

Charlotte Historic District Commission

Application for a Certificate of Appropriateness

December 14, 2011

ADDRESS OF PROPERTY	816 East Worthington Avenue	HDC 2011-123
SUMMARY OF REQUEST	Addition	
OWNER	Stephen Smoak	
APPLICANT	Bill Prestwood, Architect	

Details of Proposed Request

This application is for a two story rear addition to this existing two story house. The addition is wider than the existing house, and is therefore ineligible for administrative approval.

Current Status and Context of Property

This house is a two story frame and shingle house, with a shed porch. Built in 1920, the house is listed as contributing to the Dilworth National Register Historic District.

Relevant HDC Design Guidelines

- *New Construction*
- *Building Materials*

Relevant Secretary of Interior's Standards for Historic Rehabilitation

(As cited in the Charlotte Zoning Ordinance Section 10.210)

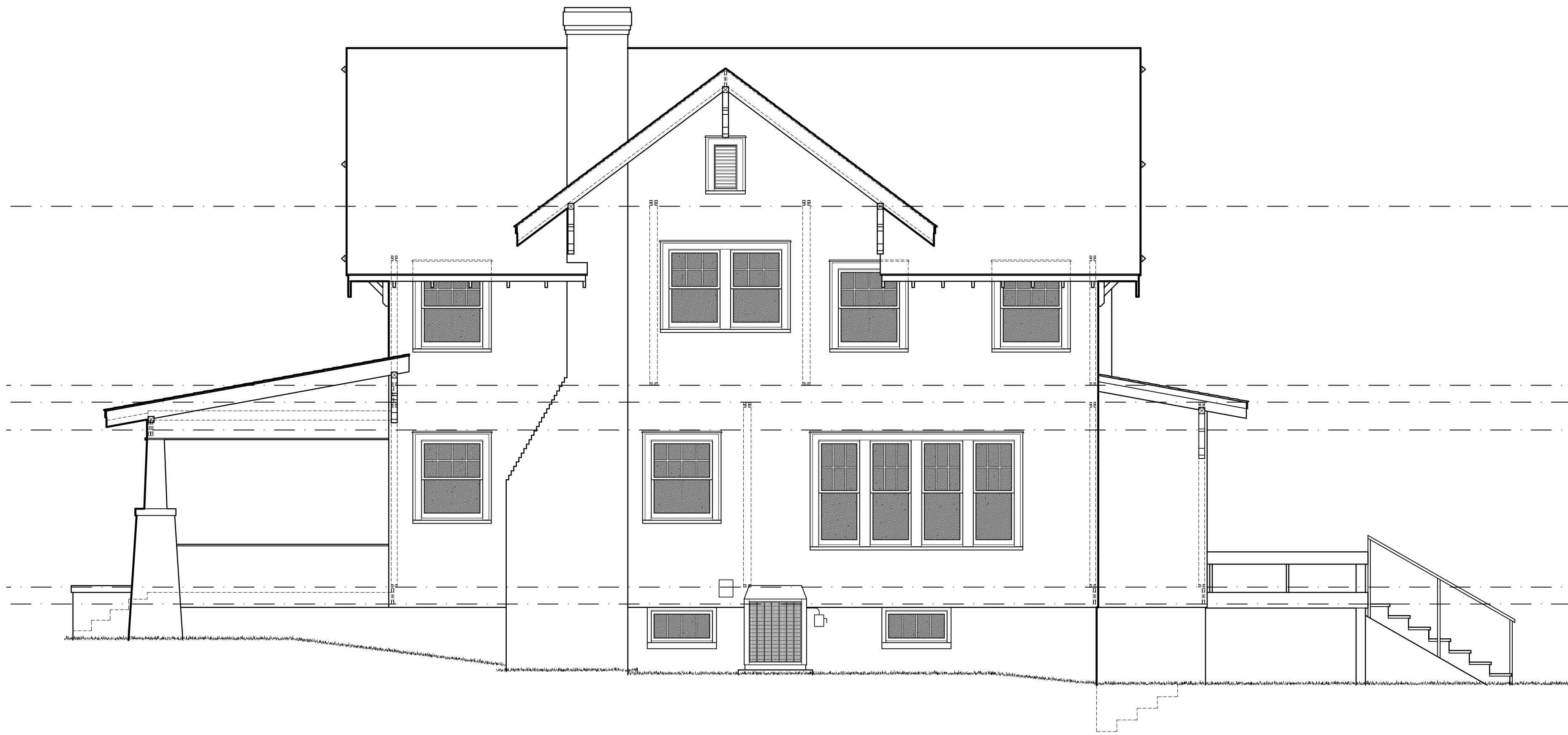
- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (j) New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis of Proposal**ADDITIONS**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:
 - a. Size the relationship of the project to its site
 - b. Scale the relationship of the building to those around it
 - c. Massing the relationship of the building's various parts to each other
 - d. Fenestration the placement, style and materials of windows and doors
 - e. Rhythm the relationship of fenestration, recesses and projections
 - f. Setback in relation to setback of immediate surroundings
 - g. Materials proper historic materials or approved substitutes
 - h. Context the overall relationship of the project to its surroundings
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

