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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1915 Lyndhurst Avenue

**SUMMARY OF REQUEST:** Rear and Second Story Addition

**OWNER:** Timothy Sheriff

**APPLICANT:** Janice Finein, Architect

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**Details of Proposed Request**

*Existing Conditions*

The single family house is listed as a contributing structure in the National Register of Historic Places. Built in 1903, the one story home has a "Triple-A roof with rear ell, full façade porch on replacement posts on piers and singled façade gable ends." The curved front porch encroaches in to the setback. The existing windows are steel framed and not consistent with the overall design of the home. There are four homes within the block that face Lyndhurst, three single story and one two story.

*Proposal*

The proposal is an addition to the rear, a new second story, new front porch and detached garage in the rear yard. The second story will generally be an extension of the first story and retain one of the gables on the front elevation. The existing windows will be replaced with traditional double hung 4/1 and 6/1 windows. An existing, substandard rear addition will be replaced. The proposed siding is a cementitious product. The new full width porch will have a traditional design with a brick base and tapered columns. In the rear yard a deck and detached garage are planned. The garage will be accessed by a side alley and not fully visible from the street.

**Proposal-Updated for September 11, 2013 Hearing**

Based on comments from the previous HDC meeting the applicant has proven the existing curved porch is not original and that the proposed porch design is architecturally consistent with the home as well as other homes in the area. The applicant has also provided additional photos of houses along the block. The material for the "main structure" has been changed to wood lap siding on the façade and cedar shingles along the dormers and rear gable. Trim materials proposed are cementitious. The new garage is subordinate to the principal structure and not visible from the street. However, materials on the home are replicated on the garage.

## **Policy & Design Guidelines**

HDC Design Policy on Additions requires that additions be evaluated according to the following:

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

## **Staff Analysis**

Staff believes the project satisfies all of the Guidelines for Additions and does not diminish the original character of the house, nor does it appear to be out of scale with adjacent homes. The massing of the home has been improved with slight modifications including the replacement of the curved porch with a more traditional design which also reestablishes the setback.

A PROPOSED ADDITION AND RENOVATION TO THE HOME OF  
**TIMOTHY SHERIFF**

Dilworth Neighborhood, Charlotte

1915 Lyndhurst Avenue  
Charlotte, NC 28207

PRELIMINARY PRICING SET (REVISED)  
NOT FOR CONSTRUCTION

21 AUGUST 2013

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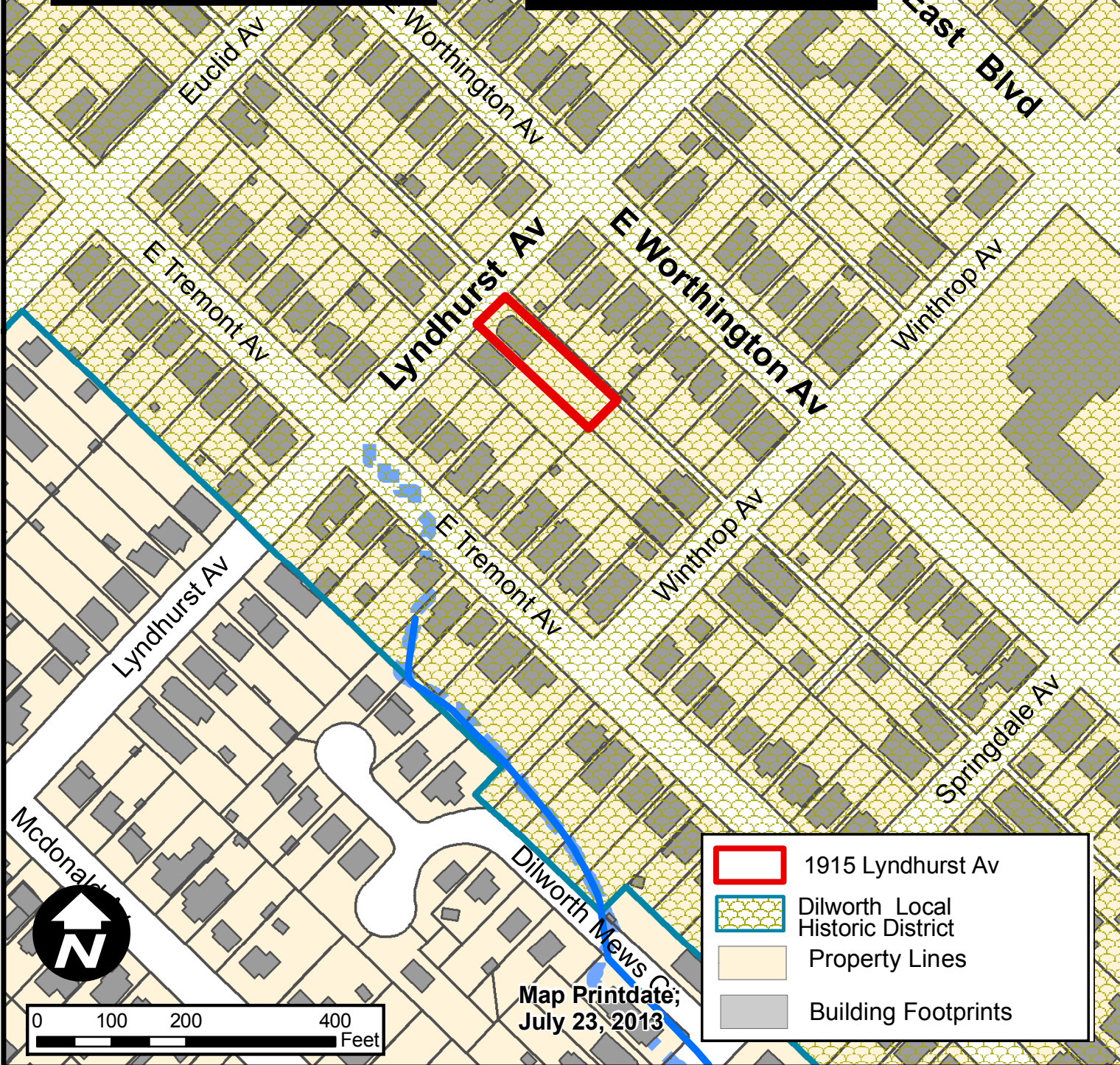
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CHARLOTTE, NC

