

Charlotte Historic District Commission
Application for a Certificate of Appropriateness

April 11, 2012

ADDRESS OF PROPERTY	<i>801 East Kingston Avenue, Dilworth Local Historic District</i>	<i>HDC 2012-021</i>
SUMMARY OF REQUEST	<i>Renovation/Addition</i>	
OWNER	<i>Barringer & Smith Properties, LLC</i>	
APPLICANT	<i>David Smith</i>	

Details of Proposed Request

This application is for a substantial renovation of and addition to this single family house.

Current Status and Context of Property

Built in 1925, this bungalow style home is listed as a contributing property to the historic character of the Dilworth National Register Historic District. The house has a front-facing gabled front porch, and massive side gables on a side facing roof. It is a wood frame structure with German style lapped siding.

The house sits on a long block of East Kingston Avenue, where Lennox Avenue ends at East Kingston. This area of the street contains a number of houses of similar style and scale. A majority of these houses have been enlarged throughout the years in a manner similar to this current proposal.

Relevant HDC Design Guidelines

- ***Additions***
- ***Building Materials***

Relevant Secretary of Interior's Standards for Historic Rehabilitation

(As cited in the Charlotte Zoning Ordinance Section 10.210)

- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (j) New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

UPDATE:

A previous version of these plans was reviewed by the HDC at their March 14, 2012 meeting.

