
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1825 Dilworth Road W

SUMMARY OF REQUEST: Front and Rear Porch Addition

OWNER: John & Kathleen Hartnett

APPLICANT: John & Kathleen Hartnett

Details of Proposed Request

Existing Conditions

The single family house is listed as a contributing structure in the National Register of Historic Places. Built in 1929, the story brick home has a “one-story side porch and one-bay gable portico.” The fenestration rhythm is balanced across the façade. Neighboring homes on the street are a mix of one and two story dwellings clad in brick or siding with front or side porches. The setbacks along the street are approximately 60 feet measured from the curb line. The existing porch is approximately 5 feet deep.

Proposal

The proposed project is the addition of a covered front and rear porch. The front porch plan utilizes the existing brick foundation while adding a pair of wood columns, brick stoops, wood railing and wood decking. The rear porch has the same details as the front including an additional pair of columns at the stairway, a fireplace and wood shutters. The front porch depth is 10 feet and extends across the façade. The roof material is standing seam metal. Particular guidelines to consider are Size, Rhythm, Setback and Materials.

Policy & Design Guidelines for Garages

HDC Design Policy on Additions requires that additions be evaluated according to the following:

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

Staff believes the proposed design meets the HDC guidelines for additions.

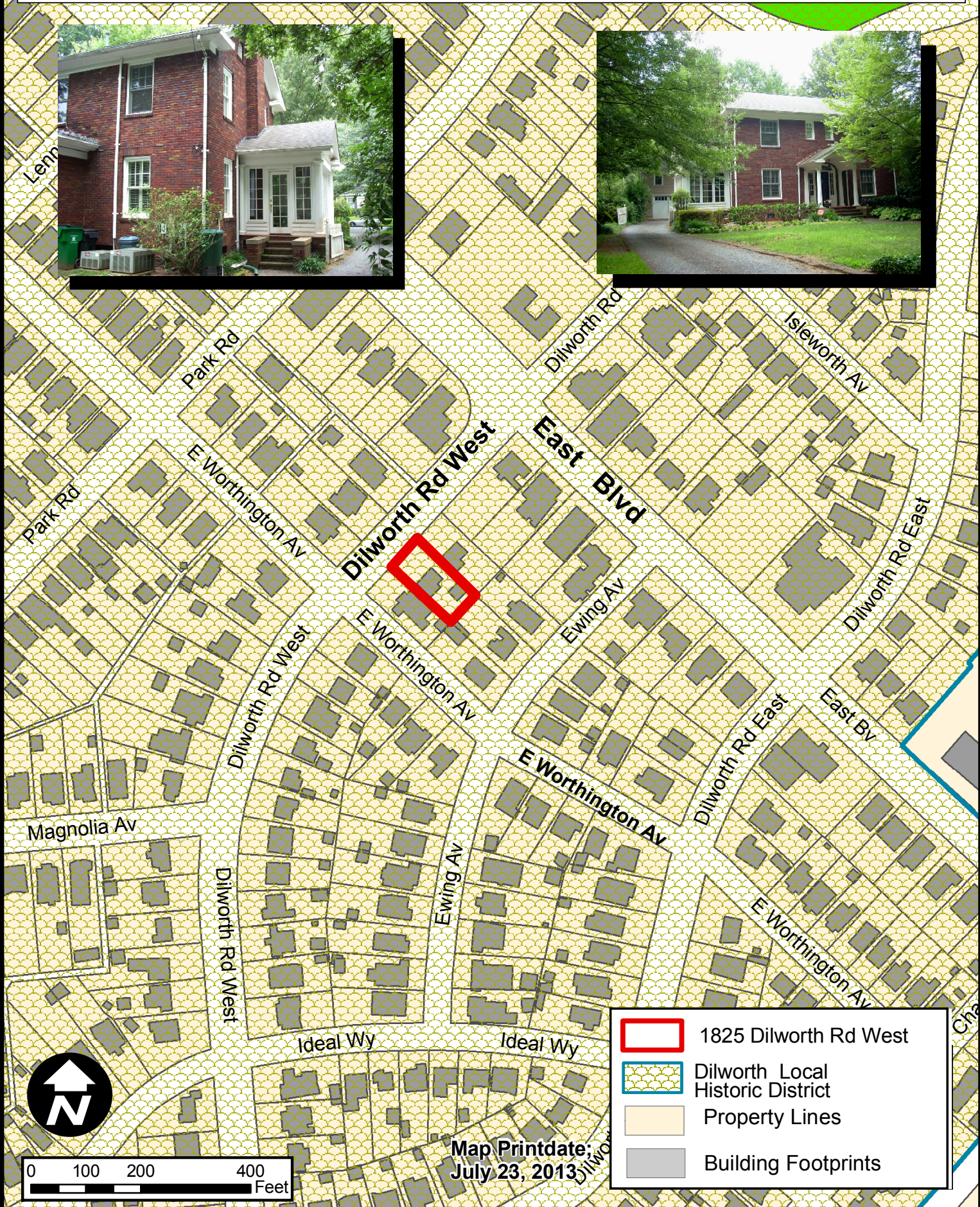
ALTERATION / ADDITION @ 1825 Dilworth Road West Charlotte, NC 28202
John & Kathleen Hartnett
1825 Dilwoth Road West
Charlotte, NC 28202
704 302 4627