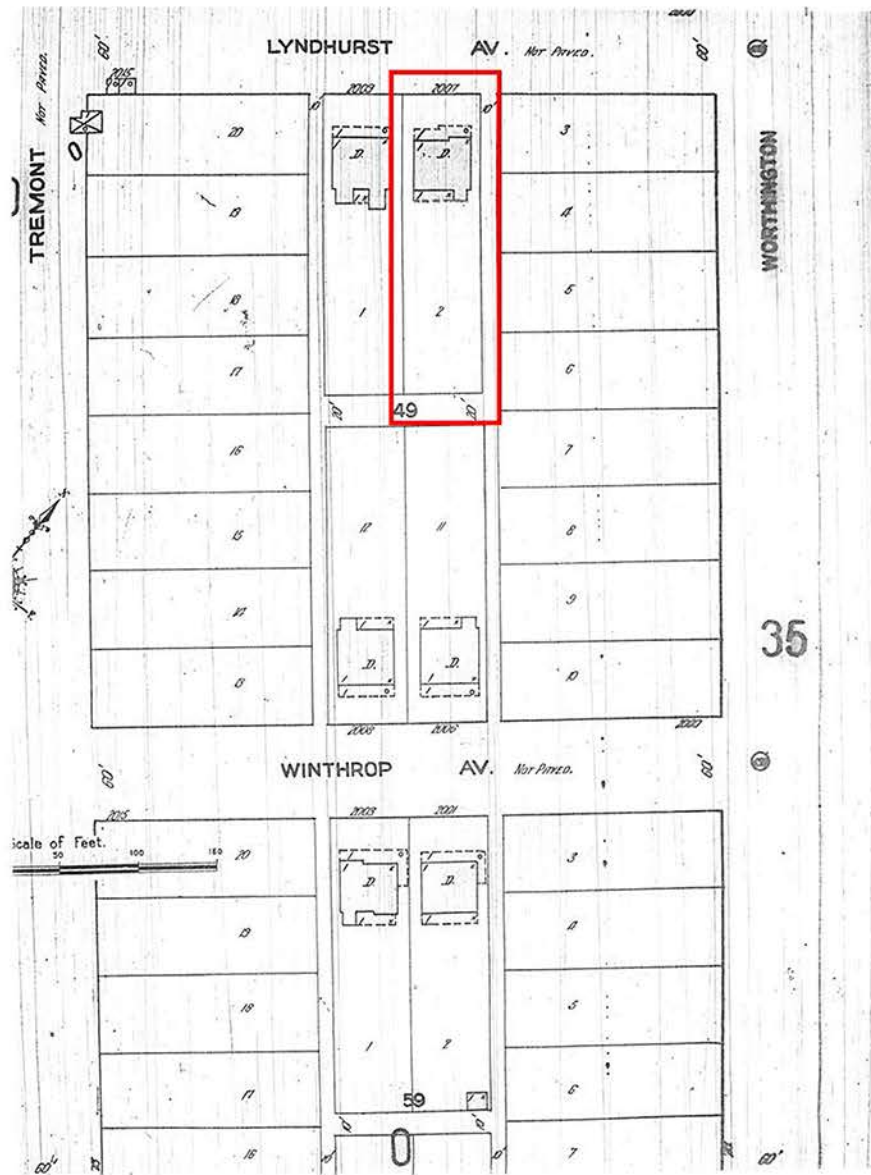
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# Charlotte Historic District Commission - Case 2013-126







Existing masonite shown below aluminum siding

Sanborn Map from 1911 showing original footprint of 1915 Lyndhurst Avenue





# AUGUST SITE PLAN

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CHARLOTTE, NC

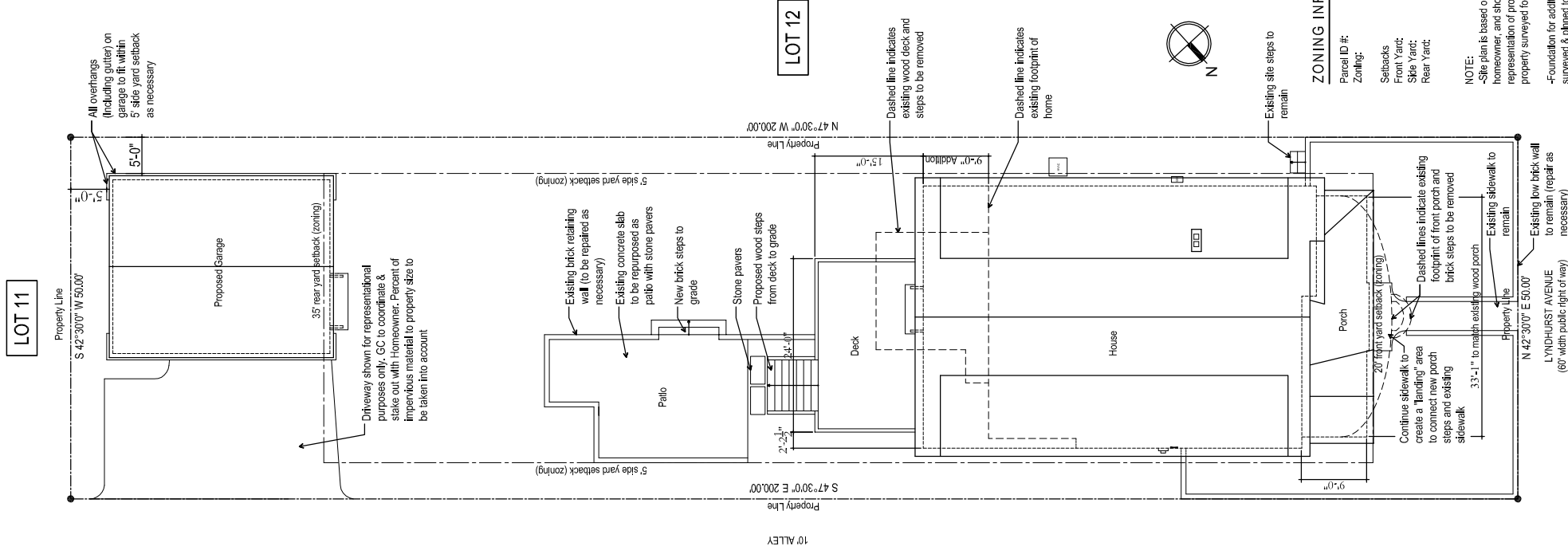
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SHERIFF RESIDENCE  
1915 LYNTHURST AVENUE, CHARLOTTE, NC

