

Charlotte Historic District Commission

Application for a Certificate of Appropriateness

December 14, 2011

ADDRESS OF PROPERTY	1915 Park Road	HDC 2011-129
SUMMARY OF REQUEST	Addition	
OWNERS	Gregory & Aida Saul	
APPLICANT	Garrett Nelson, Architect	

Details of Proposed Request

This application seeks approval for a rear facing addition that involves a higher ridge on the house.

Current Status and Context of Property

This is a one story modified bungalow-style house. It sits in an area of park road that consists primarily of other houses of similar age, style and scale.

Relevant HDC Design Guidelines

- *Additions*
- *Building Materials*

Relevant Secretary of Interior's Standards for Historic Rehabilitation

(As cited in the Charlotte Zoning Ordinance Section 10.210)

- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (j) New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis of Proposal**ADDITIONS**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:
 - a. Size the relationship of the project to its site
 - b. Scale the relationship of the building to those around it
 - c. Massing the relationship of the building's various parts to each other
 - d. Fenestration the placement, style and materials of windows and doors
 - e. Rhythm the relationship of fenestration, recesses and projections
 - f. Setback in relation to setback of immediate surroundings
 - g. Materials proper historic materials or approved substitutes
 - h. Context the overall relationship of the project to its surroundings
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.



1018

P063830







1915





A Proposed Renovation to the Residence of

Aida & Greg Saul

Dilworth

1915 Park Road
Charlotte, North Carolina

GARRETT P. NELSON
STUDIO ONE
115 East Park Avenue, Studio E • Charlotte, North Carolina
704.975.8003

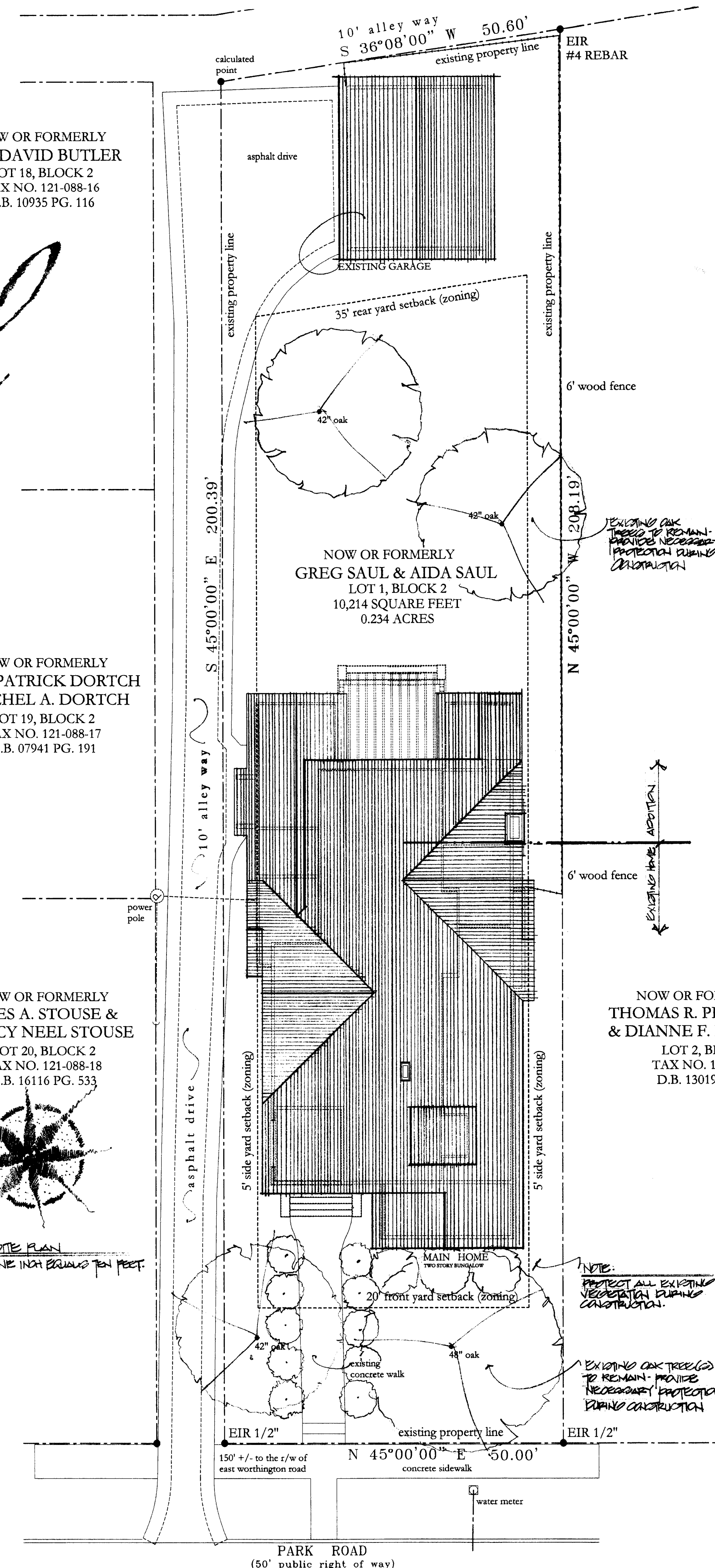
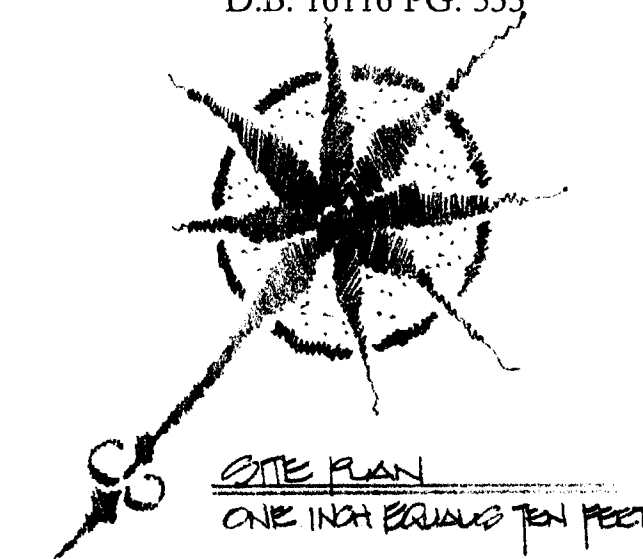
SAUL RESIDENCE
1915 Park Road Charlotte, North Carolina