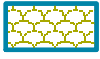




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Charlotte Historic District Commission - Case 2013-117



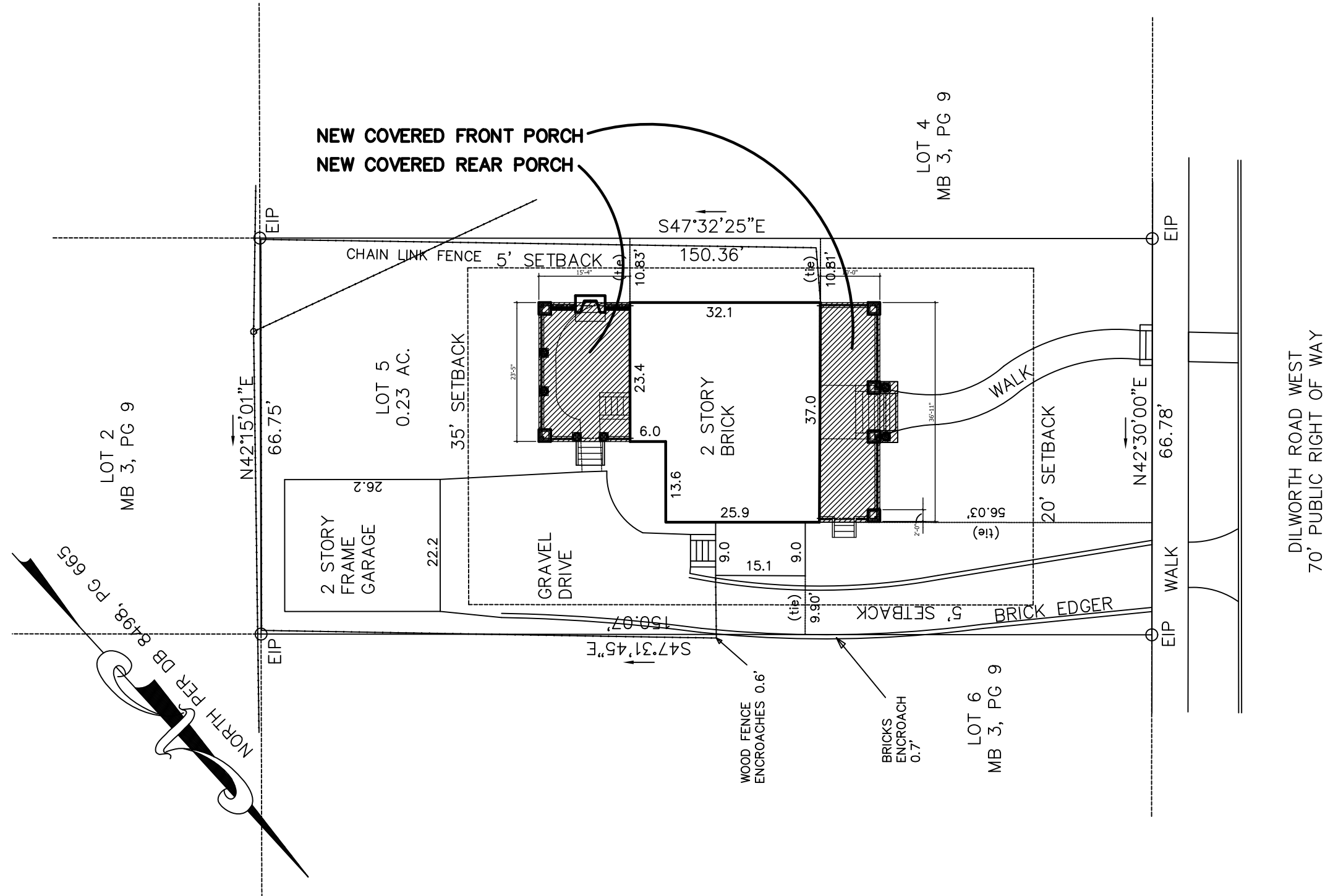
-  1825 Dilworth Rd West
-  Dilworth Local Historic District
-  Property Lines
-  Building Footprints

