
LOCAL HISTORIC DISTRICT: Dilworth

ADDRESS OF PROPERTY: 405 East Tremont Avenue

SUMMARY OF REQUEST: Demolition and New Construction - Single Family Home

OWNER: Aya Kashkash

APPLICANT: Osama Esmail

Details of Proposed Request

Existing Conditions

The subject property is a one story brick duplex built in 1950, it is not listed as a contributing structure in the National Register. The length of the existing structure is approximately 62 feet. Adjacent structures along the block include a duplex and various types of one and two storey single family homes. Setbacks along the block are generally consistent.

Proposal

The applicant requests approval for demolition of the duplex. The proposal is for the construction of a new one and one half story home. Details of the home include:

- Brick foundation
- Squared columns
- Full width front porch, 7' in depth
- Traditional style windows
- Wood siding
- Exposed rafter tails
- Wood details (Columns, railing, pickets, brackets, corner boards)
- Cedar accent siding on the gables and dormer

Proposal - Updated for October 9, 2013 Hearing

Based on comments from September. The site plans have been revised to show the mature tree in the front and setback dimensions. The proposed front setback shown is 22' from the property line to the porch and 29' to the thermal wall. This measurement is consistent with the existing setbacks from the survey and consistent with the adjacent structures. The overall size of the house has been reduced to resemble a 1.5 storey home consistent with other homes on the street. The front elevation has been simplified by adding a shed dormer and hip roof, and removing the gable over the entrance. The porch columns have been redesigned, adding brick piers under squared posts. The side elevations reveal a smaller second story and additional fenestration. The height of the home is 26' – 10" measured from the ground.

Proposal-Updated for November 13, 2013 Hearing

Based on comments from October. A revised site plan has been submitted including plans that show setbacks along the street. A streetscape drawing with heights of adjacent structures has been provided. A letter from an arborist outlines the tree protection plan. Samples of the brick and window details have been submitted. The revised elevations include additional dimensions. The primary façade materials are brick and wood.

Policy & Design Guidelines for New Construction

HDC Design Policy on Additions requires that additions be evaluated according to the following:

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

Staff believes the proposal meets the Guidelines for Size, Scale, Massing, Fenestration, Materials, Rhythm, Setback, Landscaping and Context.

Regarding materials, the Guidelines (pages 48-49) state:

Traditional Building Materials

1. The use of historically traditional building materials is strongly encouraged in all renovation, addition and new construction projects in Local Historic Districts.
2. Historic precedents in the visual context of any project indicate appropriate choices for building materials.
3. All building materials must match the character of the existing structure and/or the streetscape in design, texture and other visual qualities.

Non-Traditional Building Materials

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
 - Vinyl
 - Aluminum or other metal sidings
 - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

Charlotte Historic District Commission - Case 2013-130





ington Ave

E Tremont Ave

Euclid Ave

Euclid Ave

Euclid Ave

E Tremont Ave

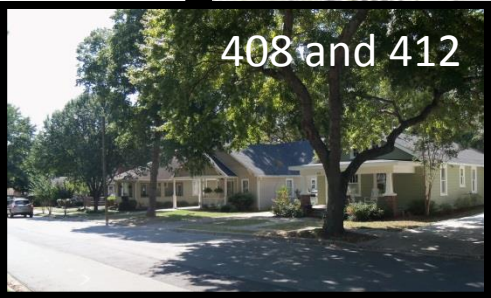
405 East Tremont Avenue



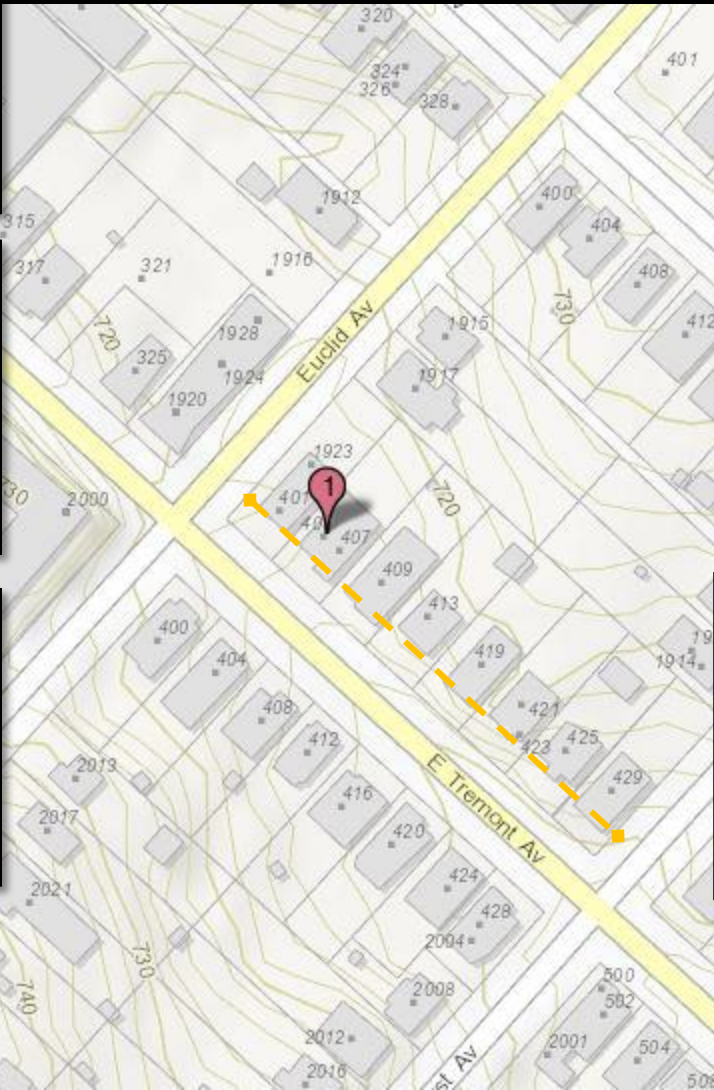
400 and 404



404 and 408



408 and 412



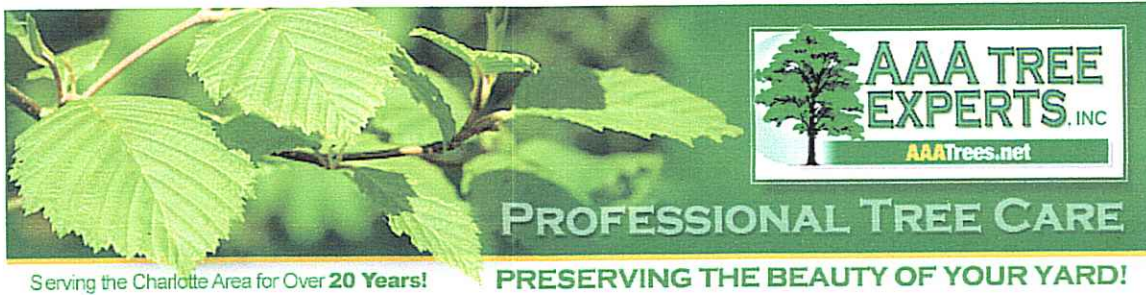
401 and 407



409 and 407



413 and 419



October 25, 2013

Re: Tree protection at 405/407 E. Tremont Avenue.