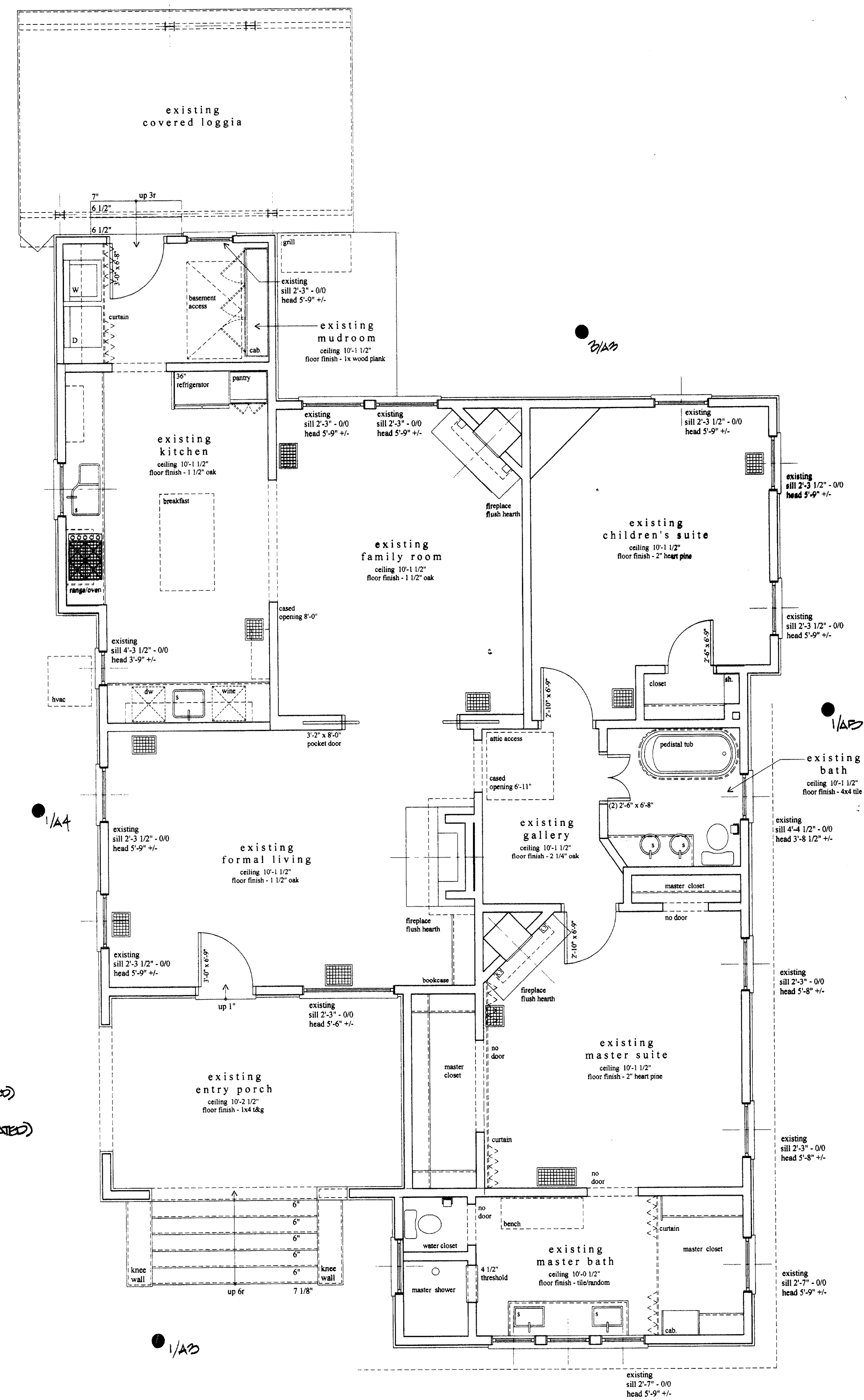
