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**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 1909 Wilmore Drive

**SUMMARY OF REQUEST:** Addition

**OWNER:** James & Melissa King

**APPLICANT:** Bob McGivern/6:48 Renovations

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**Details of Proposed Request**

*Existing Conditions*

The existing single story, single family house was built in 1936. It has a single gabled roof extending from the hip roof on the front and covers the porch which has three supporting square columns. The home rests on a sloping site which falls to the rear. The current siding is vinyl and the brick foundation has been painted. The majority of the surrounding homes on the block are single story.

*Proposal*

The proposal is an addition at the rear of the home resulting in a second story that will tie into the existing roofline due to the slope of the land. The side elevation shows the addition lower than the existing roofline. The front (west) elevation shows a portion of the addition that will be visible from Wilmore Drive. The plan indicates painted brick to match the color of the siding. Existing mature trees would not be disturbed.

**Proposal-Updated for September 11, 2013 Hearing**

*The application was deferred in August to address the siding material and windows along the new staircase. The plans have been revised to add German lap wood siding as a material option. The window on the stairtower matches the window on the new main floor.*

**Policy & Design Guidelines for Additions**

HDC Design Policy for Additions requires that additions be evaluated according to the following:

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	the relationship of the project to its site
b. <b>Scale</b>	the relationship of the building to those around it
c. <b>Massing</b>	the relationship of the building's various parts to each other
d. <b>Fenestration</b>	the placement, style and materials of windows and doors
e. <b>Rhythm</b>	the relationship of fenestration, recesses and projections
f. <b>Setback</b>	in relation to setback of immediate surroundings
g. <b>Materials</b>	proper historic materials or approved substitutes
h. <b>Context</b>	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

### **Staff Analysis**

Staff believes the proposal meets all of the Guidelines for Additions, provided wood siding is used as noted.

Regarding materials, the Guidelines (pages 48-49) state:

#### **Traditional Building Materials**





1. The use of historically traditional building materials is strongly encouraged in all renovation, addition and new construction projects in Local Historic Districts.
2. Historic precedents in the visual context of any project indicate appropriate choices for building materials.
3. All building materials must match the character of the existing structure and/or the streetscape in design, texture and other visual qualities.

#### **Non-Traditional Building Materials**

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
  - Vinyl
  - Aluminum or other metal sidings
  - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

# Charlotte Historic District Commission - Case 2013-119



-  1909 Wilmore Drive
-  Wilmore Local Historic District
-  Property Lines
-  Building Footprints

The scope of this proposed project is to build an addition off the rear of the client's existing home per the attached plans.

This addition, if approved, will include approximately 600 SF of new lower level (basement / storage) space and 600 SF of corresponding bedrooms and baths upstairs for the growing family. Their son was born in May of this year and they were already in need of more space before his arrival!

Both levels will be tied into the existing structure, which will be accessible from the new space at both the upper and lower levels, as you will note on the plans.

The addition will be very close to in-line with the existing structure with only a 3' offset, which is needed to meet zoning requirements on the right hand side of the home as viewed from the street.

We do not think the offset will impact the street view (or streetscape) whatsoever if it is even visible from the street. Unless one stops to look for it, it will not even be noticed. The reason for this opinion is: The lot slopes significantly from front (street side) to back where we propose to build the addition.

The proposed siding / exterior finish material for this project is vinyl, to match the existing home and windows will

This scope of work does not call for changing any existing rooflines or finish materials on the existing home. We will also not touch landscaping or existing trees.