ATTN: Sam

AAA Tree Experts, Inc. has been commissioned to consult and assist with tree protection for the maple tree in the front yard of 405 E. Tremont Avenue.

We will utilize best practices as defined by erecting a barrier to create a TPZ (tree protection zone). No grading, excavating or construction activity will occur in this zone. This zone will be defined by a construction fence.

Establishing and maintaining this area will significantly reduce the risk of above ground damage to the tree and also soil compaction within the barrier in the root zone of the tree.

The intent of the TPZ is to protect the above ground portion of the tree and the root system.

Thank you and we look forward to serving your arboricultural needs in the future.

**Sincerely,
Wayne Neal/Owner certified arborist #SO-5621A
704-449-7289
AAA Tree Experts, INC.**



Licensed, Bonded, and Insured

Agent:

**Moore & Johnson Agency
P.O. Box 17567
Raleigh, NC 28619**

General Liability:

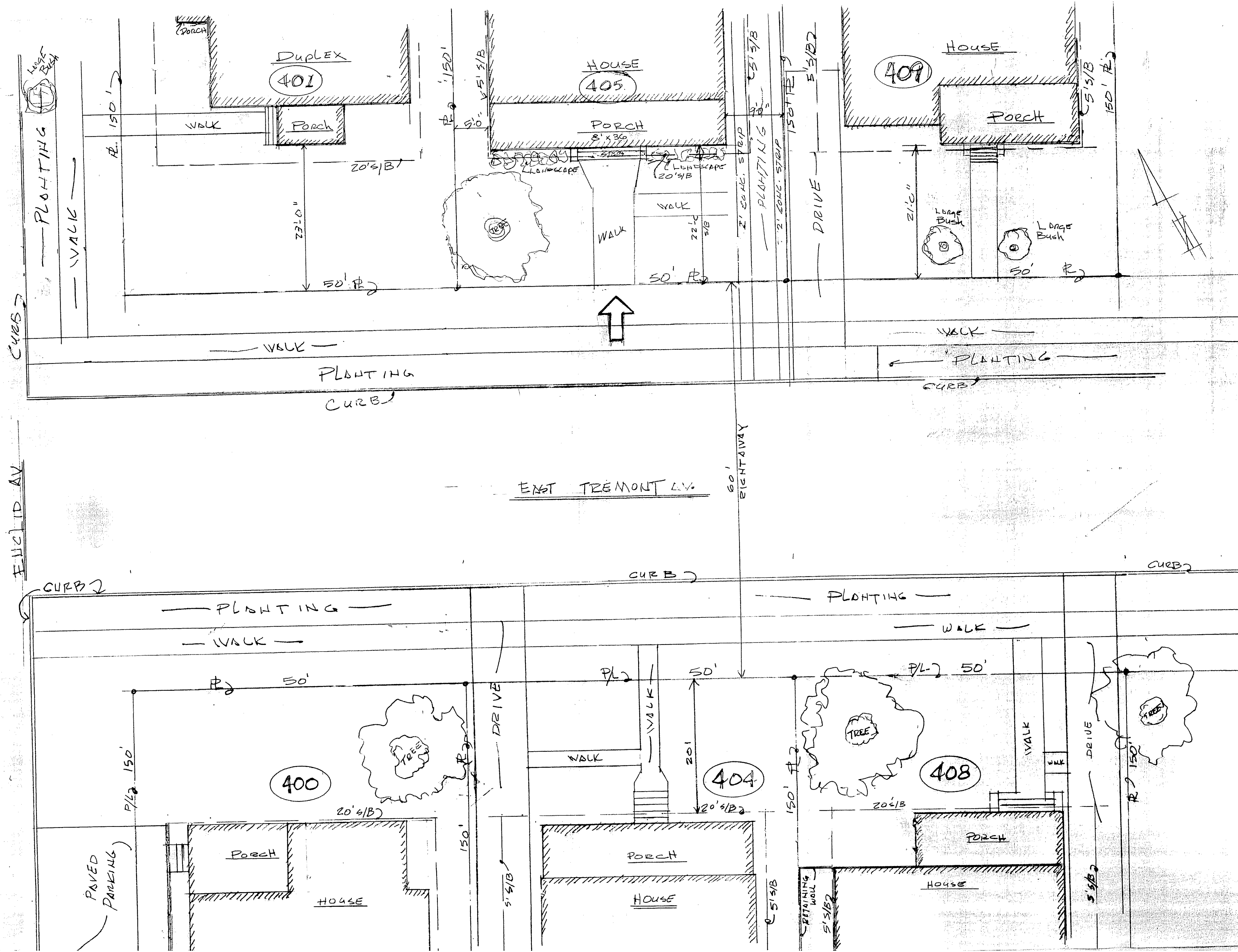
**Northfield Insurance Company
#CP564267**