Map Printdate:
July 23, 2013









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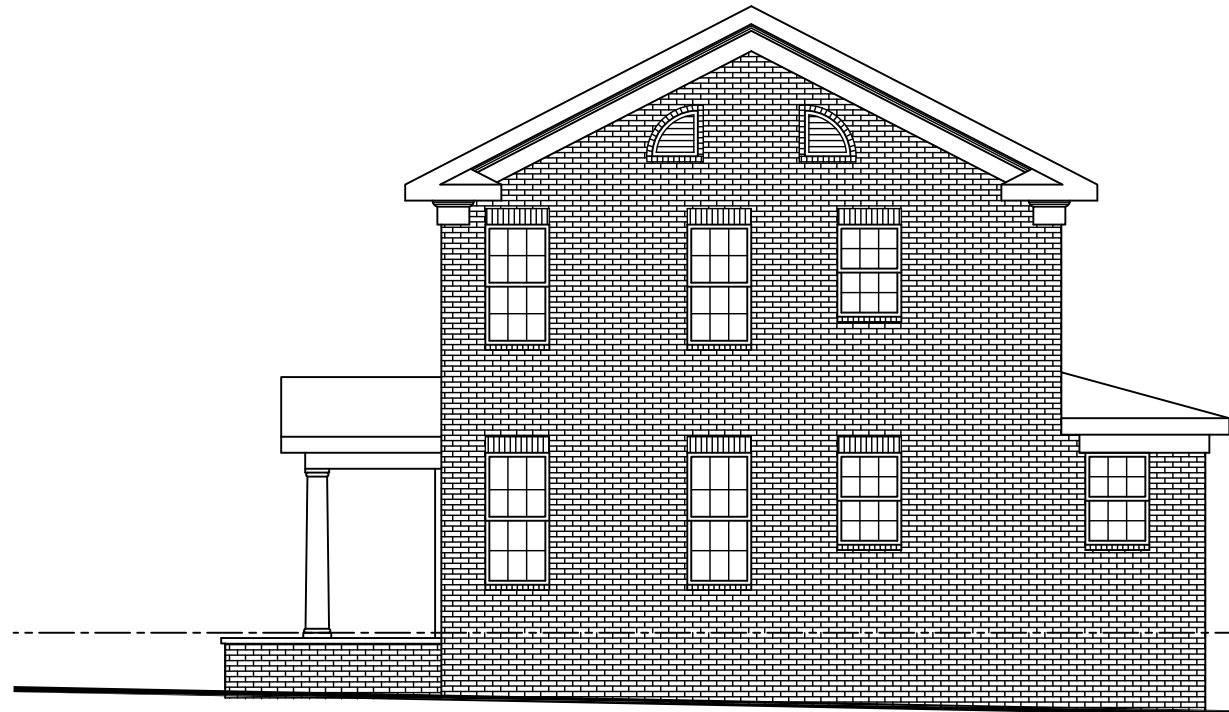
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PLOT PLAN
SCALE: 1" = 20'