## PRELIMINARY PRICING SET

1. **Dr. S.**

15 July 2013



## ZONING INFORMATION

Parcel ID #: 12105819  
Zoning: R-5

Setbacks	
Front Yard:	20'-0"
Side Yard:	5'-0"
Rear Yard:	35'-0"

**NOTE:**

- Site plan is based on survey provided by homeowner, and should only be used as a representation of property. G.C. to have property surveyed for construction purposes.
- Foundation for addition & garage to be surveyed & planned to verify compliance with zoning setbacks prior to start of construction.



LOT 11

Property Line

S 42°30'0" W 50.00'

All setbacks (including garage) are shown to 10' minimum. If a larger setback is necessary, it will be shown.

Driveway shown for reference only. If a driveway is required, it will be shown. If a driveway is not required, it will be shown as a dashed line.

Proposed Garage

35' rear yard setback (zoning)

5' side yard setback (zoning)

5' side yard setback (zoning)

Existing brick retaining wall to be replaced as necessary.

Existing concrete slab to be replaced as per new foundation.

New brick steps to grade.

Stone Pavers

Proposed wood deck

Property Line

S 47°30'0" E 200.00'

10' ALLEY

Property Line

N 47°30'0" W 200.00'

LOT 12

Deck

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

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13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

13'0"

House

Porch

20' front yard setback (zoning)

Existing brick retaining wall to be replaced as necessary.

Existing concrete slab to be replaced as per new foundation.

New brick steps to grade.

Stone Pavers

Proposed wood deck

Property Line

N 42°30'0" E 50.00'

LYNDHURST AVENUE

(60' width public right of way)



ZONING INFORMATION

Parcel ID: 1208018  
Zoning: R-6  
Setbacks: Front: 20'-0"  
Side: 5'-0"  
Rear: 35'-0"

NOTE: This site plan is based on zoning provided by the Charlotte-Mecklenburg Planning Department. It is not intended to be a representation of property, S.C. to have property surveyed for construction purposes. -Foundation for addition & garage to be surveyed & placed to verify compliance with zoning setbacks prior to start of construction.

# SEPTEMBER SITE PLAN

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SHERIFF RESIDENCE  
1915 LYNDHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