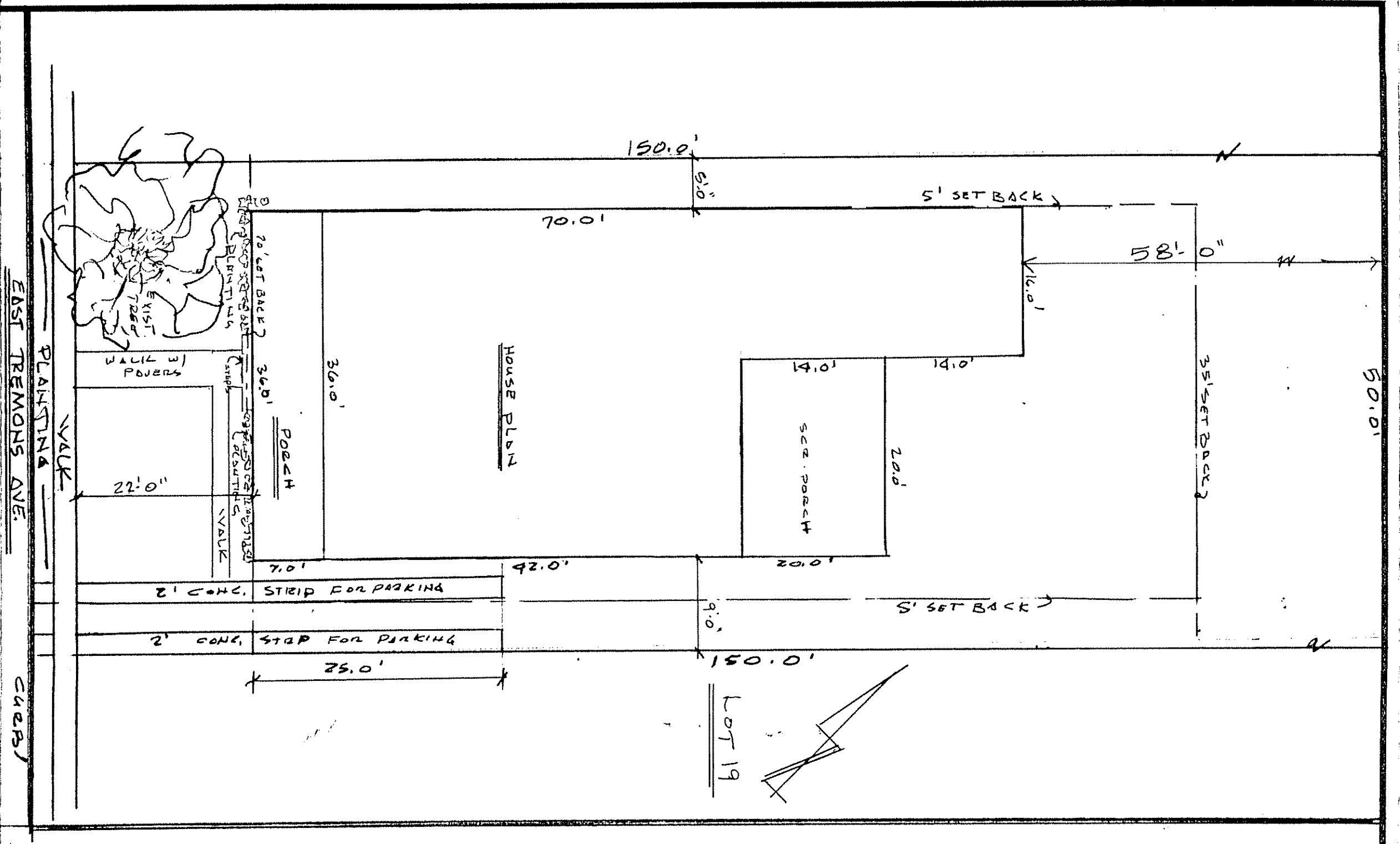
Worker's Comp Employer Liability:

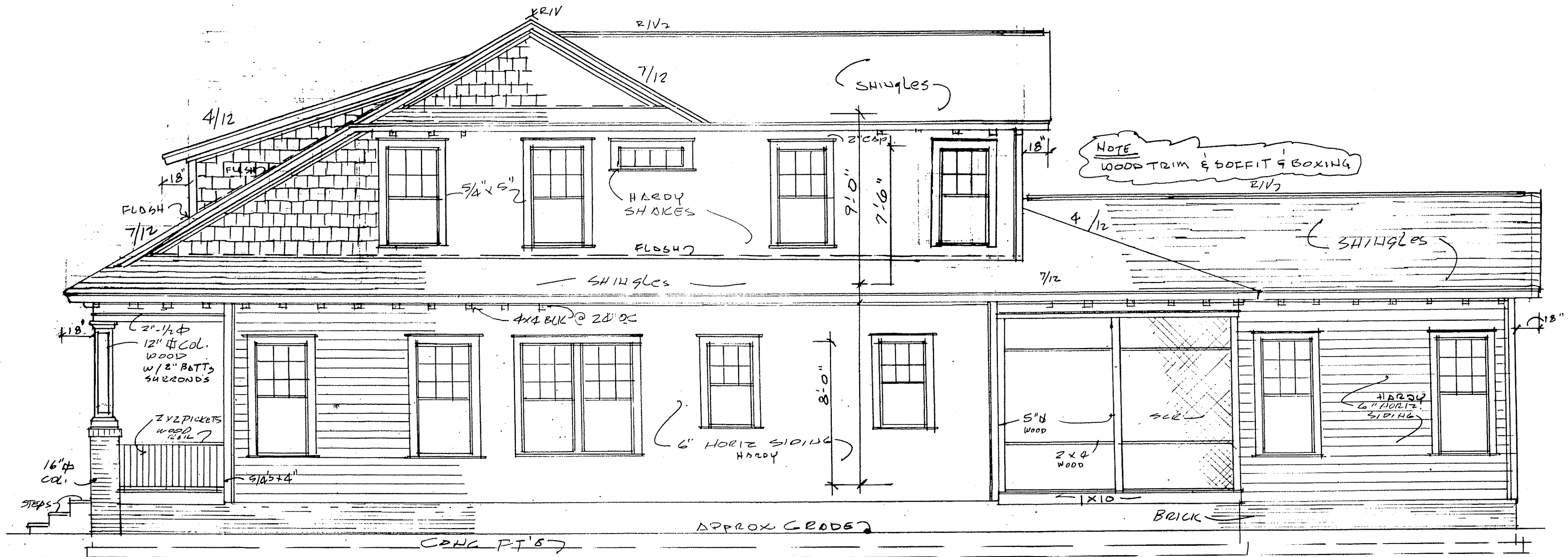
**American Interstate Insurance
#AVWCNC1932652010**

Topography Map for 405/407 E. Tremont Ave.