Respectfully,

Robert E. McGivern, Jr.  
Family Construction & Remodeling, LLC

**dba 6:48 Renovations**





1909 WILMORE DRIVE  
CHARLOTTE NC 28203  
JKING242@GMAIL.COM

KING HOME RENOVATION

## SITE PLAN

PROJECT #	2013_01
DATE	2013.07.16
DRAWN BY	JK
REVISION #	-

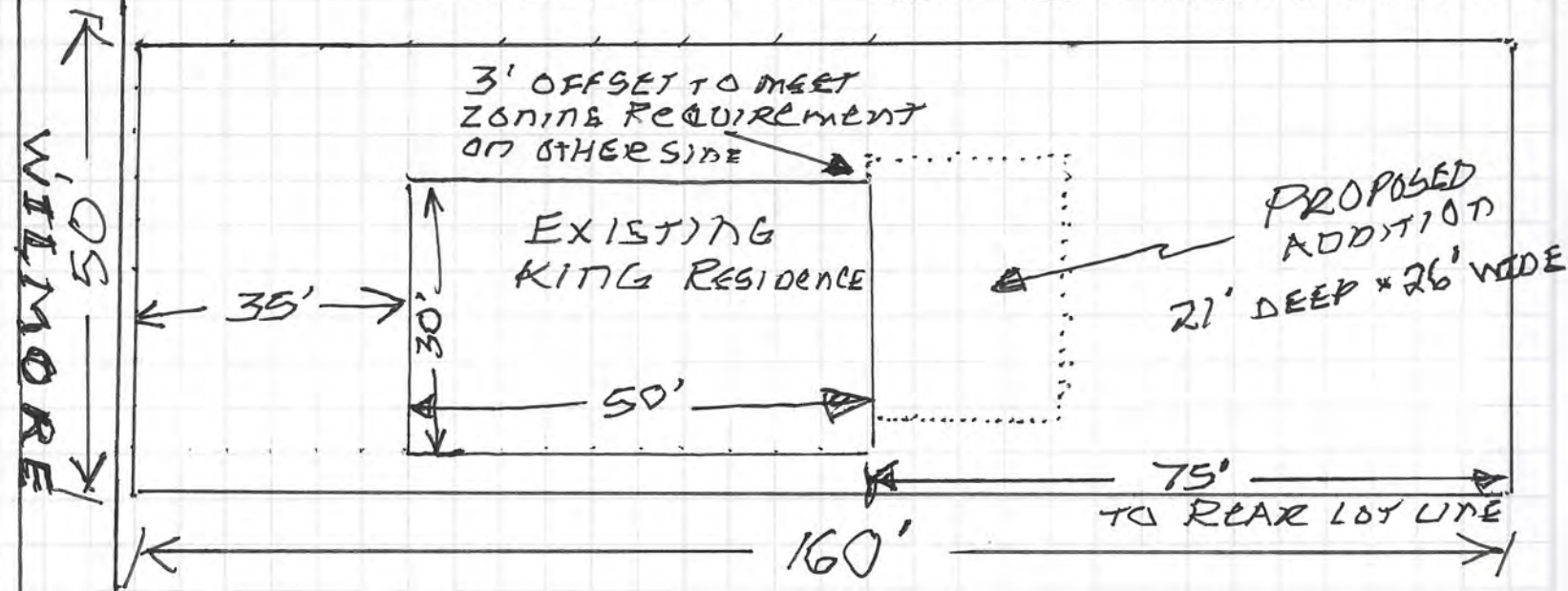
A105

Scale 1" = 30'-0"

7-17-13

\* SOLID LINE REPRESENT THE  
EXISTING RESIDENCE OF JAMES & MELISSA KING

----- DOTTED LINES REPRESENT PROPOSED ADDITION



# SITE PLAN

ROUGHLY TO SCALE  $\square 5'$   
 $5'$

1909 WILMORE





















1909





Consultant  
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1909 WILMORE DRIVE  
CHARLOTTE NC 28203  
JKING242@GMAIL.COM

## KING HOME RENOVATION ELEVATIONS

Project number	2013_01
Date	2013.05.19
Drawn by	JK
Checked by	JK

# A103

Scale  $1/4" = 1'-0"$



② Copy of North  
1/4" = 1'-0"



4 Copy of West  
1/4" = 1'-0"



③ Copy of South  
1/4" = 1'-0"