SP-1

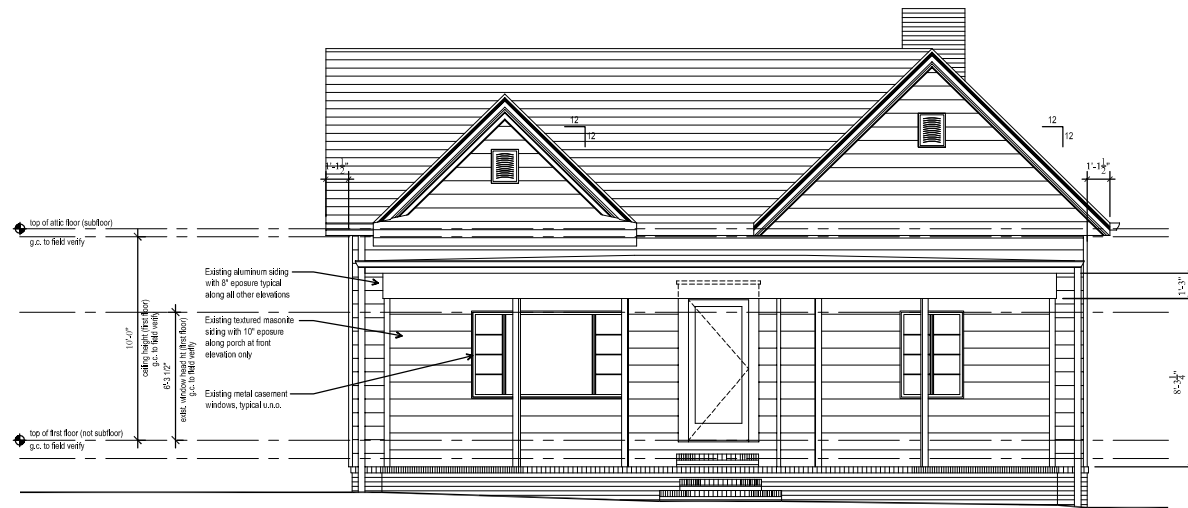
21 AUGUST 2013

Proposed Site Plan

1

SP-1

Not to Scale



1  
EX-3 Existing Front Elevation  
Not to Scale

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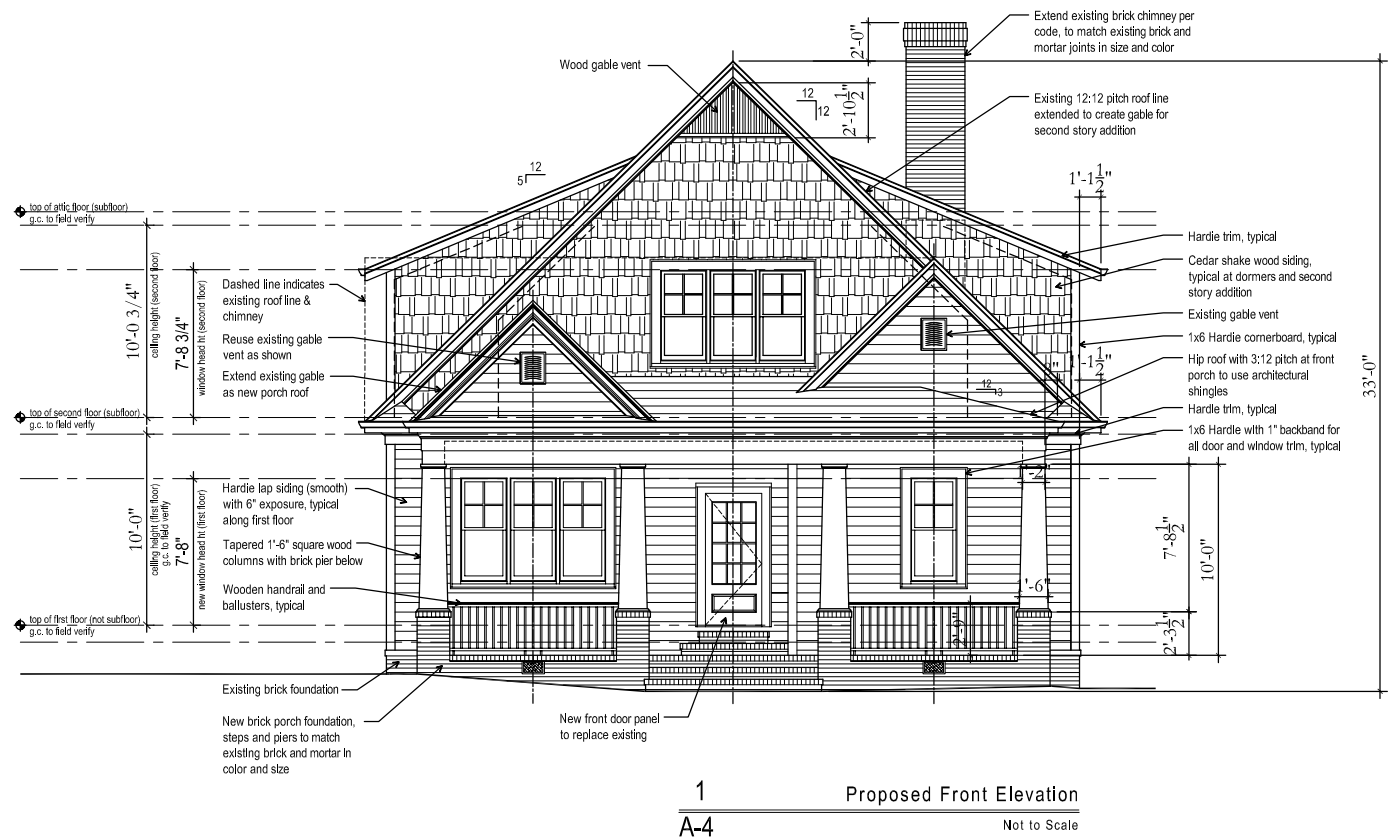
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**SHERIFF RESIDENCE**  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**EX-3**  
21 AUGUST 2013



**AUGUST PROPOSED  
FRONT ELEVATION**

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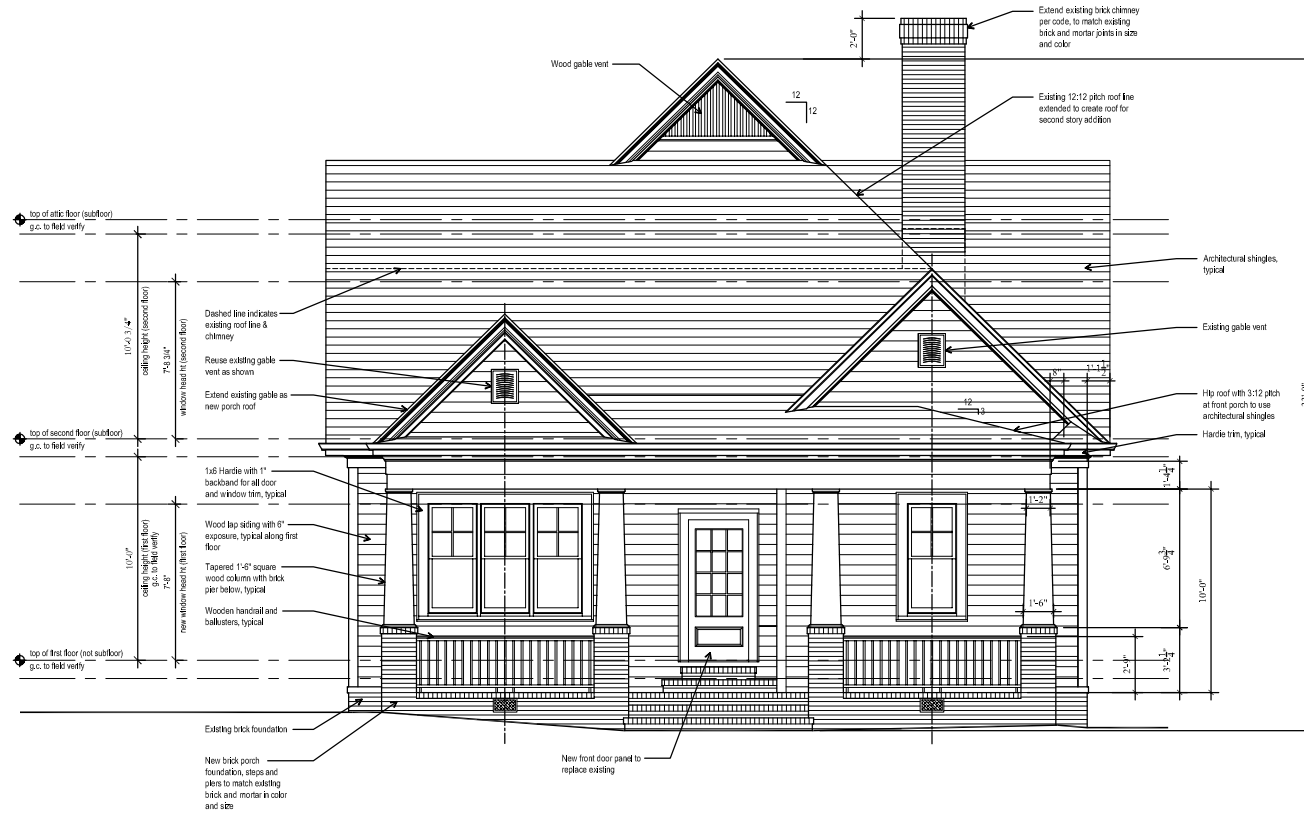
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**SHERIFF RESIDENCE**  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**A-4**  
15 July 2013