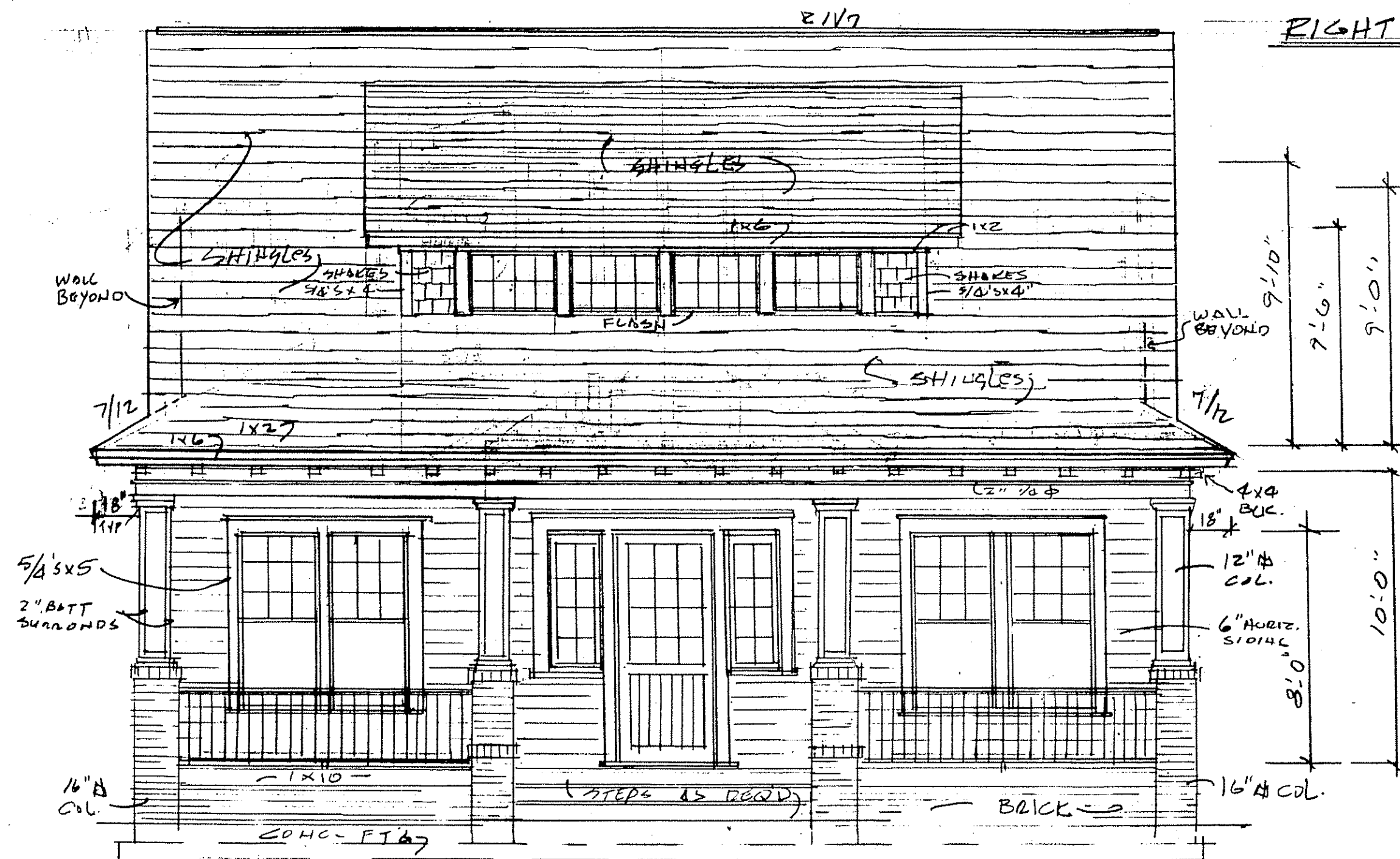








RIGHT SIDE ELEVATION - 1/4" = 1'-0"



FRONT ELEVATION - 1/8" = 1'-0"

OCTOBER 2013

Drawings, specifications and related items are, and remain the property of the designer. The client's right is conditional and limited for a one time use, to construct a single project on the specific property, as stated herein. Plans may not be sold, loaned, or given to others for the purpose of constructing another project. Possession of plans does not authorize continued use of same for construction of other projects. Plans may not be reproduced in any manner for any purpose without written consent of the designer.

To the best of his knowledge, the designer has prepared these plans to comply with the client's specifications and local building codes in effect at the time. Although every reasonable effort has been made to avoid errors, omissions, and mistakes, the contractor and/or client shall verify all conditions, dimensions, details, and specifications. The designer will not be liable for human error after construction begins.