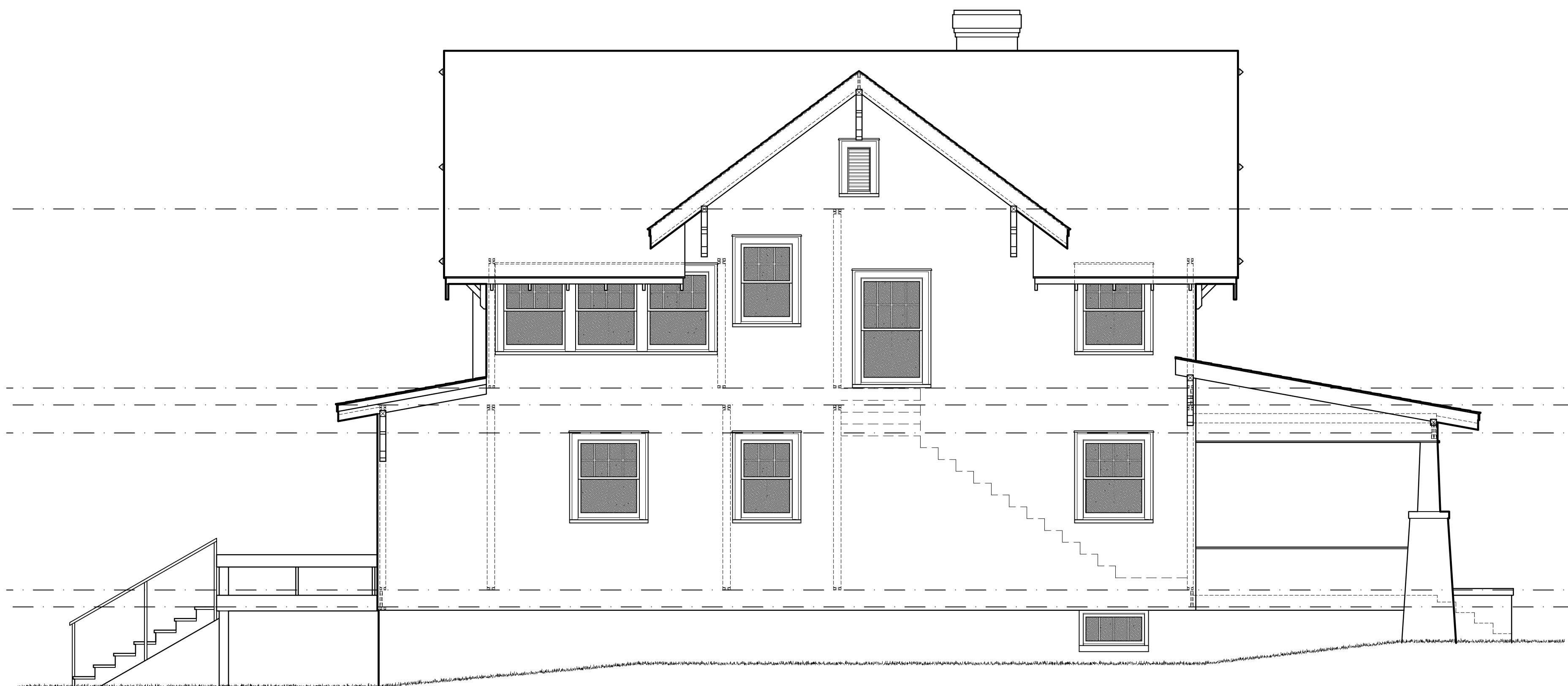




3
D2.1 RIGHT SIDE
ELEVATION
SCALE: 1/4" = 1'-0"



4
D2.1 REAR
ELEVATION
SCALE: 1/4" = 1'-0"



2
D2.1 LEFT SIDE