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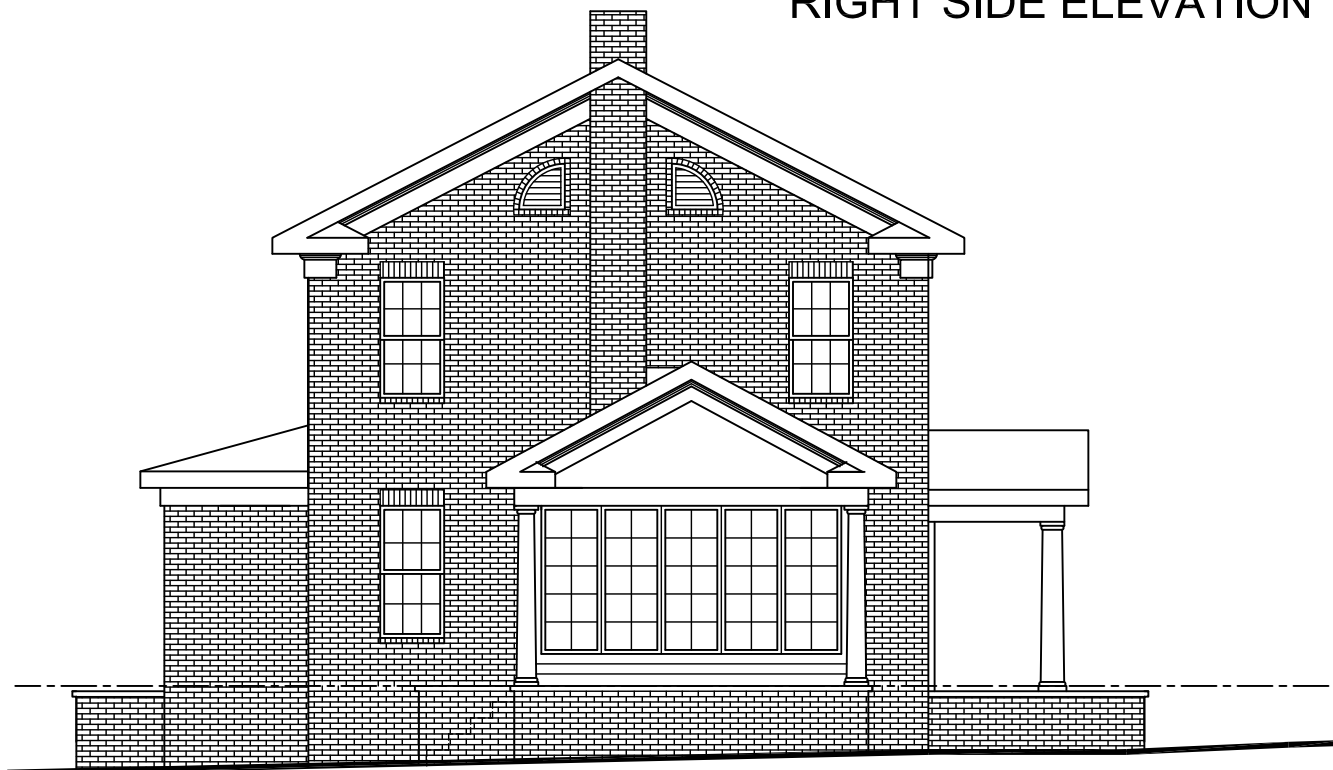
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