Leo A. Kirkman

residential design

telephone 704-536-2532 office
5221 monroe road charlotte, north carolina 28205

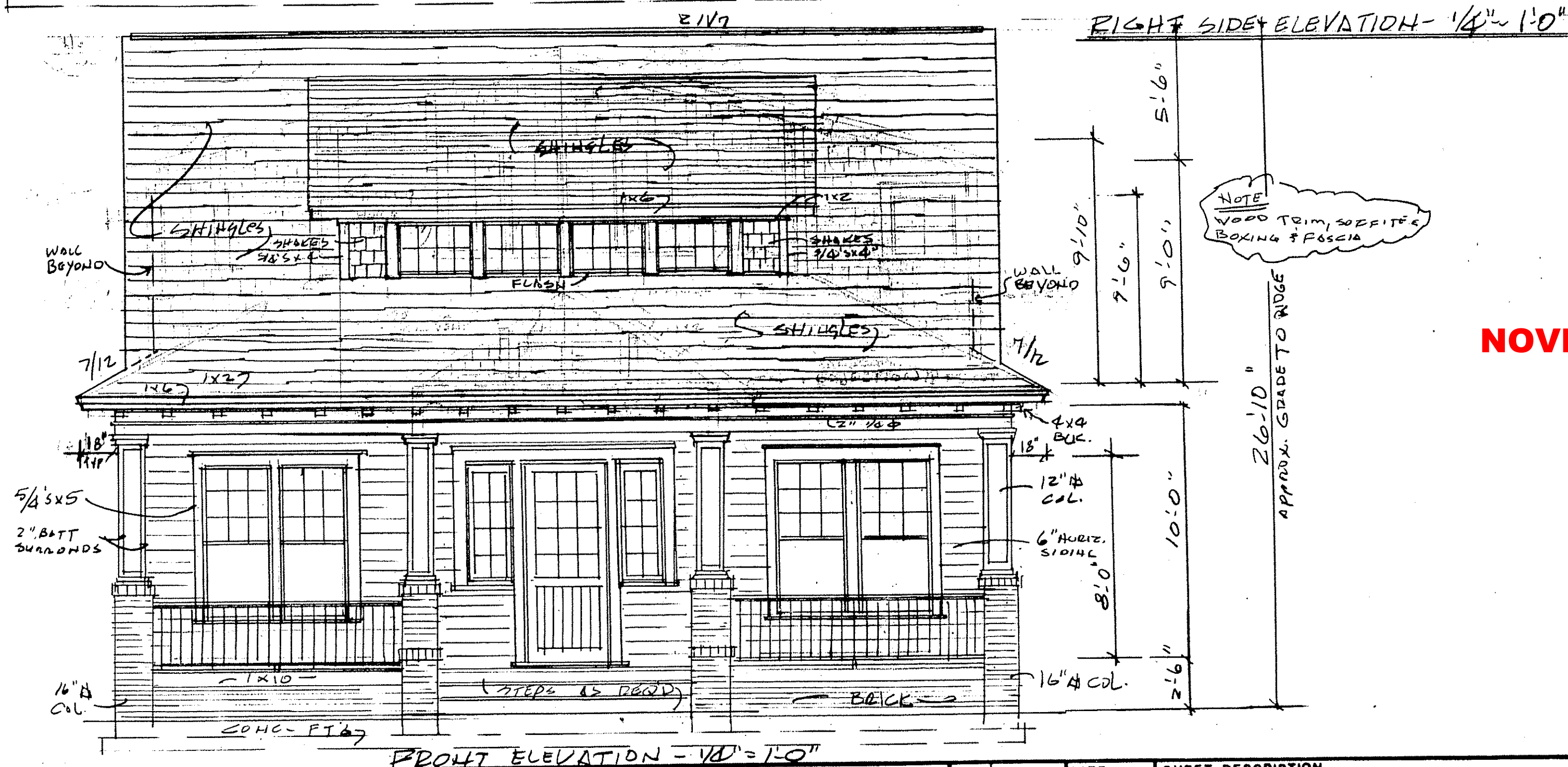
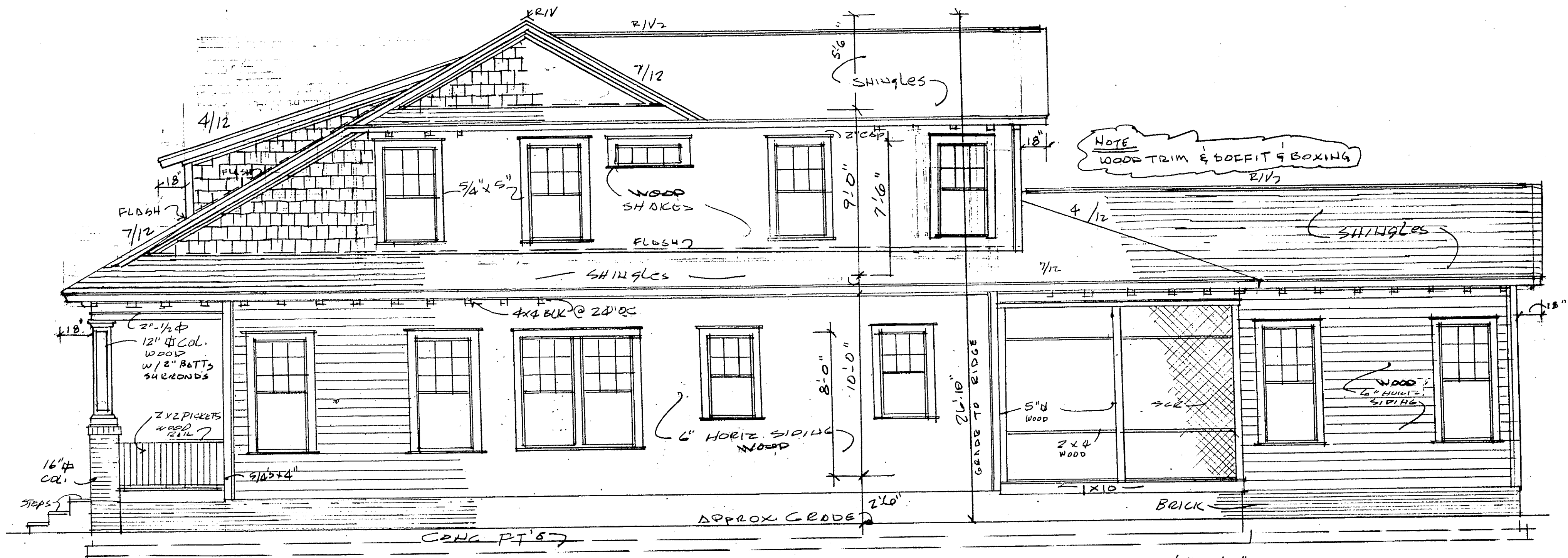


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LAK		
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SHEET DESCRIPTION
ELEVATIONS

PROJECT NAME
MR. SAM ESMAIL
EAST TREMONT AVE (LOT 14)
PLAN # 3797

SHEET
OF



NOVEMBER 2013

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DATE REVISIONS
DATE: 9/21/13
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SHEET DESCRIPTION
ELEVATIONS

PROJECT NAME

MR. SAM ESMail

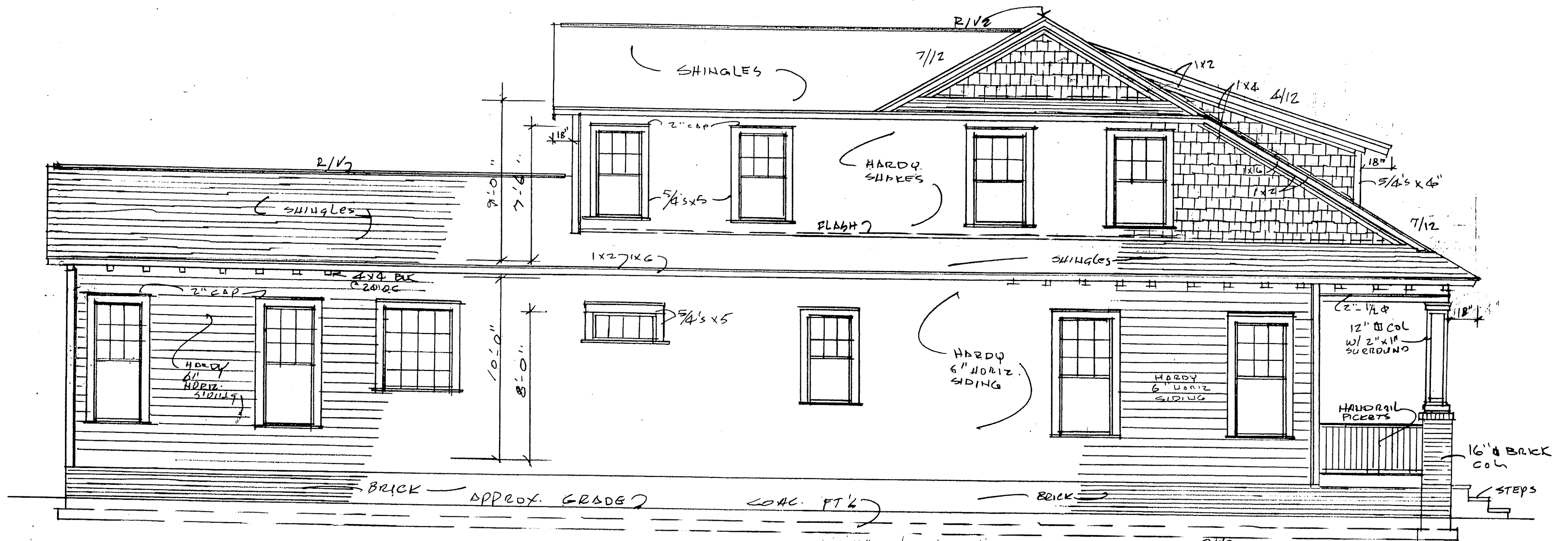
EAST TREMONT AVE (LOT 19)

