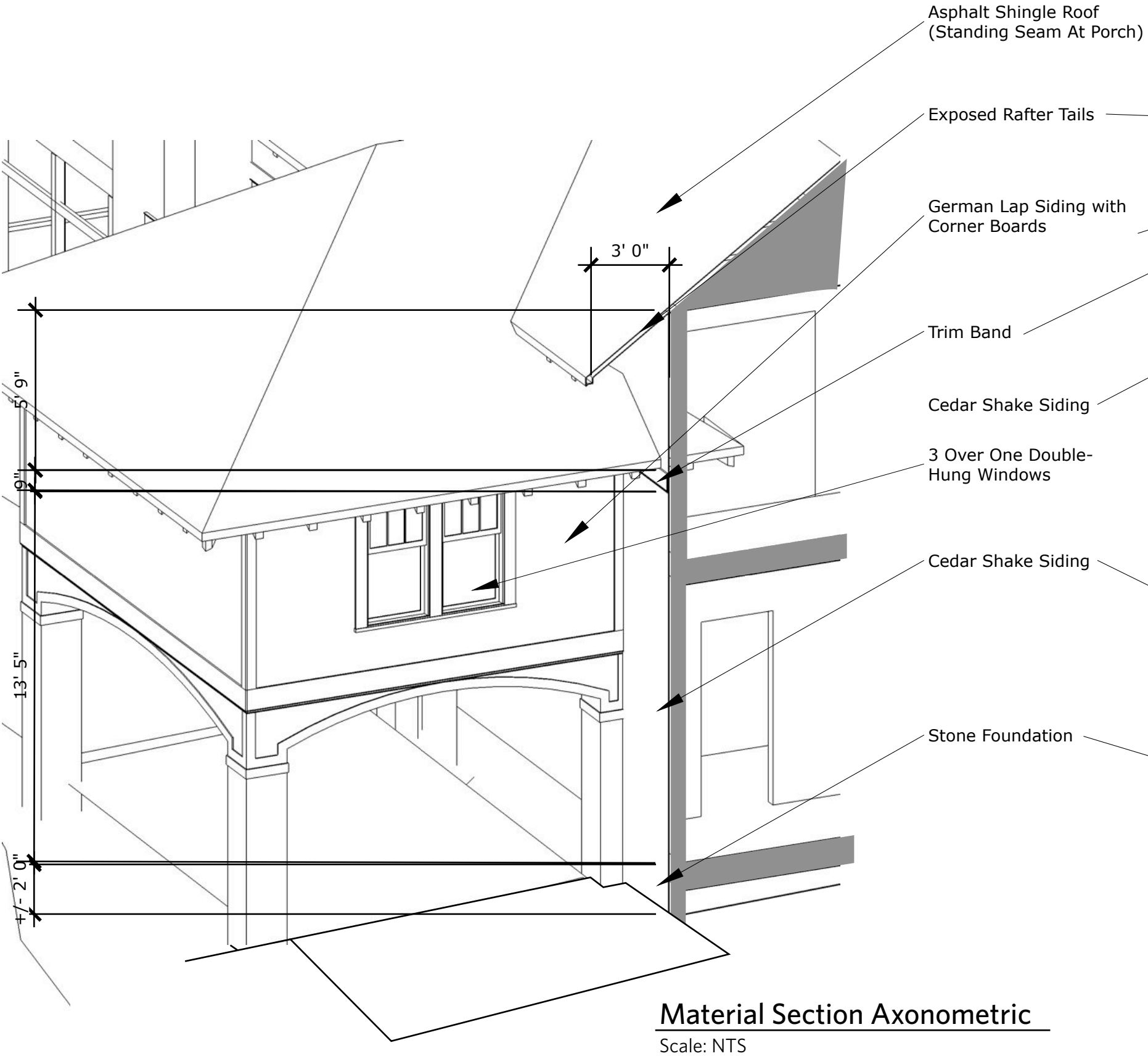
Job Number: 13-13

Drawn By: CLG

Reed Residence
New Residence
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Charlotte, NC 28203

Exterior Elevations

A4



Kingston Avenue Precident

Scale: NTS



Dilworth Road West Precident

Scale: NTS



Issue Date:
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Job Number: 13-13
Drawn By: CLG

Reed Residence
New Residence
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Material Palette and
Precedence

A5