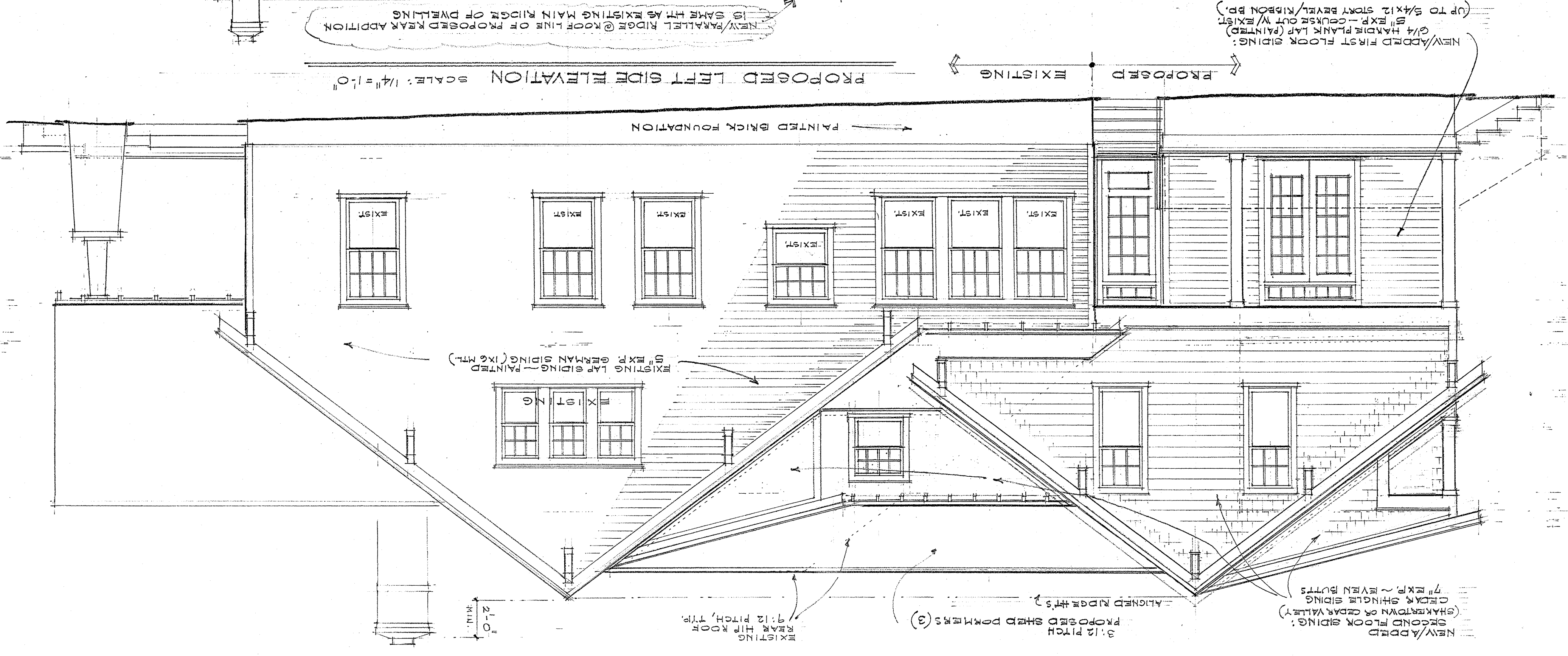
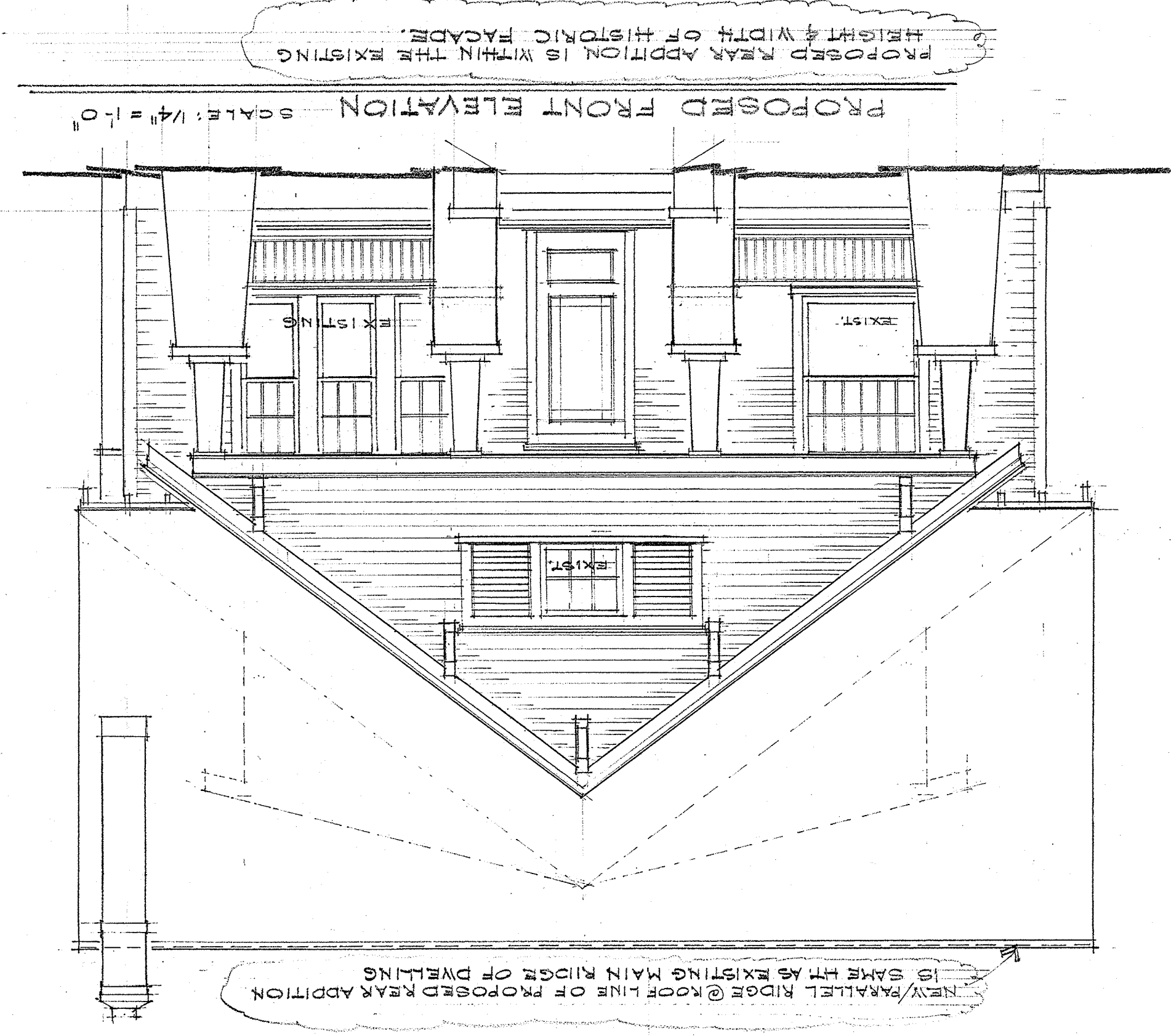
At that meeting, the HDC made several comments on the project, and ultimately voted to defer the application to allow for further design work. The attached plans have been submitted in response to the comments at that meeting.