EXTERIOR CLADDING TO MATCH EXISTING  
WOOD HARDIBOARD OR VYNIL SIDING AND  
ASPHALT SHINGLES over 30# FELT

# August 2013



September 2013

NEW SIDING TO MATCH  
EXISTING OR GERMAN LAP  
(ALL LOCATIONS)

REPAINT EXISTING BRICK  
AND LEAVE ANY UNPAINTED  
BRICK AS IS

① East  
1/8" = 1'-0"

② North  
1/8" = 1'-0"



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KING HOME RENOVATION

# ELEVATIONS (E & N)

PROJECT #	2013_01
DATE	2013.07.16
DRAWN BY	JK
REVISION #	0

A03

Scale 1/8" = 1'-0"





2 West  
1/8" = 1'-0"

September 2013



1 South  
1/8" = 1'-0"

















JAMES KING  
KING DESIGN CONCEPTS  
1909 WILMORE DRIVE  
CHARLOTTE NC 28203  
(980)297-1146  
JKING242@GMAIL.COM

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

Consultant  
Address  
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PRINT ON 22x34 FOR CORRECT SCALING

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CHARLOTTE NC 28203  
JKING242@GMAIL.COM

## MAIN FLOOR ADDITION

Project number	2013_01
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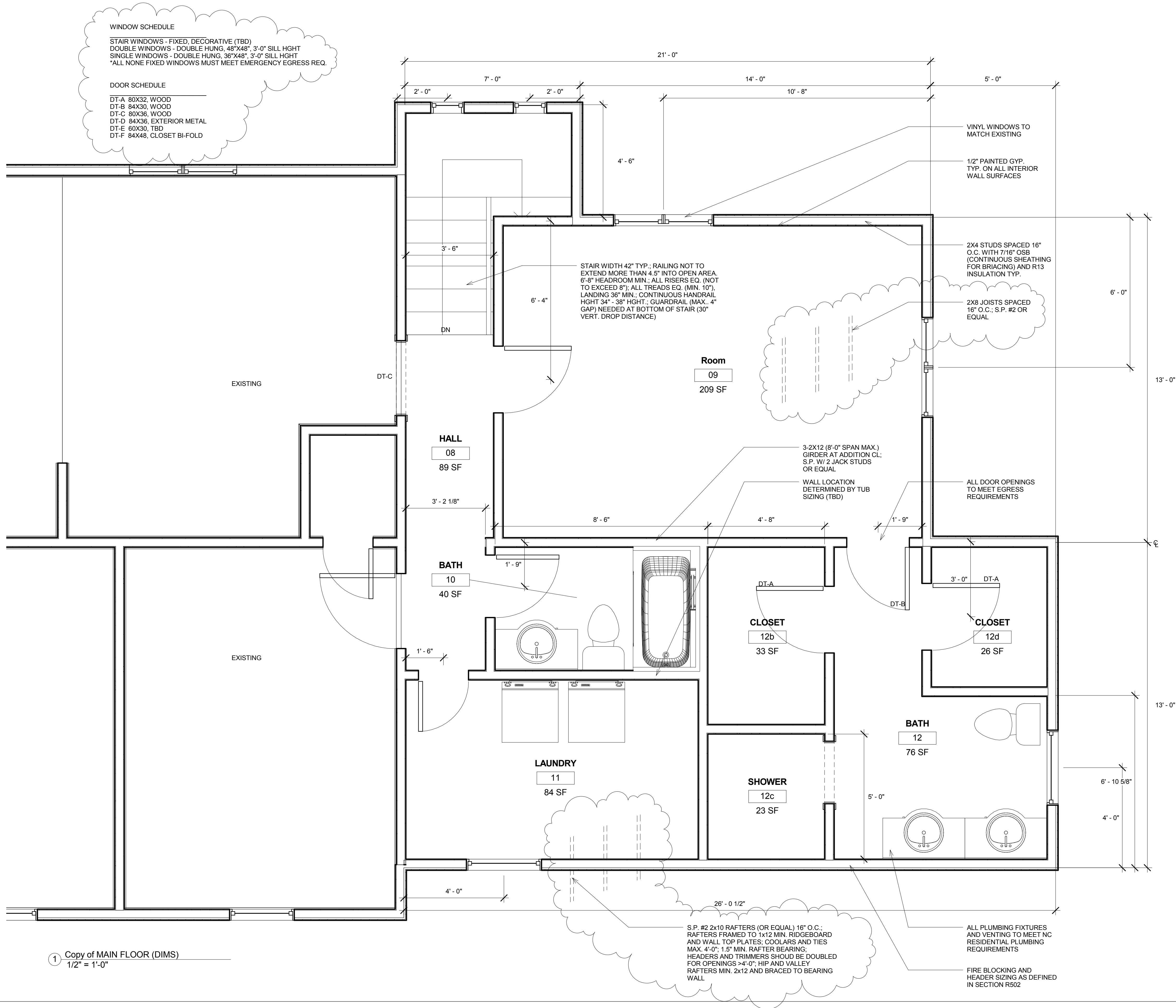
Date 2013.05.19