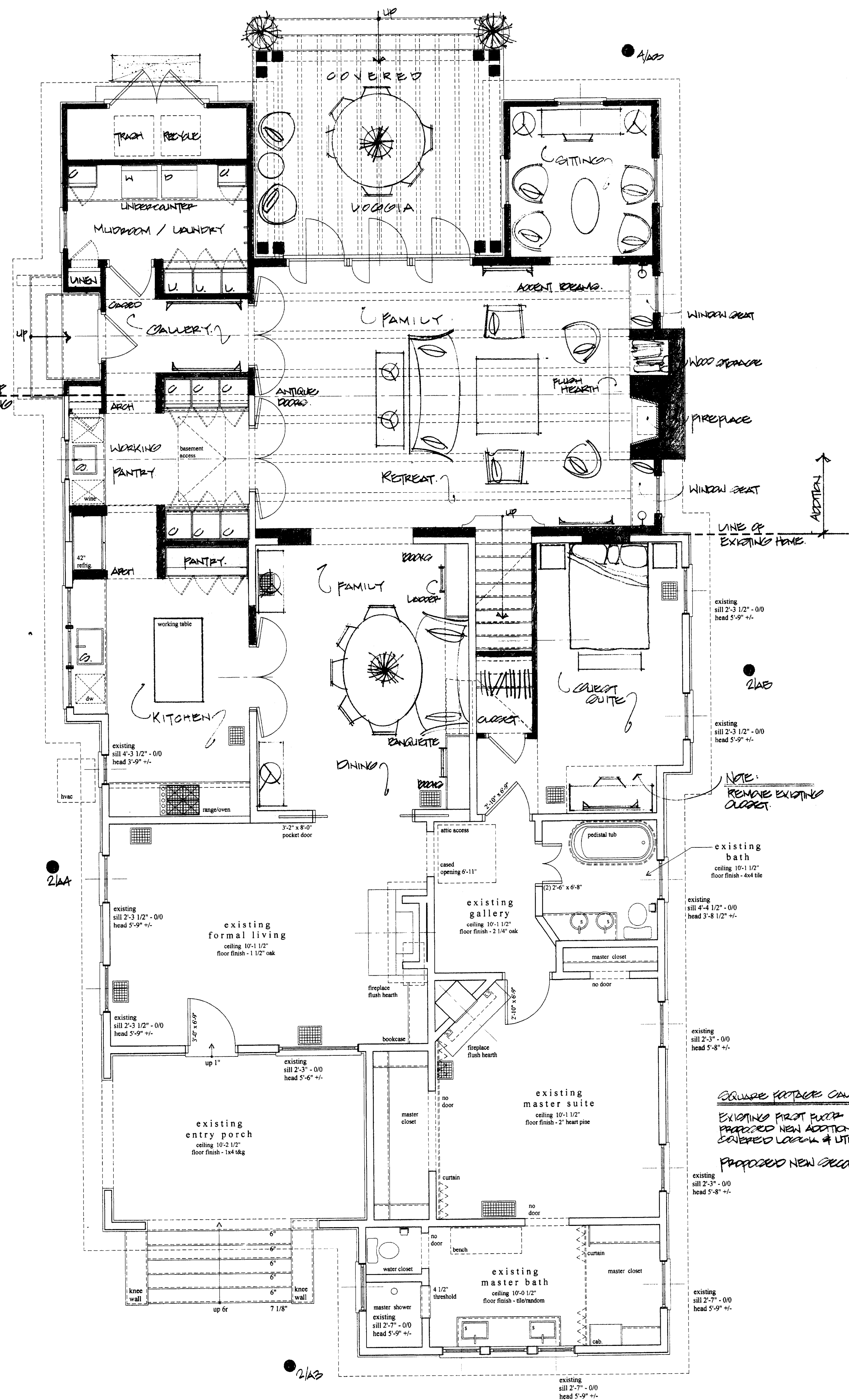
9 November 2011 - Historic Submittal