The revised proposal has a lower rear ridge than the previous submission, making the new rear addition no taller or wider than the existing structure. This would qualify the addition for possible administrative approval.

The front porch restoration is designed to restore the original configuration of the porch.

This house at some point in its history had been re-skinned in stucco, which was applied over the original wood German lapped siding. The stucco has now been removed as part of this renovation/addition project, and the original siding has now been exposed and is being repaired.

FIRST FLOOR HEATED AREA:		1,835
SECOND FLOOR HEATED AREA:		1,473
TOTAL HEATED AREA =		3,308 sq.ft.
FRONT PORCH:	238	
BACK PORCH:	238	
(UP) SLEEPING PORCH:	128	
TOTAL PROPOSED FINISHED AREA UNDER ROOF =		3,910 sq.ft.



DATE: 3-27-12

JOB: 801 E. KINGSTON AVE., CHARLOTTE, NC 28203-5123

SHEET: 1 OF 6

PROPOSED ADDITION & RENOVATIONS FOR: DILWORTH

BARLINGER & SMITH PROPERTIES, LLC

1133 METROPOLITAN AVE., # 619 CHARLOTTE, NC 28204

MR. DAVID SMITH 704-764-8845

FRONT & LEFT SIDE ELEVATIONS

1/4" = 1'-0"

PETER GOEBEL FINE RESIDENTIAL DESIGN/DRAFTING

P.O. BOX 97011 CHARLOTTE, NC 28227

goebelhaus@yahoo.com

704-573-2231



PROPOSED RIGHT SIDE ELEV. SCALE: 1/4" = 1'-0"