Drawn by JK

Checked by JK

# A101

Scale  $1/2" = 1'-0"$





Energy Code:	2009 IECC
Location:	Mecklenburg County, North Carolina
Construction Type:	Single Family
Project Type:	Addition
Building Orientation:	Bldg. orientation unspecified
Glazing Area Percentage:	9%
Heating Degree Days:	3499
Climate Zone:	3

Construction Site: \_\_\_\_\_ Owner/Agent: \_\_\_\_\_ Designer/Contractor: \_\_\_\_\_

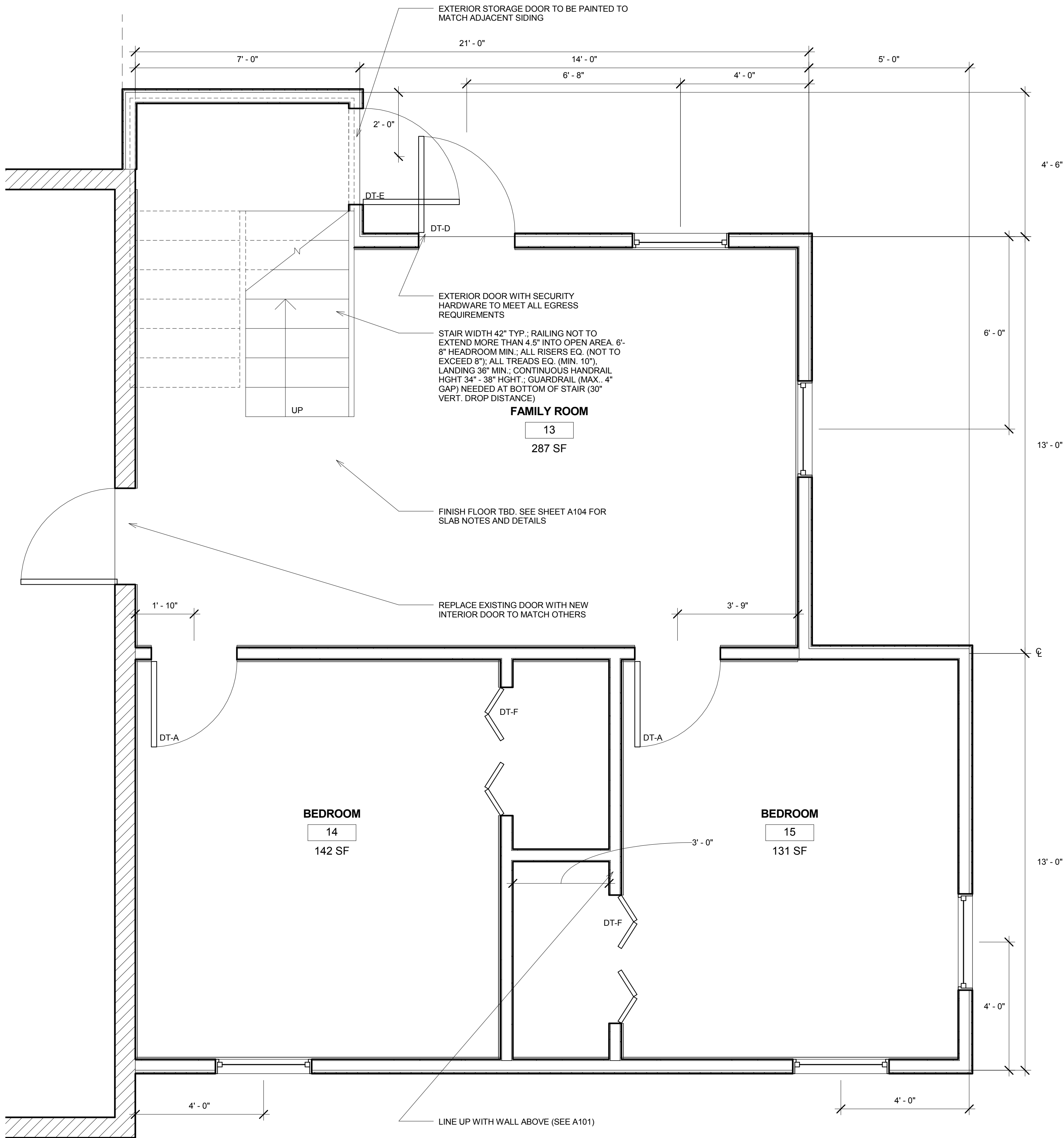
**Compliance: Passes using UA trade-off**