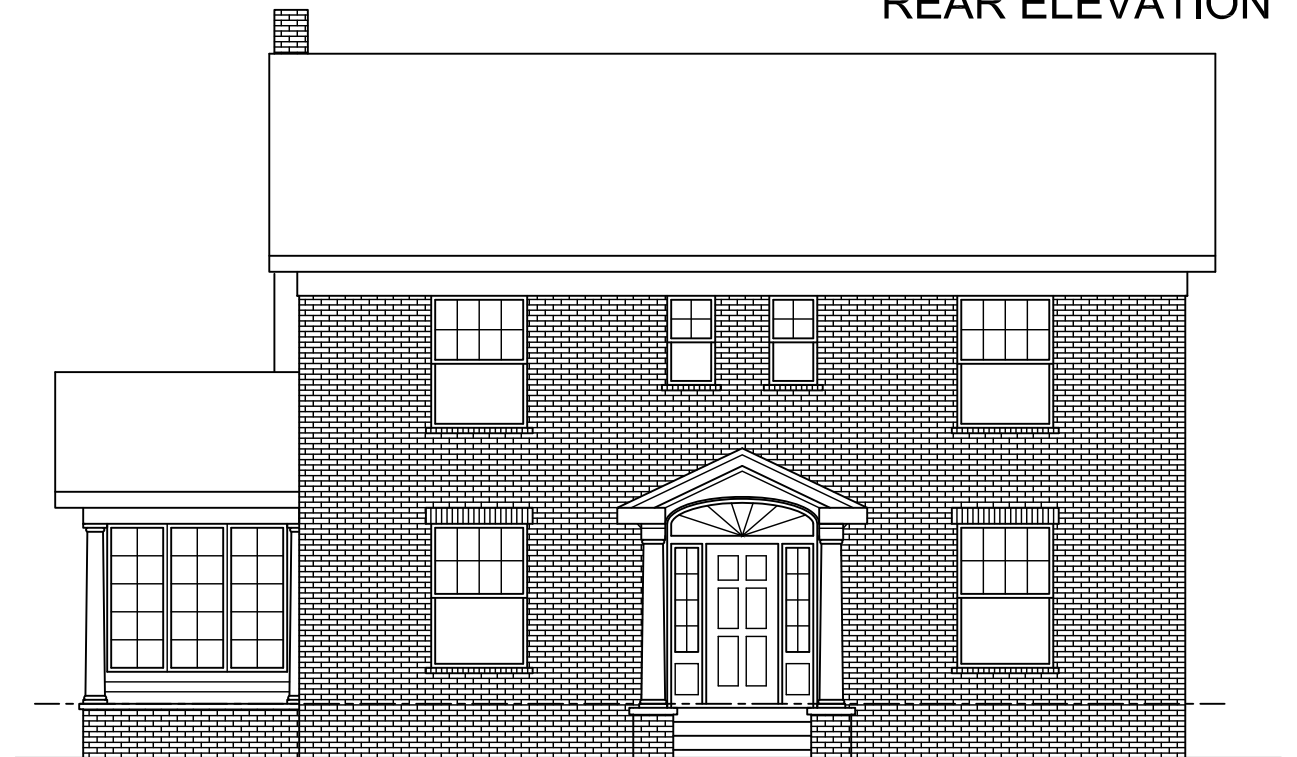
RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION

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EXISTING ELEVATIONS

SCALE 1/8" = 1'-0"

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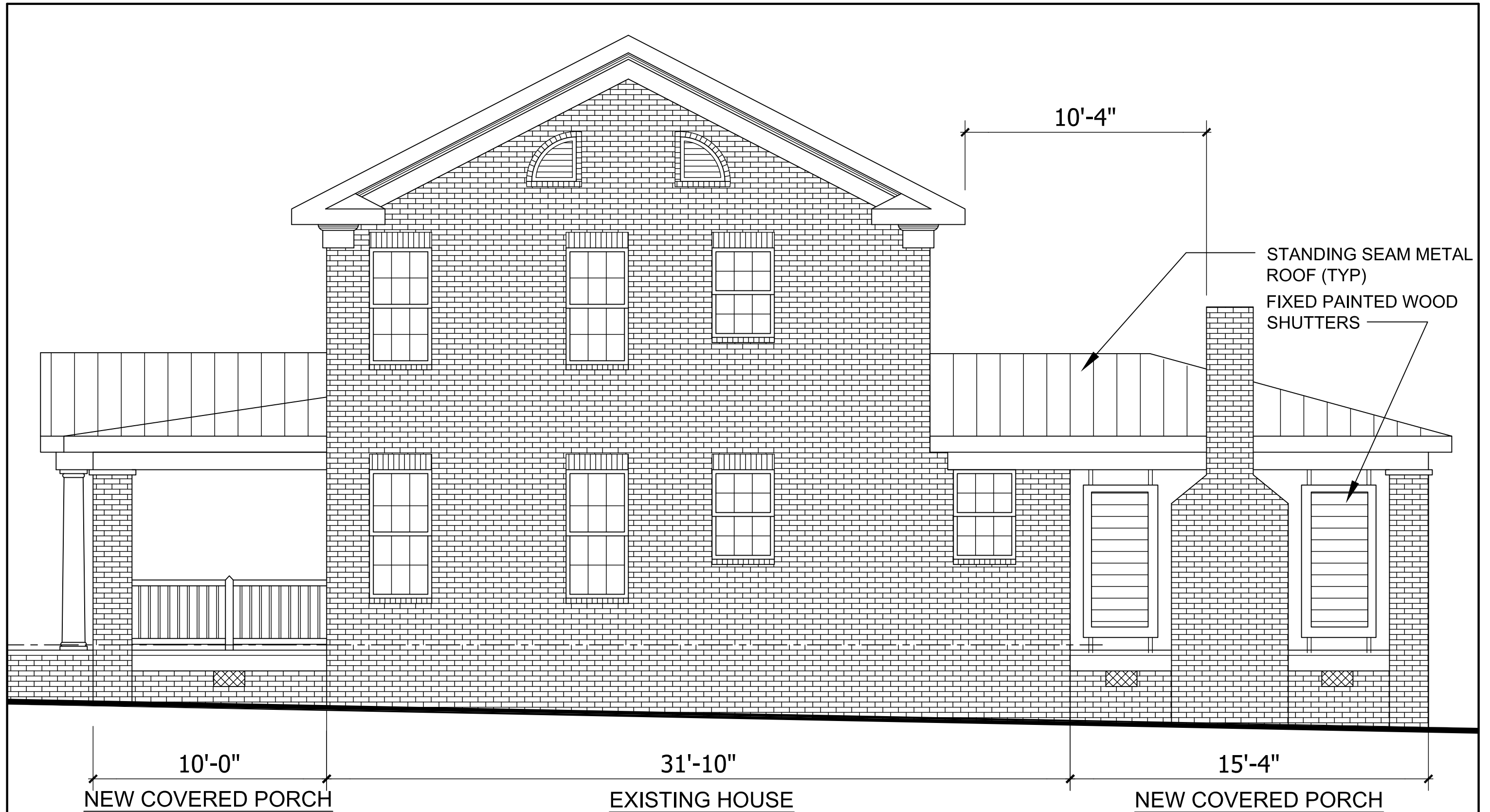
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COLORED FRONT ELEVATION
N.T.S.