← EXISTING | PROPOSED →

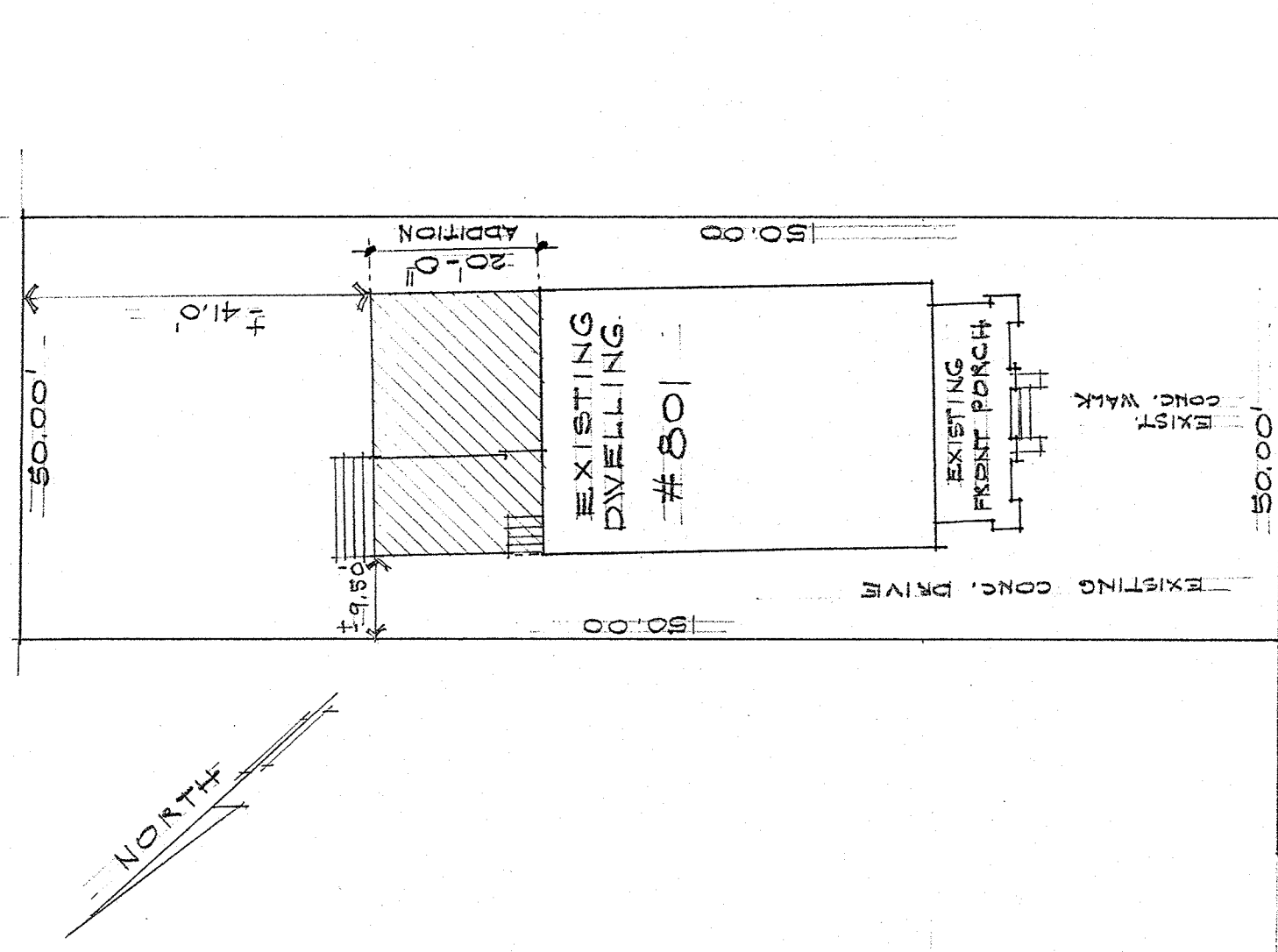


PROPOSED REAR ELEV. SCALE: 1/4" = 1'-0"

DATE:
3-27-12

SHEET:

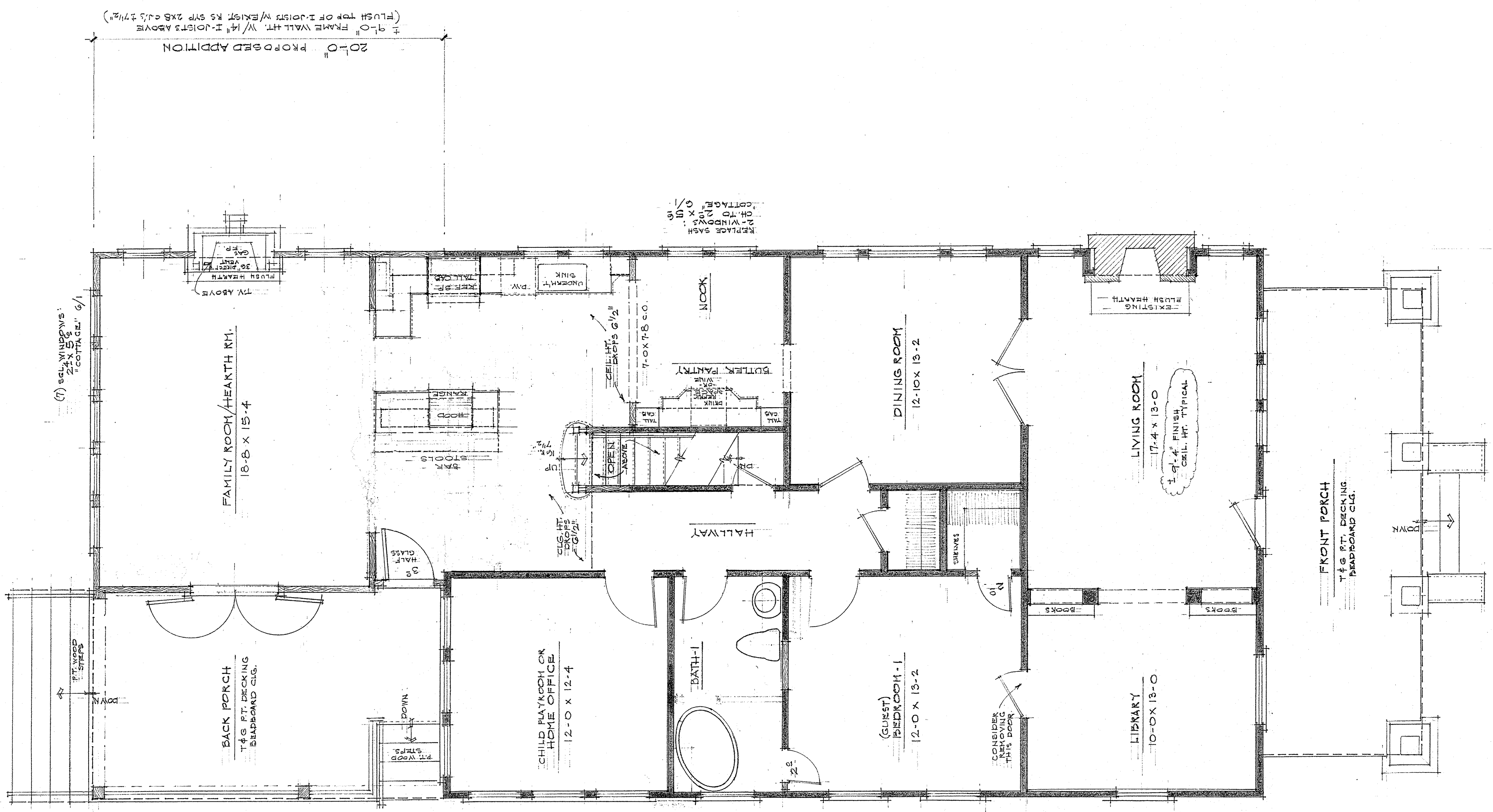
2
OF 5



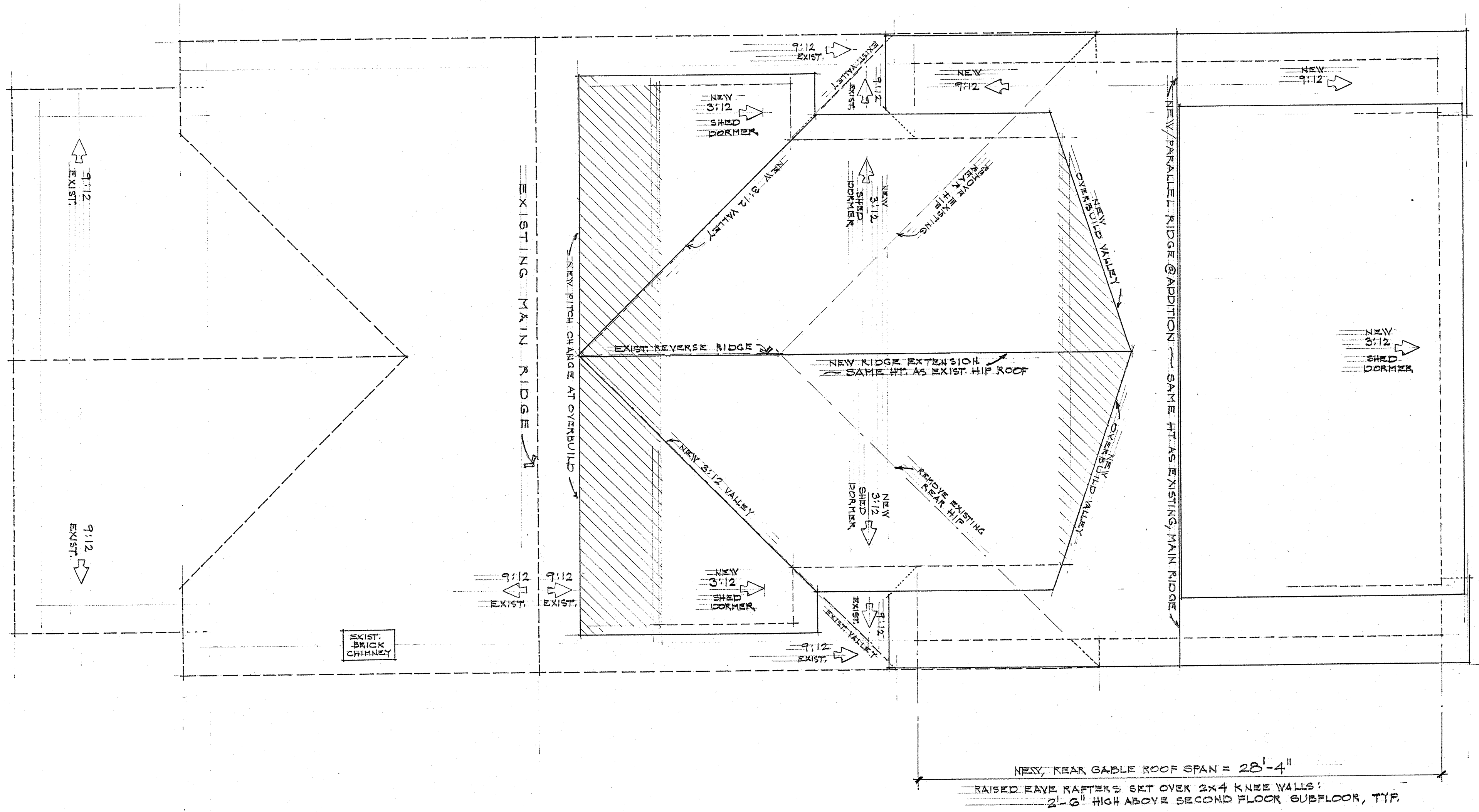
E. KINGSTON AVE.

(PARCEL # 1231511)

DATE: 3-27-12	PLOT PLAN SCALE: 1" = 20'	
SHEET: B2 OF 5		



DATE: 3-27-12	PROPOSED ADDITION & RENOVATIONS FOR: 801 E. KINGSTON AVE. CHARLOTTE, NC 28203-5123	DILWORTH MECKLENBURG COUNTY	• FIRST FLOOR PLAN 1/4" = 1'-0"	Contractor assumes responsibility to verify all dimensions, details, and materials. Although every effort has been made to provide a thorough, professional set of plans, these drawings are inherently diagrammatic and somewhat approximate. The contractor is responsible for verifying all dimensions and materials. The contractor shall be responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The contractor shall be responsible for the structural integrity of any building constructed using these drawings. The contractor shall be responsible for the quality of the construction and for the safety of the building. The contractor shall be responsible for the completion of the project within the specified time frame and budget. The contractor shall be responsible for the payment of all bills and for the delivery of the final drawings. The contractor shall be responsible for the maintenance of the building and for the replacement of any damaged materials. The contractor shall be responsible for the removal of any debris and for the cleanup of the site. The contractor shall be responsible for the insurance of the building and for the protection of the site. The contractor shall be responsible for the coordination of all trades and for the management of the project. The contractor shall be responsible for the communication with the owner and for the resolution of any issues. The contractor shall be responsible for the overall success of the project.
JOB:	1133 METROPOLITAN AVE., #619 CHARLOTTE, NC 28204	MR. DAVID SMITH 704-964-8845	• PETER GOEBEL, FINE RESIDENTIAL DESIGN/DRAFTING P.O. BOX 690111 CHARLOTTE, NC 28227 goebelhaus@yahoo.com 704-573-2231	
SHEET: 1 of 10				



Charlotte Historic District Commission - Case 2012-021



- 801 East Kingston Ave
- Property Lines
- Building Footprints
- Dilworth Local Historic District

April 2, 2012