NOW OR FORMERLY
JON DAVID BUTLER
LOT 18, BLOCK 2
TAX NO. 121-088-16
D.B. 10935 PG. 116

NOW OR FORMERLY
JOHN PATRICK DORTCH
& RACHEL A. DORTCH
LOT 19, BLOCK 2
TAX NO. 121-088-17
D.B. 07941 PG. 191

NOW OR FORMERLY
JAMES A. STOUSE &
TRACY NEEL STOUSE
LOT 20, BLOCK 2
TAX NO. 121-088-18
D.B. 16116 PG. 533



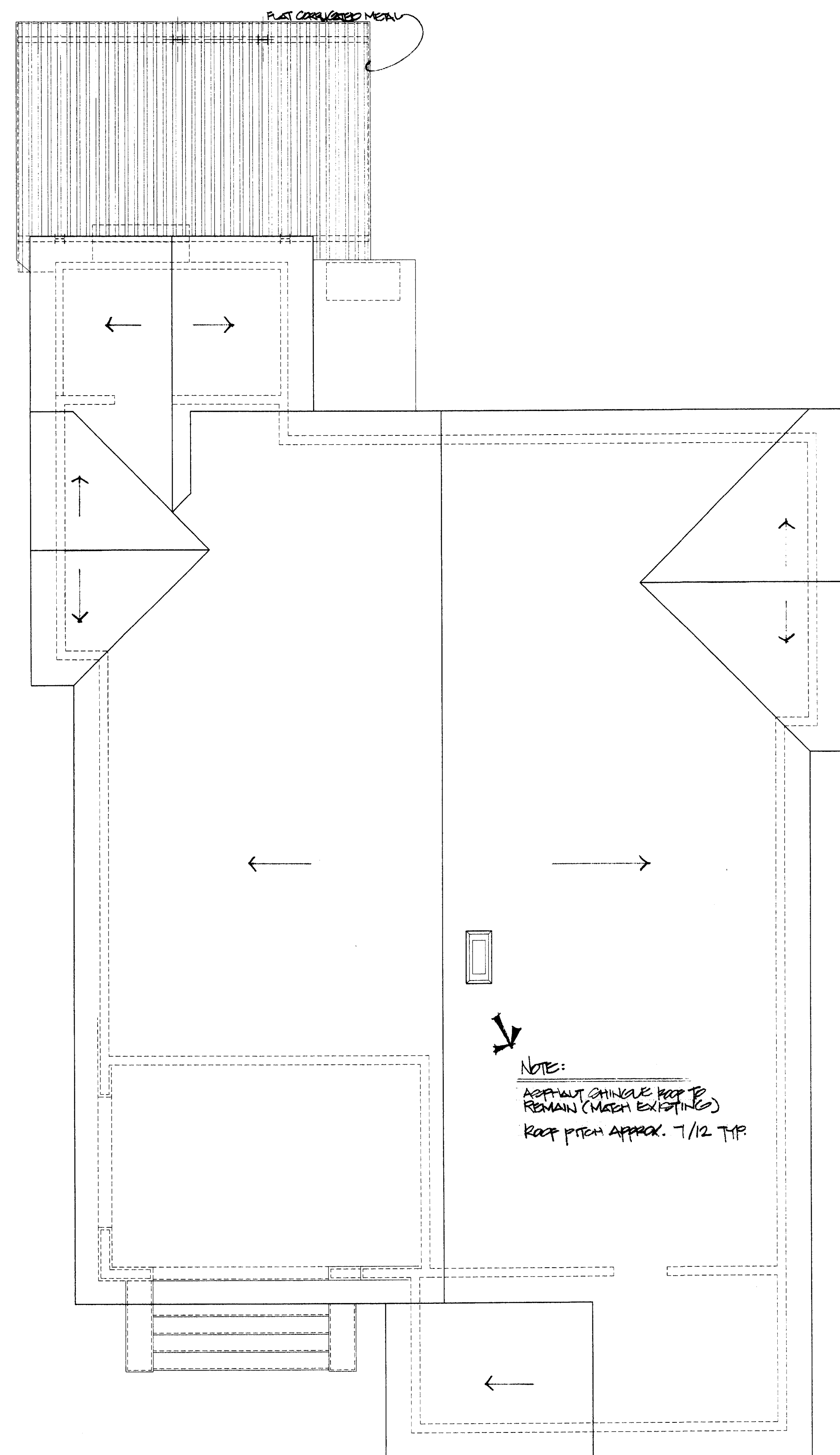