ELEVATION
SCALE: 1/4" = 1'-0"



1
D2.1 FRONT
ELEVATION
SCALE: 1/4" = 1'-0"

Smoak Residence
816 E. Worthington Avenue
Charlotte, North Carolina

NOT FOR
CONSTRUCTION

DonDuffy
Architecture

301 Providence Rd
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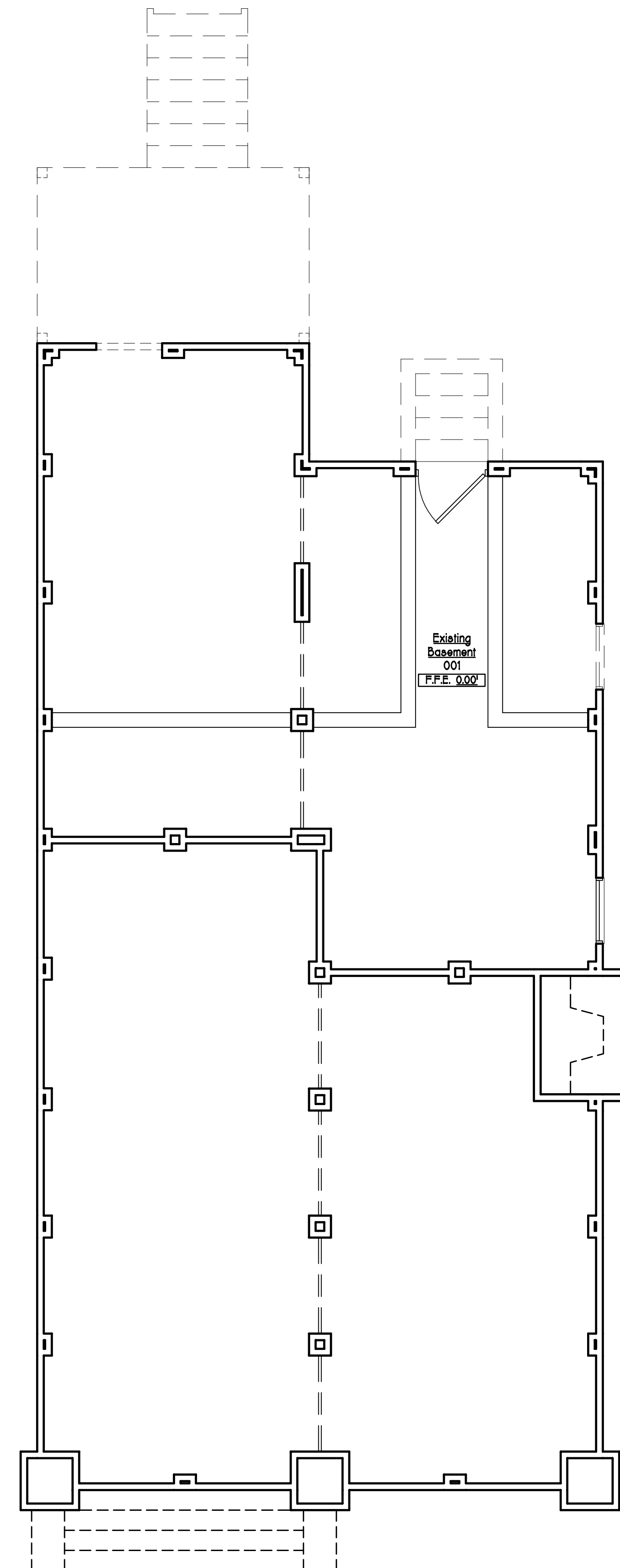