PLAN # 3797

SHEET

2

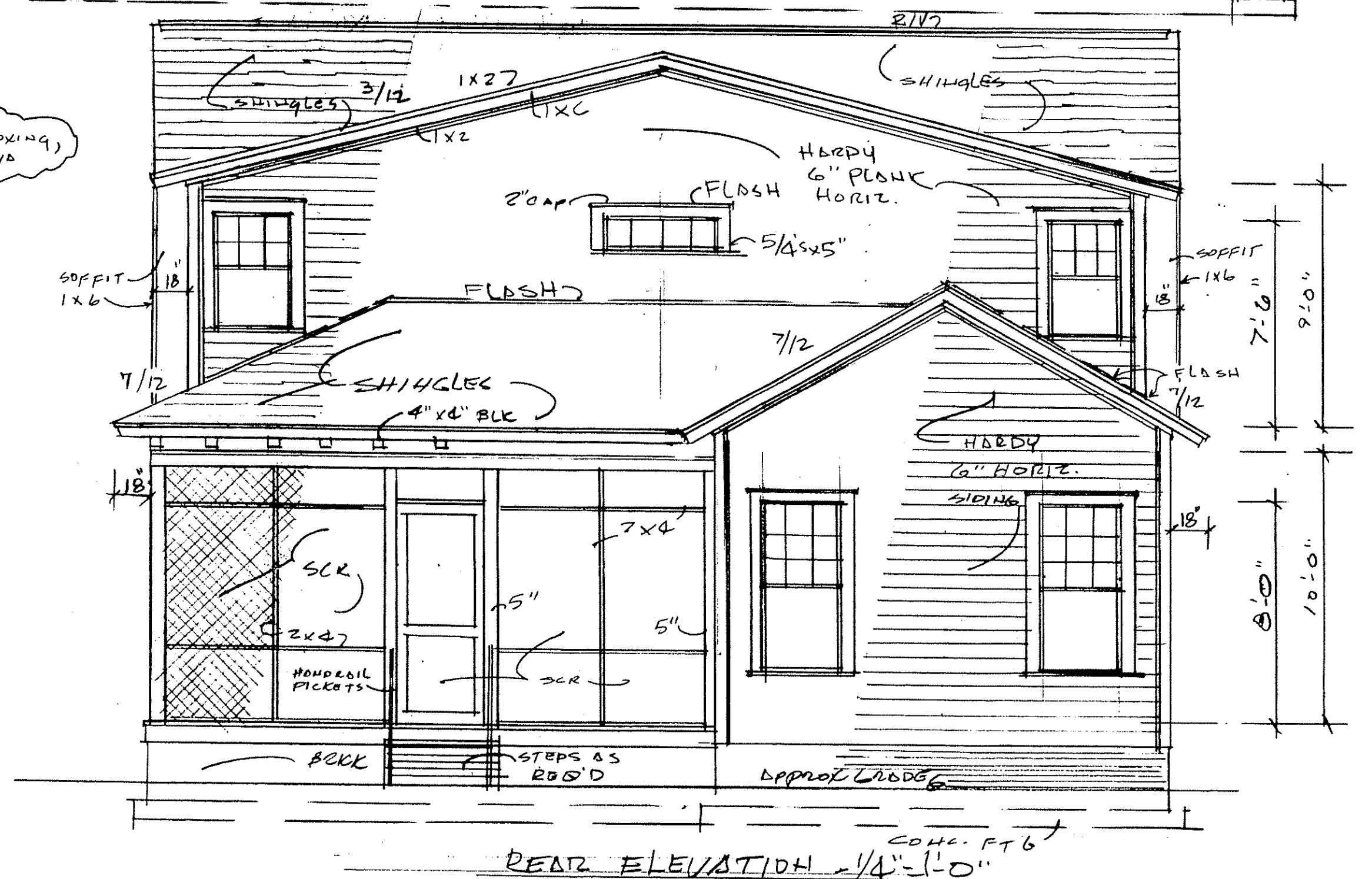
OF 2



LEFT SIDE ELEVATION - 1/4" = 1'-0"

NOTE!
WOOD TRIM, BOXING,
SOFFIT & FASCIA

OCTOBER 2013



REAR ELEVATION - 1/4" = 1'-0"