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ALTERATION / ADDITION @ 1825 Dilworth Road West Charlotte, NC 28202

NEW RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

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NEW REAR ELEVATION

SCALE 1/4" = 1'-0"

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ALTERATION / ADDITION @ 1825 Dilworth Road West Charlotte, NC 28202			NEW LEFT SIDE ELEVATION	HISTORIC COMMISSION SUBMISSION July 17, 2013	A4 10 of 11
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HOUSE TO LEFT OF SUBJECT



HOUSE TO RIGHT OF SUBJECT



FACING SUBJECT



ACROSS THE STREET



ACROSS THE STREET

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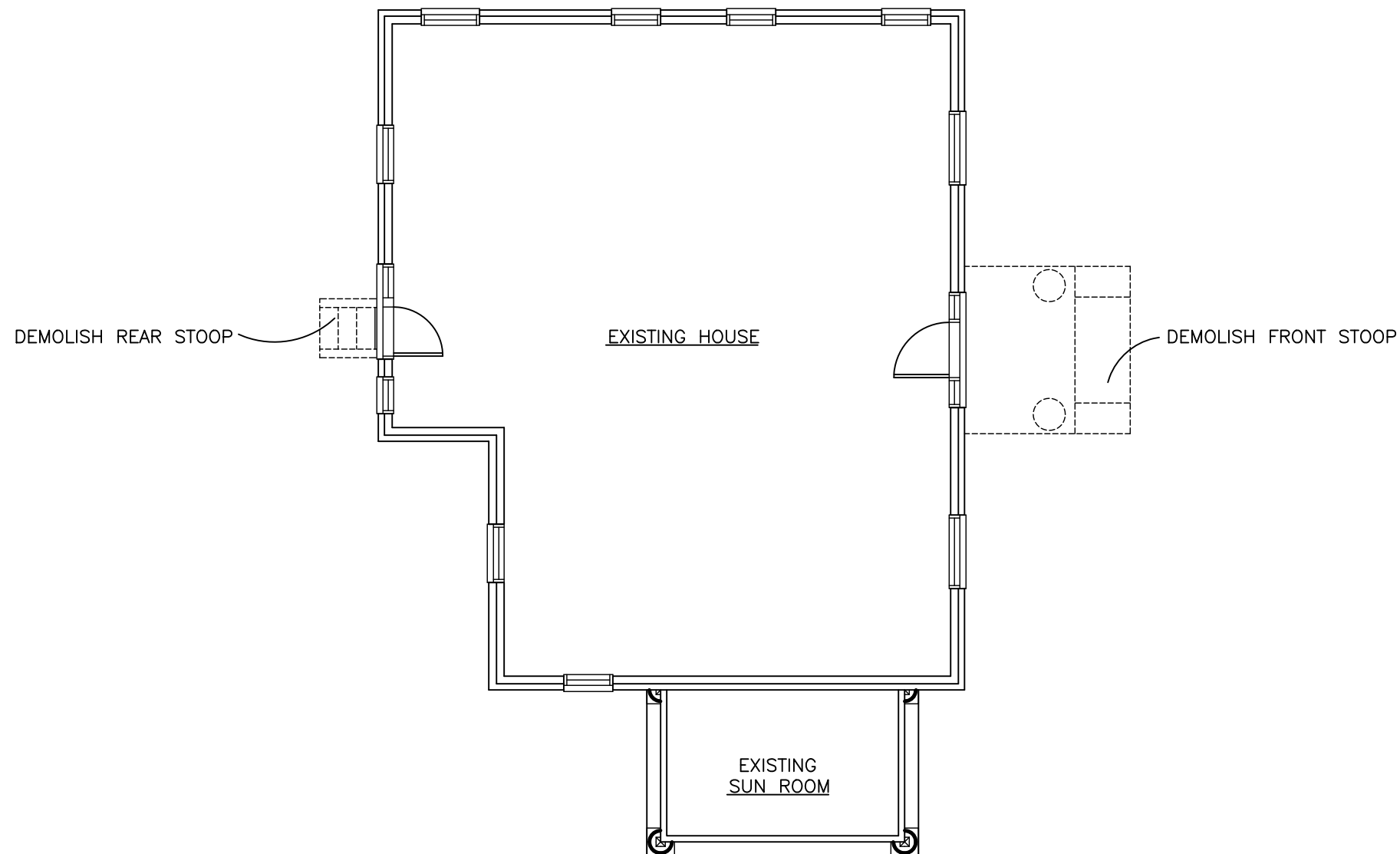
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STREET PHOTOS