1  
A-4 Proposed Front Elevation  
Not to Scale

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SHERIFF RESIDENCE  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-4  
21 AUGUST 2013

SEPTEMBER PROPOSED  
FRONT ELEVATION





1  
EX-4 Existing Right Side Elevation  
Not to Scale

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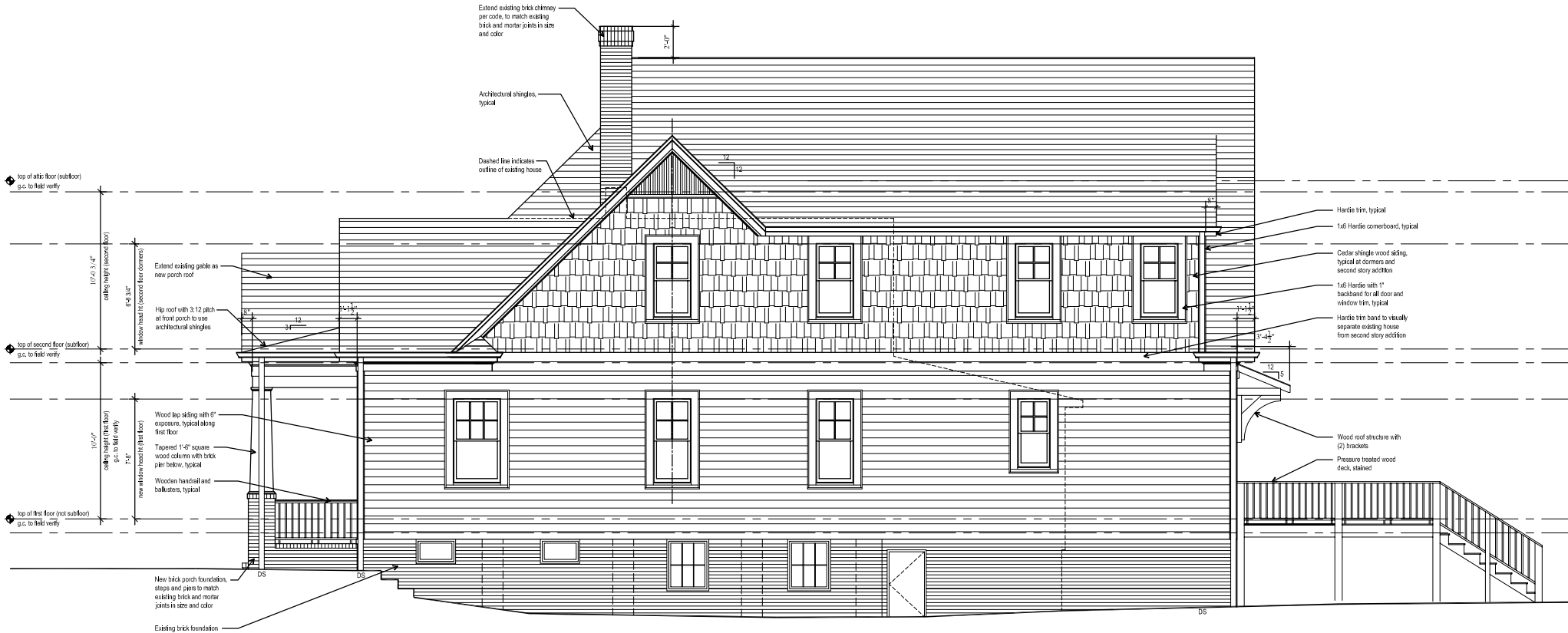
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SHERIFF RESIDENCE  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

EX-4  
21 AUGUST 2013





1  
A-5 Proposed Right Side Elevation  
Not to Scale

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**SEPTEMBER PROPOSED  
RIGHT SIDE ELEVATION**