2 FIRST FLOOR PLAN - PROPOSED

A1

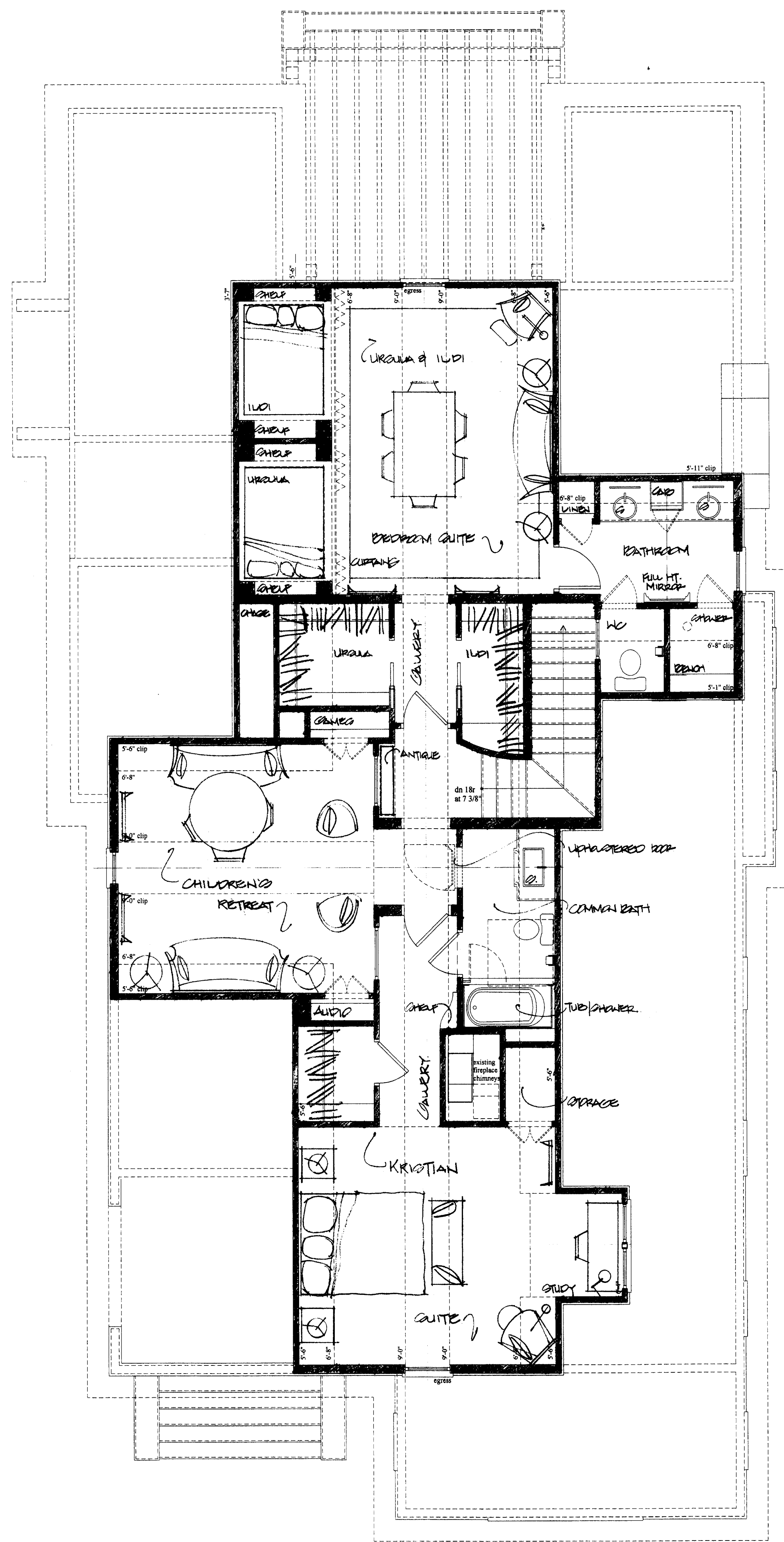
1 FIRST FLOOR PLAN - EXISTING

A1



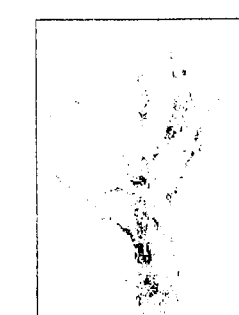
2 ROOF PLAN - EXISTING

A2 one quarter of an inch equals a foot



1 SECOND FLOOR PLAN - PROPOSED

A2 one quarter of an inch equals a foot

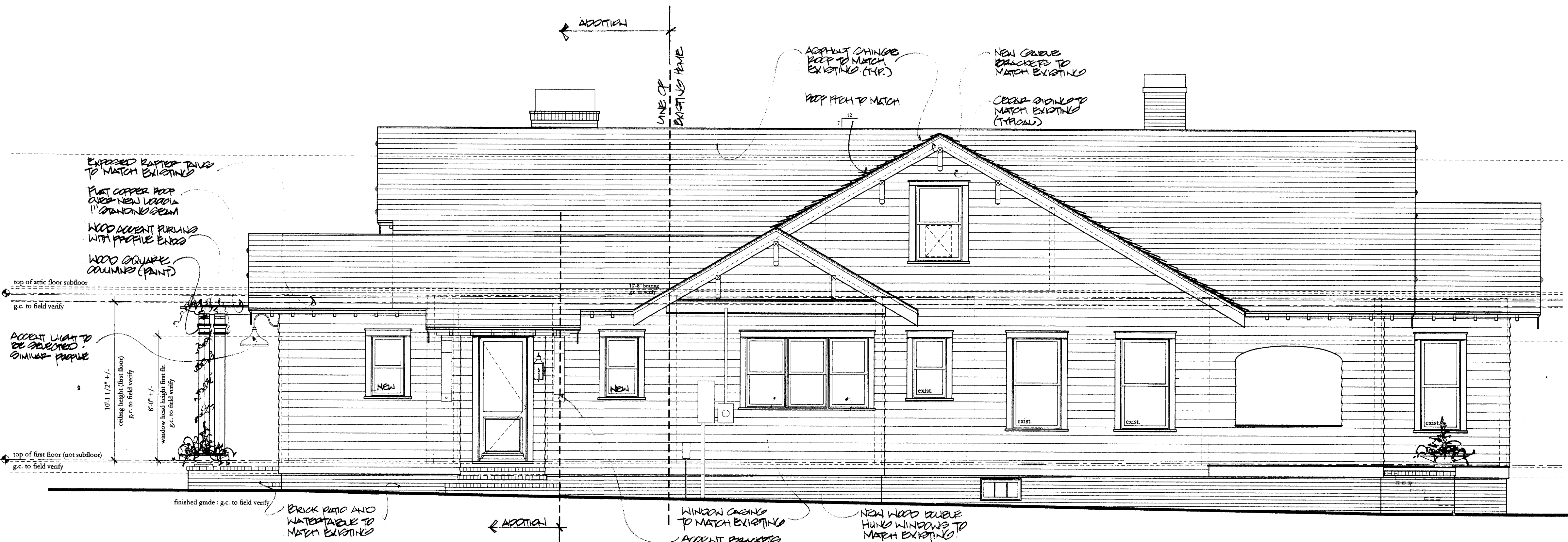