Compliance: 13.3% Better Than Code    Maximum UA: 196    Your UA: 170    Maximum SHGC: 0.30    Your SHGC: 0.30

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Wall: Wood Frame, 16in. o.c. Orientation: Right Side	468	13.0	0.0		34
Window: Vinyl Frame, Double Pane SHGC: 0.30 Orientation: Right Side	48			0.320	15
Wall: Wood Frame, 16in. o.c. Orientation: Left Side	468	13.0	0.0		35
Window: Vinyl Frame, Double Pane SHGC: 0.30 Orientation: Left Side	24			0.320	8
Door: Solid Orientation: Left Side	21			0.400	8
Wall: Wood Frame, 16in. o.c. Orientation: Back	458	13.0	0.0		34
Window: Vinyl Frame, Double Pane SHGC: 0.30 Orientation: Back	48			0.320	15
Ceiling: Steel Joist/Rafter, 16in. o.c., 2x4	640	30.0	0.0		21

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in [REScheck-Web](#) and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.



1 Copy of BASEMENT (DIMS)  
1/2" = 1'-0"



JAMES KING  
KING DESIGN CONCEPTS  
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CHARLOTTE NC 28203  
JKING242@GMAIL.COM

## WORKING HOME RENOVATION BASEMENT ADDITION

Project number 2013\_01

Date	2013.05.19
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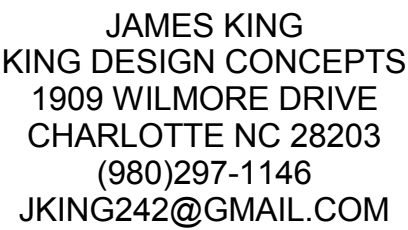
Drawn by JK