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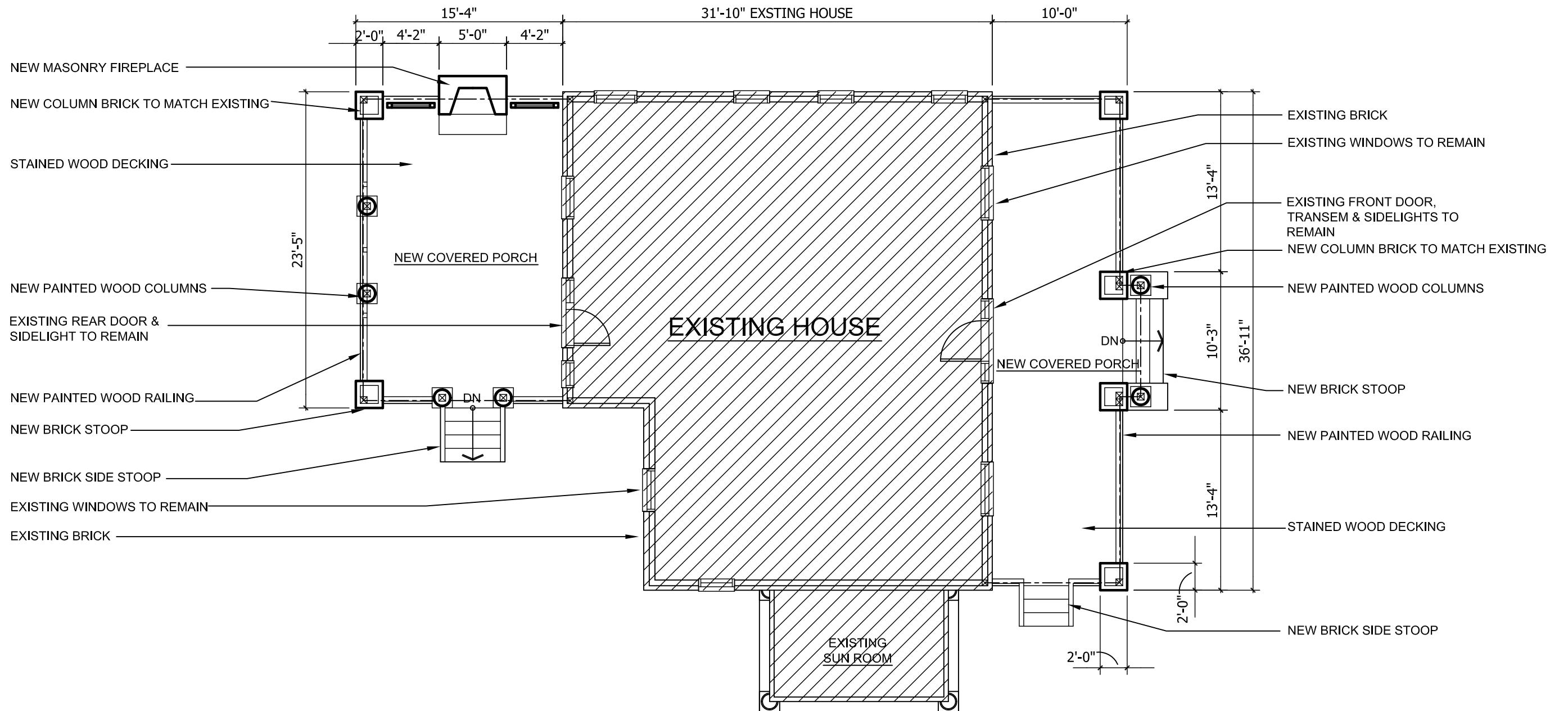
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EXISTING PLAN
 SCALE 1/8" = 1'-0"

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- DEMOLITION
- ===== EXISTING TO REMAIN
- ===== NEW CONSTRUCTION

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NEW FLOOR PLAN

SCALE 1/8" = 1'-0"

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