**SHERIFF RESIDENCE**  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**A-5**  
21 AUGUST 2013



1  
EX-5 Existing Rear Elevation  
Not to Scale

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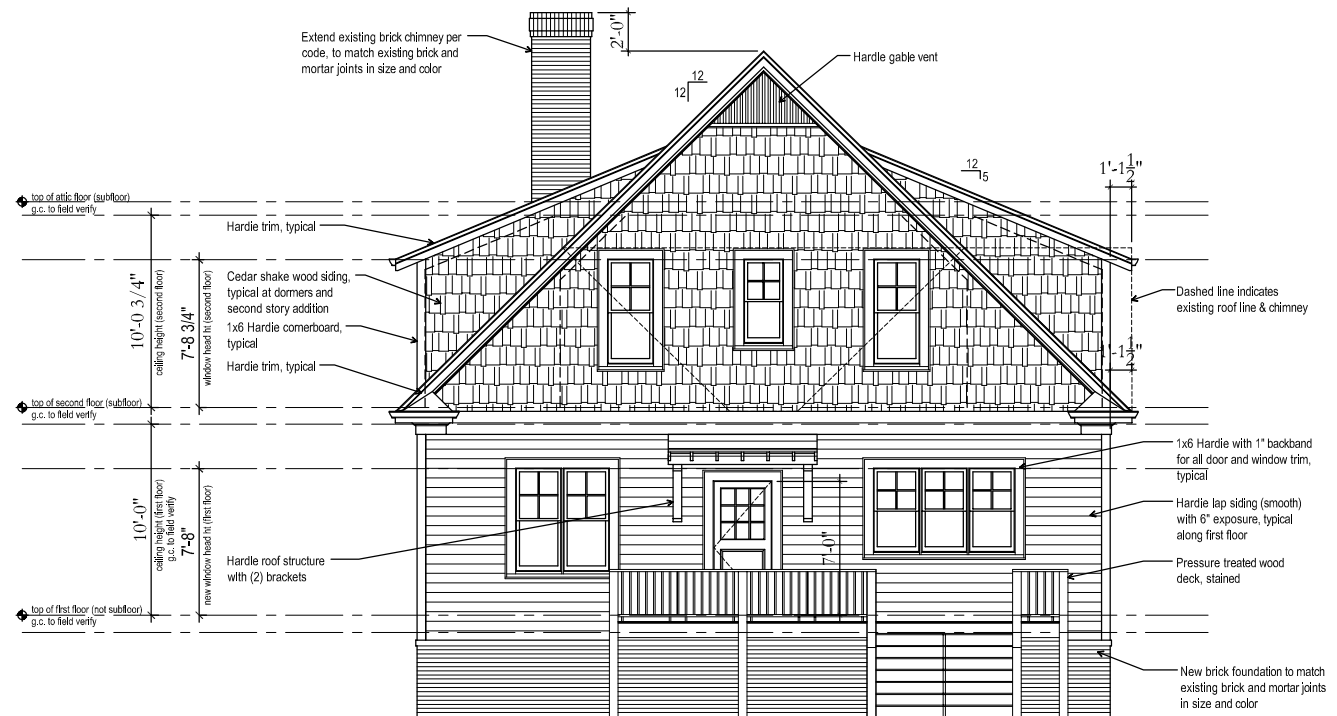
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**SHERIFF RESIDENCE**  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**EX-5**  
21 AUGUST 2013





1  
A-6 Proposed Rear Elevation  
Not to Scale

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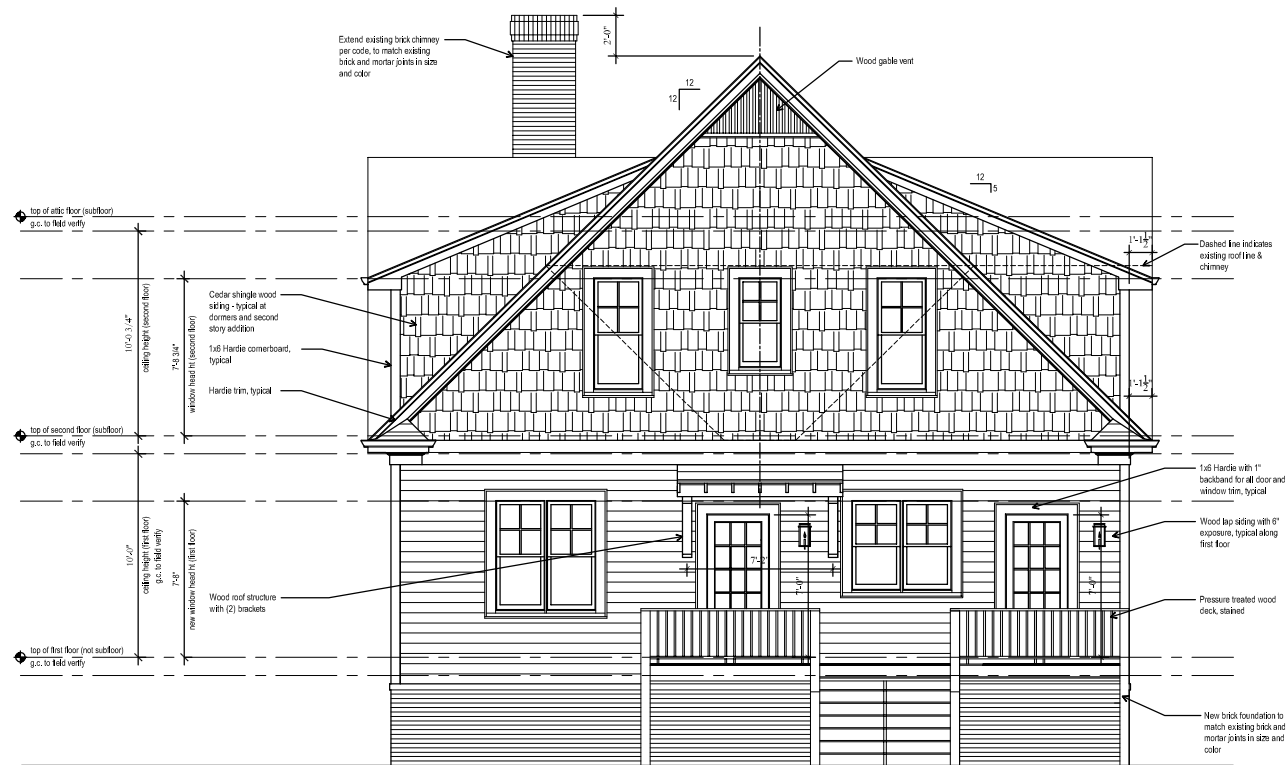
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**SHERIFF RESIDENCE**  
1915 LYNTHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**A-6**  
15 July 2013