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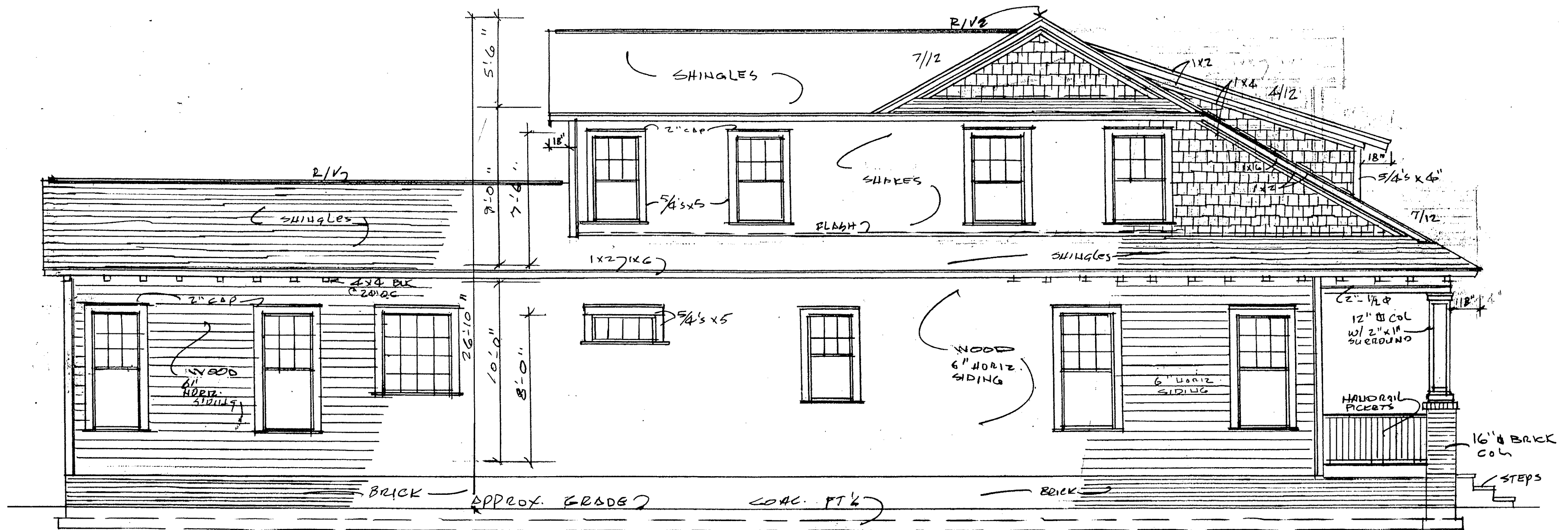
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SHEET DESCRIPTION
ELEVATIONS

PROJECT NAME
MR. SAM ESMAIL
EAST TREMONT AVE (LOT 19)
PLAN # 3797

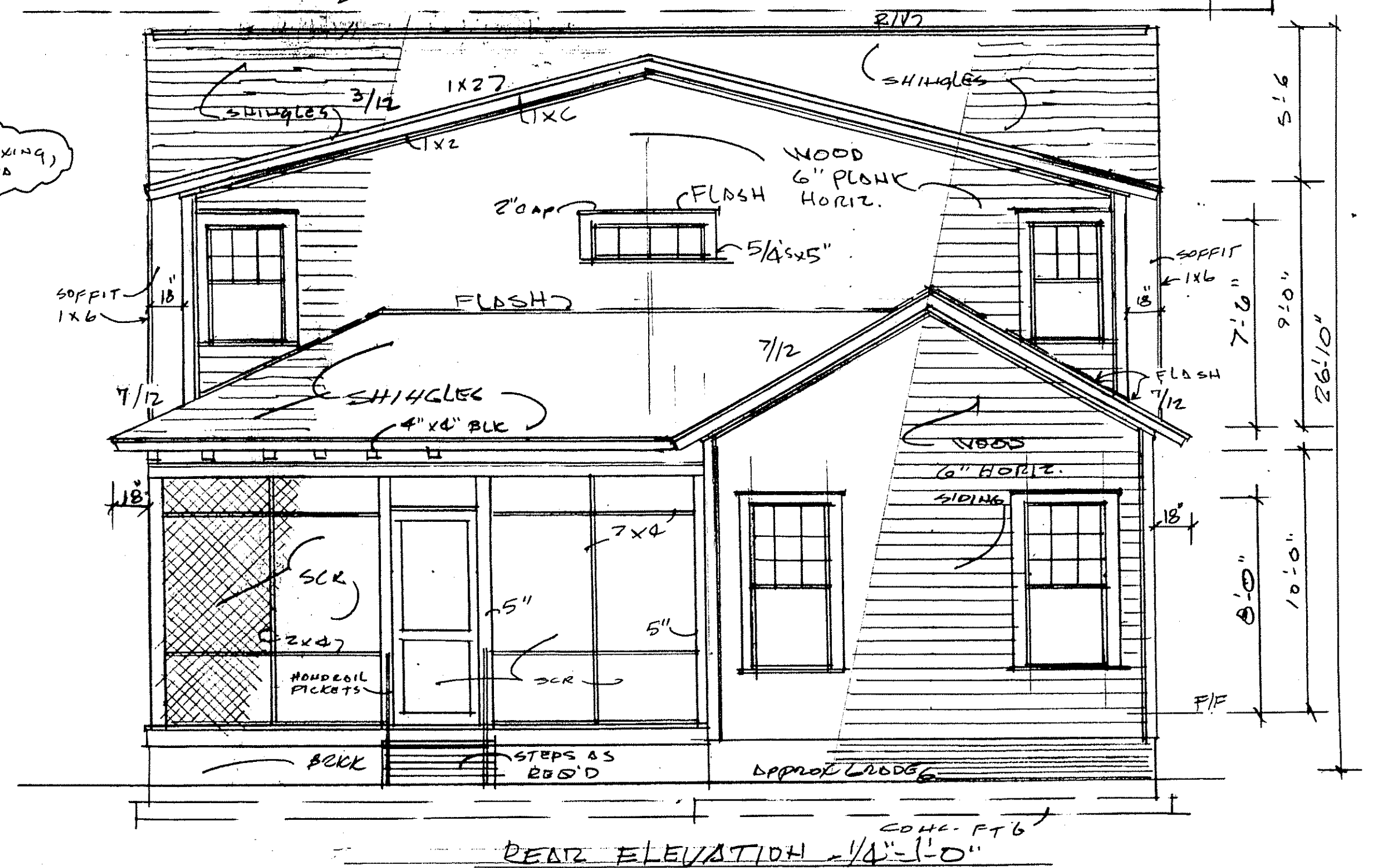
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2
OF



LEFT SIDE ELEVATION - 1/4" = 1'-0"

NOTE!
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SOFFIT & FASCIA

NOVEMBER 2013



REAR ELEVATION - 1/4" = 1'-0"