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A2

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2 NORTH ELEVATION - PROPOSED (SIDE ALLEY ELEVATION)

A4

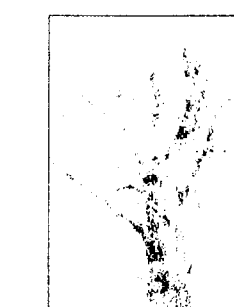
one quarter of an inch equals a foot



1 NORTH ELEVATION - EXISTING

A4

one quarter of an inch equals a foot

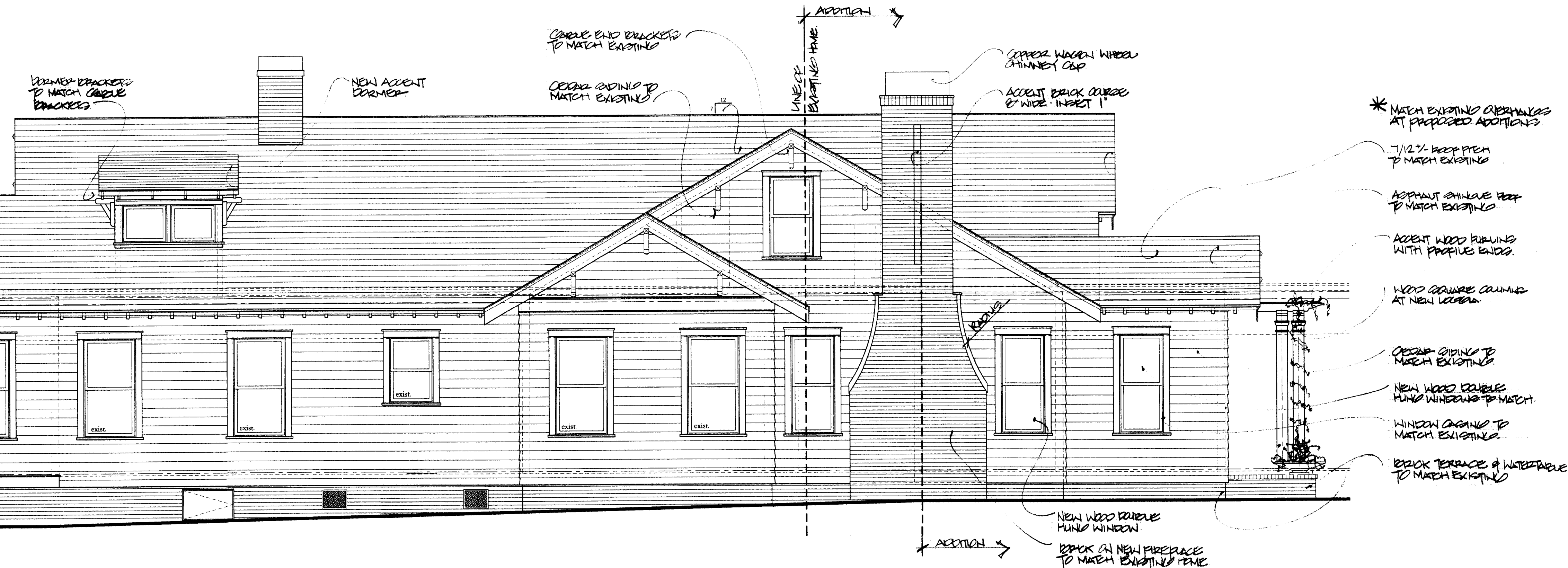


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A4

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ELEVATION - PROPOSED (side wall elevation)

one quarter of an inch equals a foot



ELEVATION - EXISTING

one quarter of an inch equals a foot

Charlotte Historic District Commission - Case 2011-129