Checked by	Jh
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# A102

Scale  $1/2" = 1'-0"$





Consultant  
Address  
Address  
Phone  
Fax  
e-mail

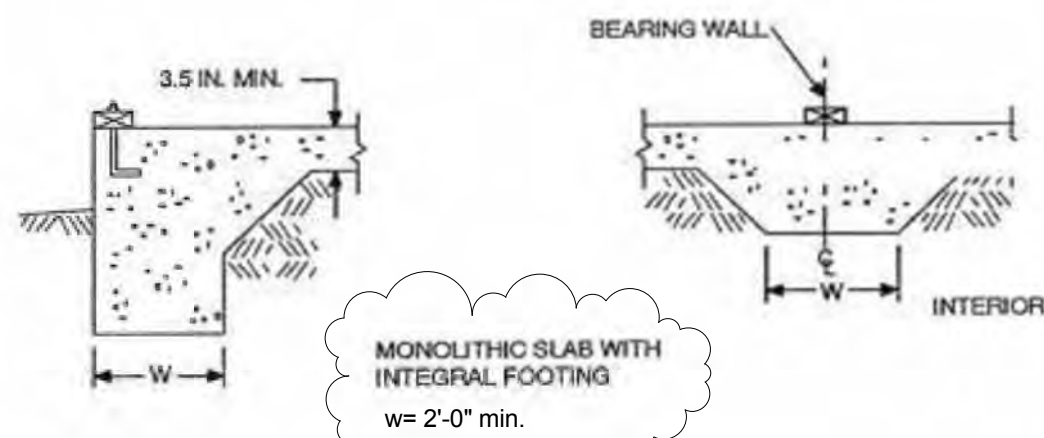
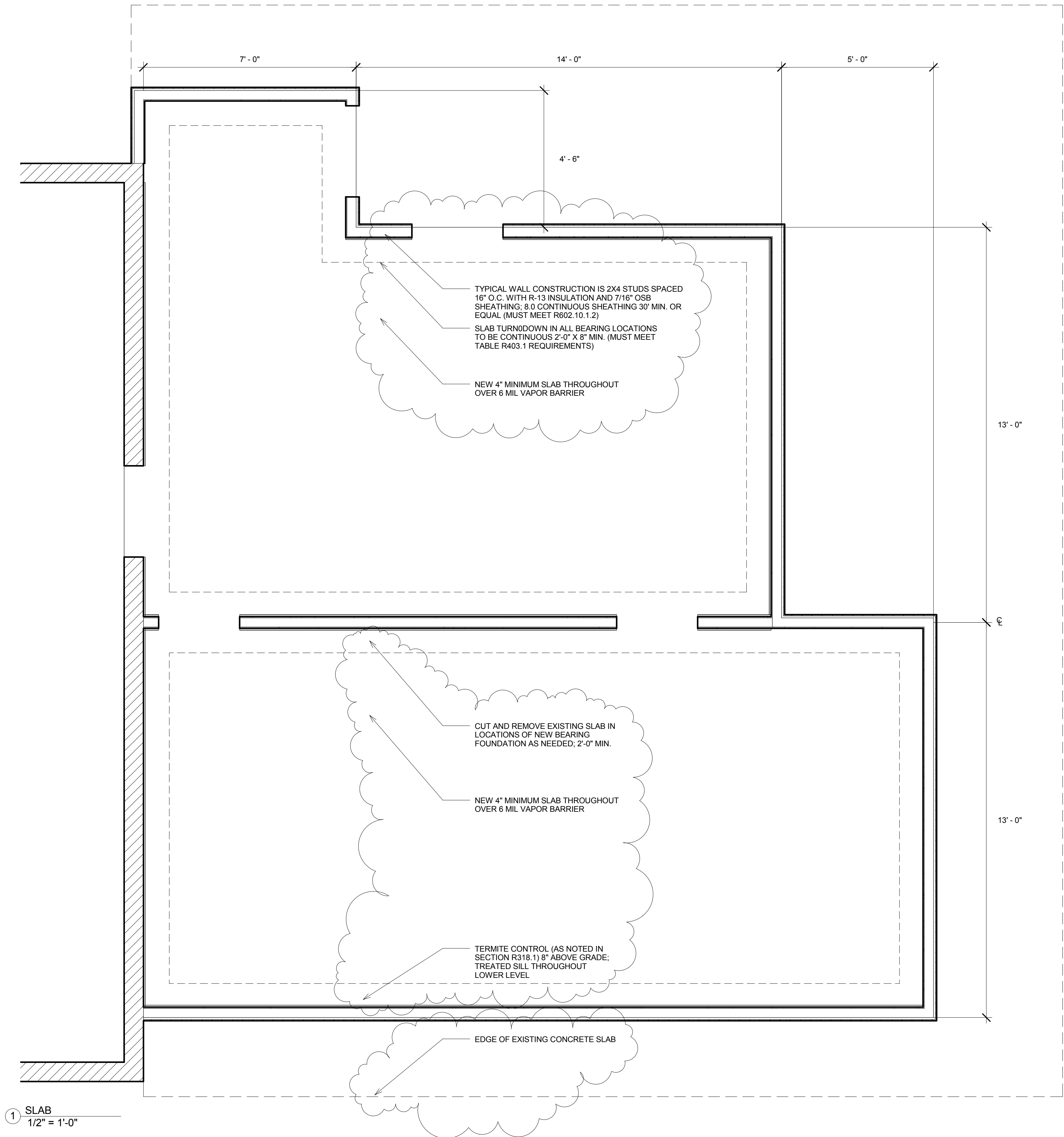
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## SLAB AND SECTION