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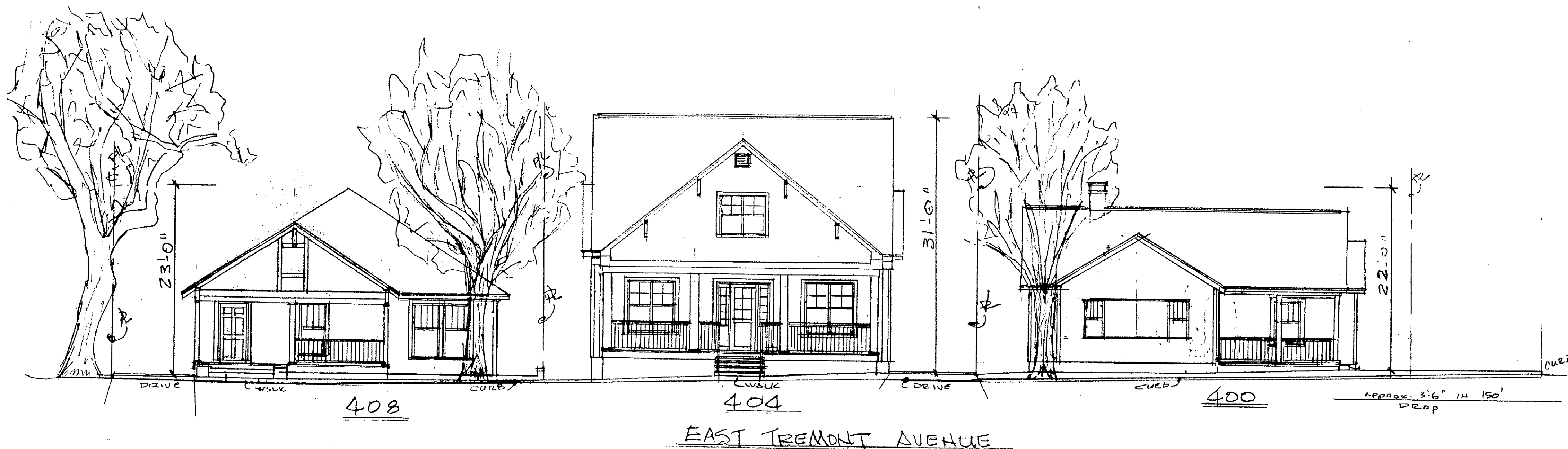
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SHEET DESCRIPTION
ELEVATIONS

PROJECT NAME
MR. SAM ESMAIL
EAST TREMONT AVE (Lot 19)
PLAN # 3797

SHEET
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OF



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DATE: 10/28/13

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SHEET DESCRIPTION

STREET SCAPE

PROJECT NAME

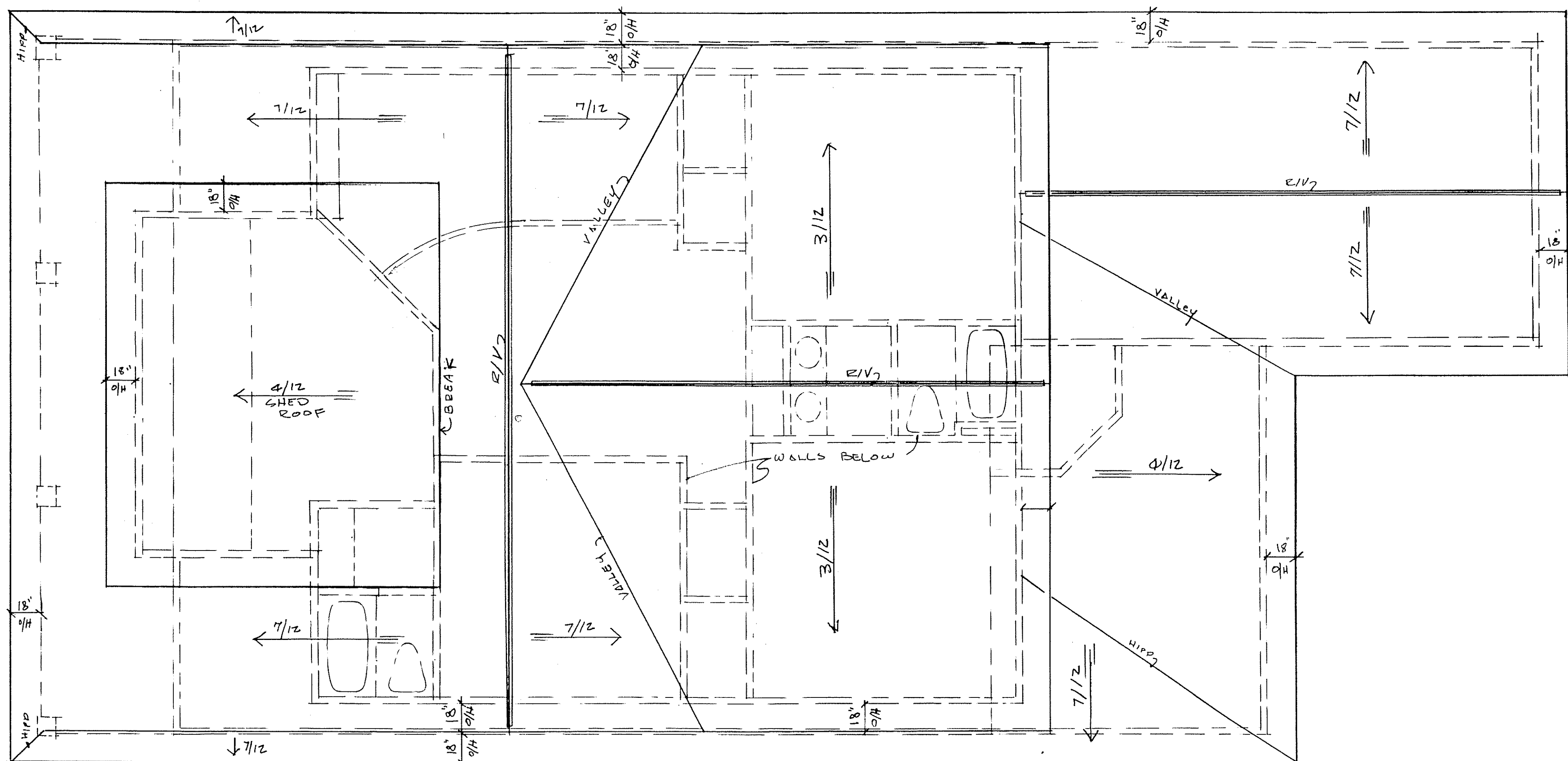
MR. SAM ESMAIL

405 EAST TREMONT AVE

PLAN # 3797

SHEET

OF



ROOF LAY-OUT - 1/4" = 1'-0"

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DATE REVISIONS

DATE: 9/21/13

DRAWN BY: L.A.K.

CHECK BY:

SHEET DESCRIPTION

ROOF LAY-OUT

PROJECT NAME

MR. SAM ESMAIL
EAST TREMONT AVE. (LOT 17)
PLAN # 3797

SHEET

6
OF