**AUGUST PROPOSED REAR  
ELEVATION**



1  
A-6 Proposed Rear Elevation  
Not to Scale

SEPTEMBER PROPOSED  
REAR ELEVATIONS

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SHERIFF RESIDENCE  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-6  
21 AUGUST 2013



1  
EX-6 Existing Left Side Elevation  
Not to Scale

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1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**EX-6**  
21 AUGUST 2013



1  
A-7 Proposed Left Side Elevation  
Not to Scale

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SHERIFF RESIDENCE  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-7  
15 July 2013

AUGUST PROPOSED LEFT  
SIDE ELEVATIONS





1  
A-7 Proposed Left Side Elevation  
Not to Scale

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SHERIFF RESIDENCE  
1915 LYNTHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-7  
21 AUGUST 2013

SEPTEMBER PROPOSED  
LEFT SIDE ELEVATION



1915 Lyndhurst Avenue (Existing Home)



1919 Lyndhurst Avenue (Neighboring Home)



Lyndhurst Avenue - Dilworth Neighborhood  
Existing block between E. Worthington and Tremont Ave.





AUGUST

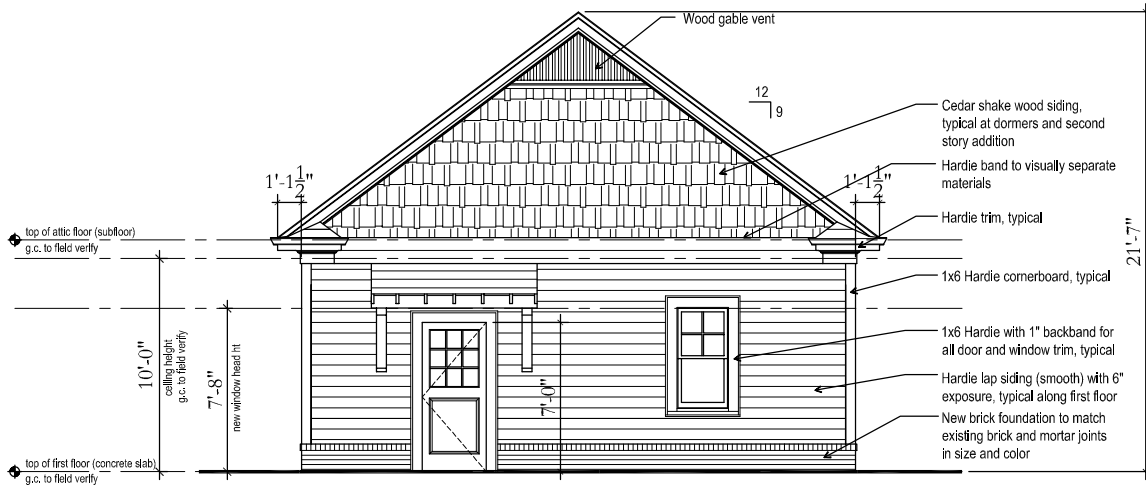




SEPTEMBER



2 Proposed Right Side Elevation  
G-2 Not to Scale



1 Proposed Front Elevation (facing main house)  
G-2 Not to Scale

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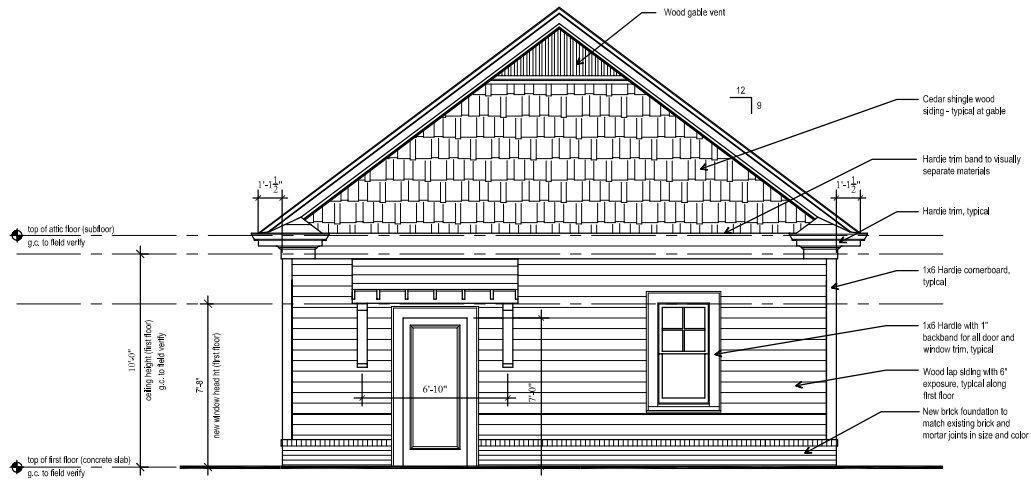
PRELIMINARY PRICING SET