Drawn by	JK
Checked by	JK

A104

Scale  $1/2" = 1'-0"$



## 2 WALL SECTION & TURN-DOWN DETAIL

GENERAL NOTES:

01. ALL STRUCTURAL FRAMING TO MEET SECTION R502 REQUIREMENTS
02. TYPICAL WALL CONSTRUCTION IS 2X4 STUDS SPACED 16" O.C. WITH R-13 INSULATION AND 7/16" OSB SHEATHING; 8.0 CONTINUOUS EXTERIOR FINISHING MIN. OR EQUAL (MUST MEET R602.10.1.2)
03. SEE DRILLING AND NOTCHING PROVISIONS IN SECTIONS R602.8 AND R602.6
04. MINIMUM R-30 INSULATION IN ATTIC SPACE ABOVE NEW ADDITION
05. CEILING JOIST TO MATCH EXISTING; 2X6 S.P. #2 SPACED 16" O.C. OR EQUAL (MUST MEET ALL REQS. FROM SECTION R802)
06. ROOF PITCH TO MATCH EXISTING (SEE ELEVATIONS)
07. ALL FLASHING MUST MEET ASTM E 2112 AND/OR AMMA 711 FOR WINDOWS, DOOR, GUTTER AND WALL / CEILING TRANSITION
08. SLAB TURN/DOWN IN ALL BEARING LOCATIONS TO BE CONTINUOUS 2'-0" X 8" MIN. (MUST MEET TABLE R403.1 REQUIREMENTS)
09. 8" FOUNDATION WALL THICKNESS MIN.
10. 6 MIL VAPOR BARRIER AND TERMITE CONTROL TO BE THROUGHOUT THE LOWER SLAB AND FOUNDATIONS AREA AND MEET THE REQUIREMENTS OF SECTIONS R506.2.3 AND R318.1
11. FOUNDATION TO MEET ALL WATER / DAMP-PROOFING REQUIREMENTS AS PER SECTION R406
12. UPPER FLOOR SHEATHING TO BE MIN. 5/8" (SPECIES GROUP 2/3)
13. WALL HEADER SIZE TO BE 2-2X8 MIN.; ALL CONCENTRATED LOADS TO BEAR WITHIN 5" OF STUDS BENEATH.
14. ALL CEILING OPENINGS GREATER THAN 4'-0" MUST BE SUPPORTED BY A DOUBLE JOIST
15. JACK STUDS REQUIRED FOR OPENINGS GREATER THAN 4'-0"
16. ATTIC ACCESS FROM EXISTING BUILDING
17. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL PERTINENT CODE REQUIREMENTS BEFORE INSTALLING AND / OR CONSTRUCTING ANY PORTION OF THE STRUCTURE.

1 SLAB  
1/2" = 1'-0"