AUGUST GARAGE  
ELEVATION

G-2  
15 July 2013



2 Proposed Right Side Elevation  
G-2 Not to Scale



1 Proposed Front Elevation (facing main house)  
G-2 Not to Scale

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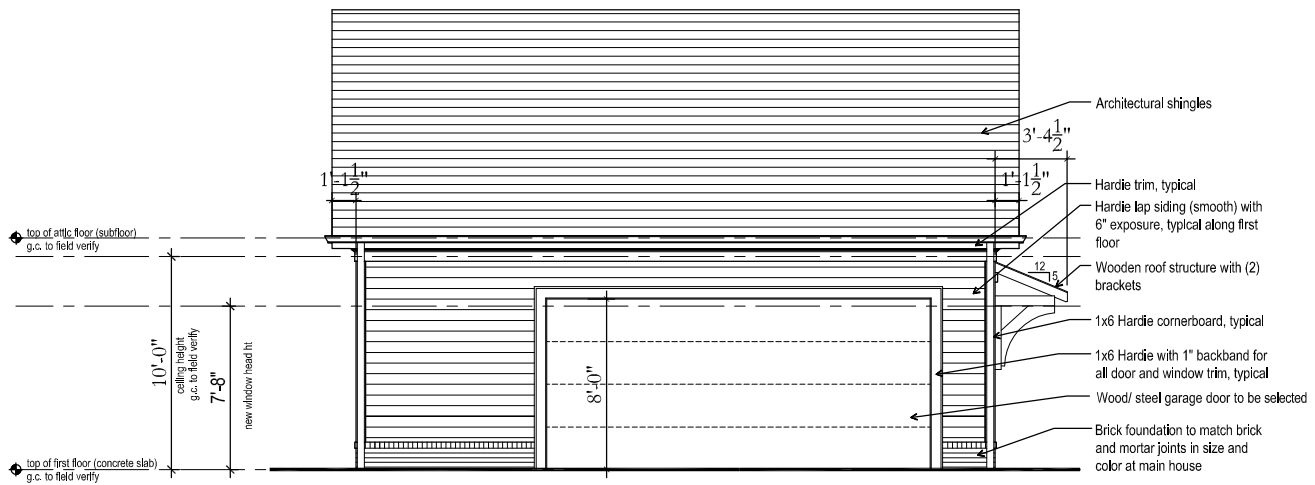
SEPTEMBER GARAGE  
ELEVATIONS

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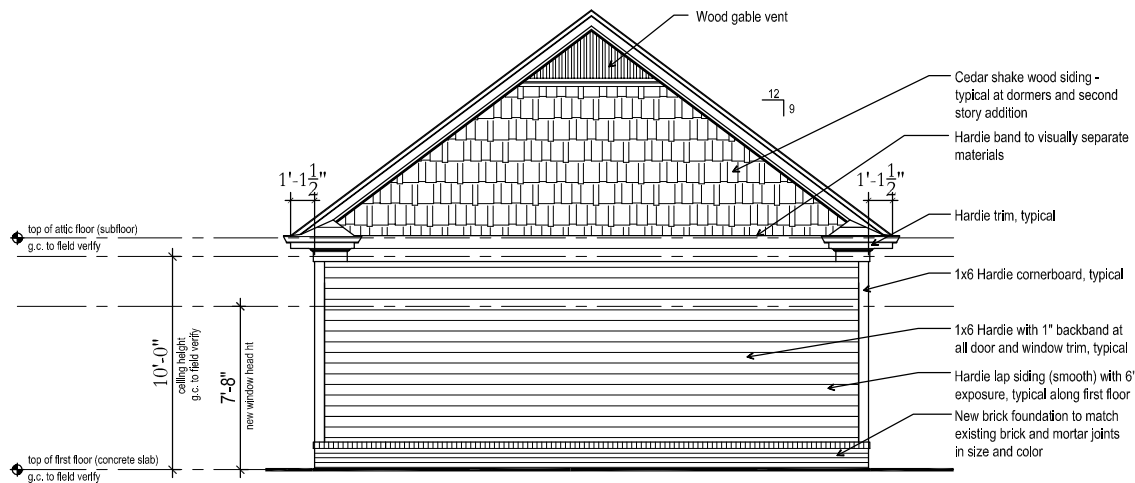
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1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

G-2  
21 AUGUST 2013



2 Proposed Left Side Elevation (facing alley)  
G-3 Not to Scale



1 Proposed Rear Elevation  
G-3 Not to Scale

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AUGUST GARAGE  
ELEVATION

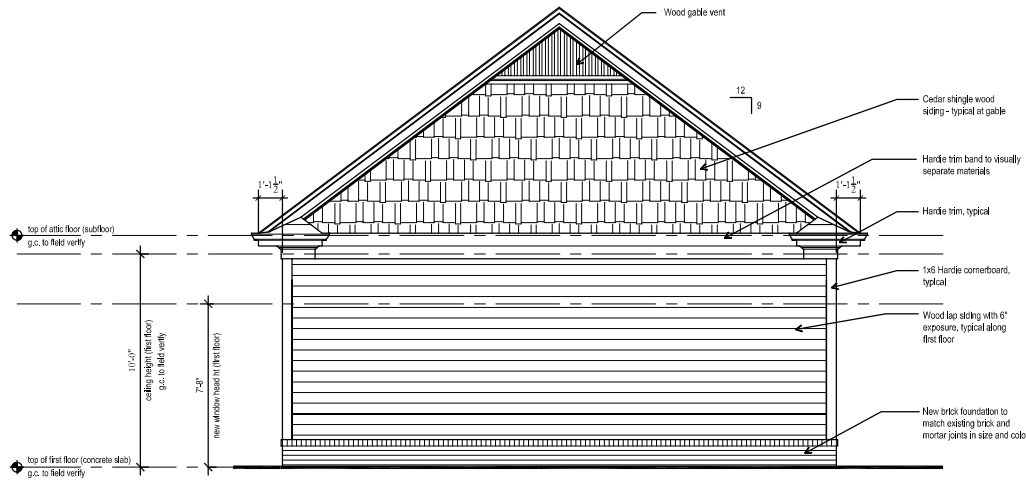
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PRELIMINARY PRICING SET

G-3  
15 July 2013



2 Proposed Left Side Elevation (facing alley)  
G-3 Not to Scale



1 Proposed Rear Elevation  
G-3 Not to Scale

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**SEPTEMBER GARAGE  
ELVATION**

**SHERIFF RESIDENCE**  
1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

**G-3**  
21 AUGUST 2013