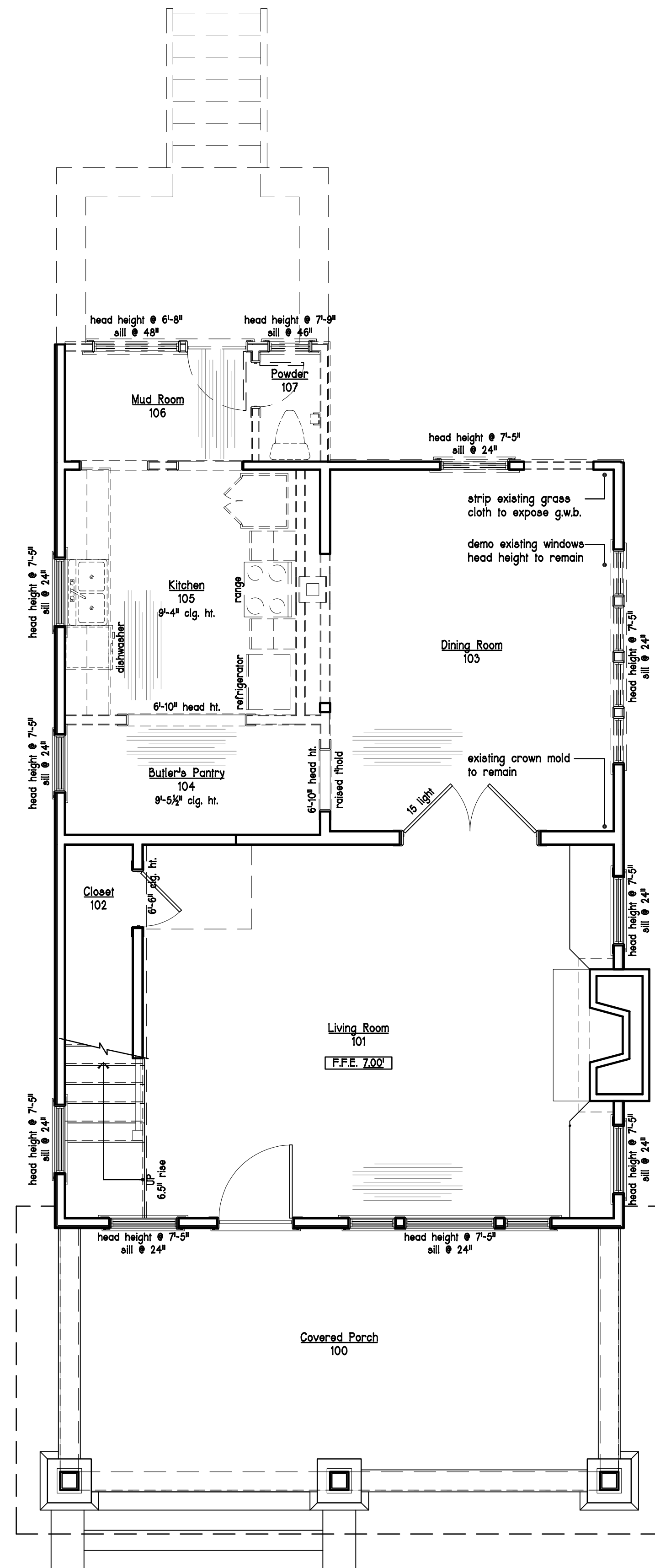
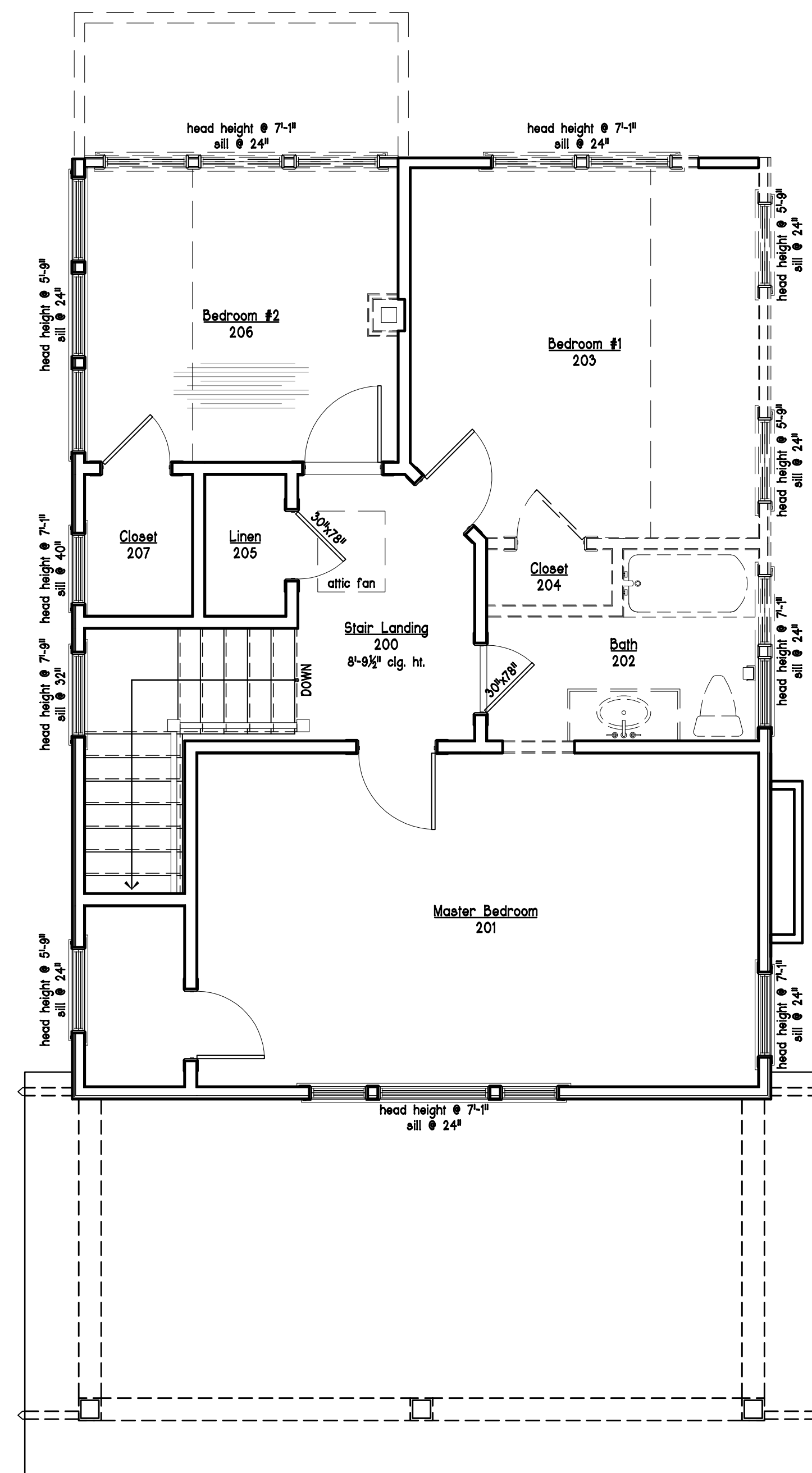
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Revisions:

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Sheet: D2.1

Stephen Smoak



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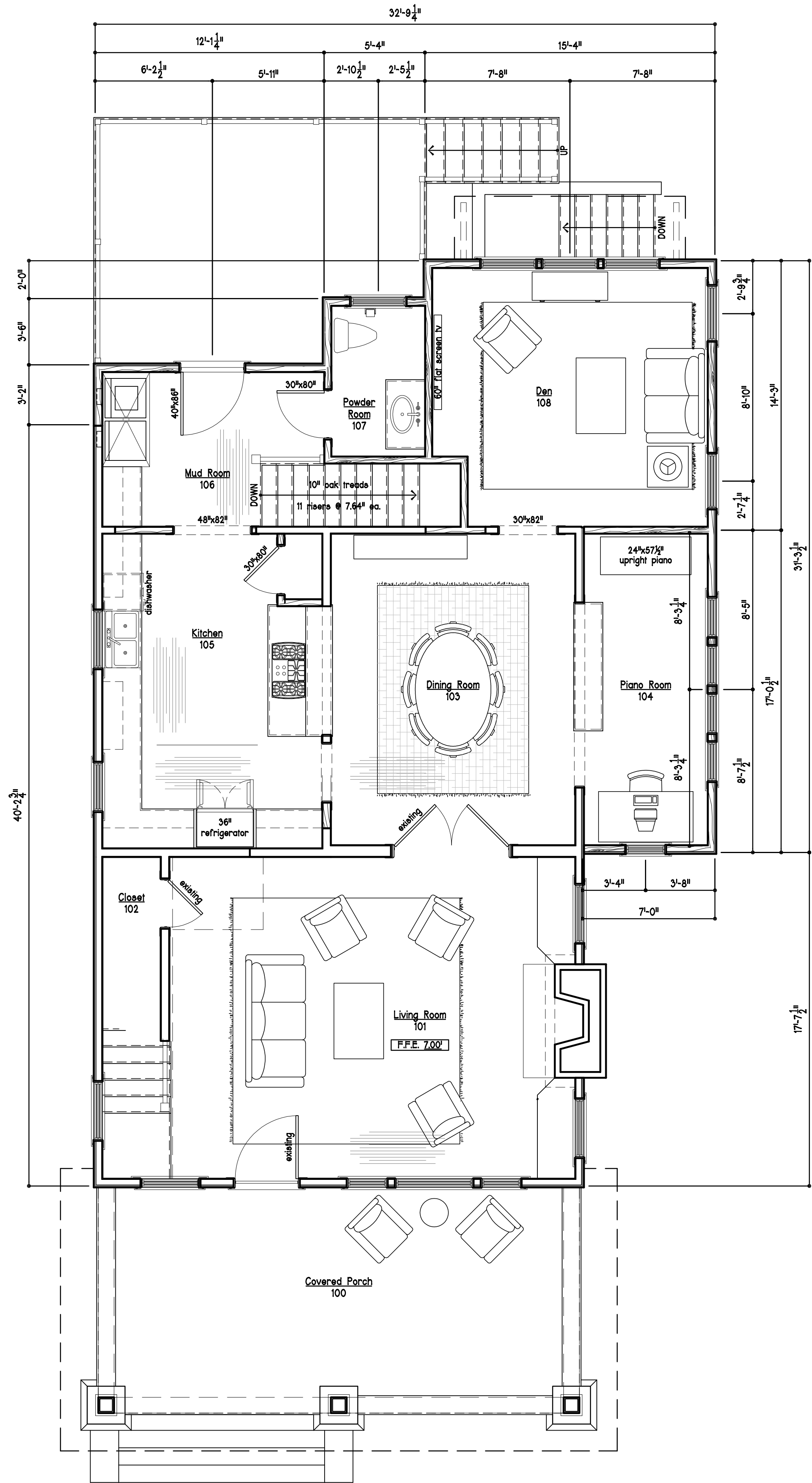
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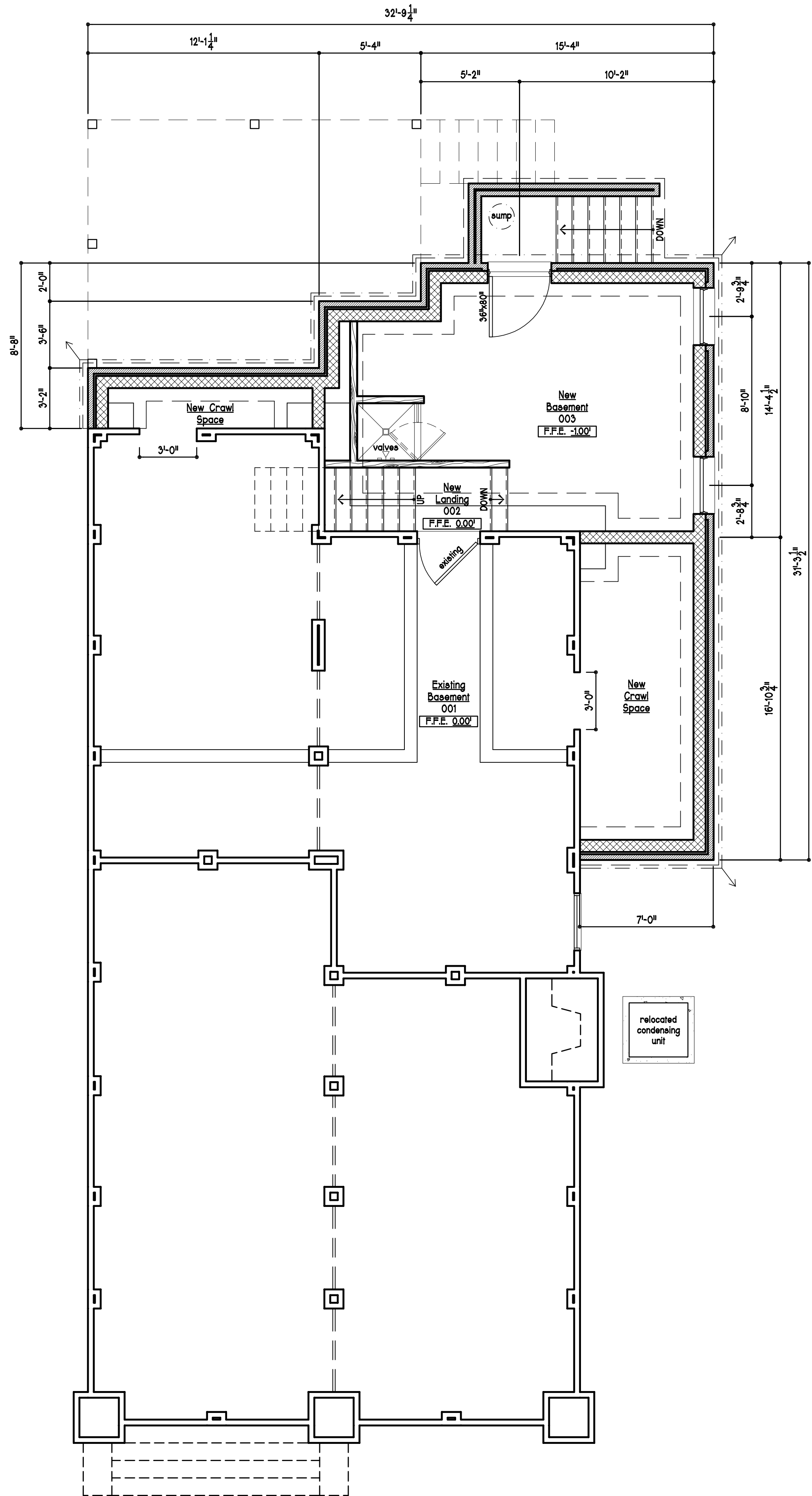
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Stephen Smoak



2
A1.1

MAIN LEVEL
FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
A1.1

BASEMENT &
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

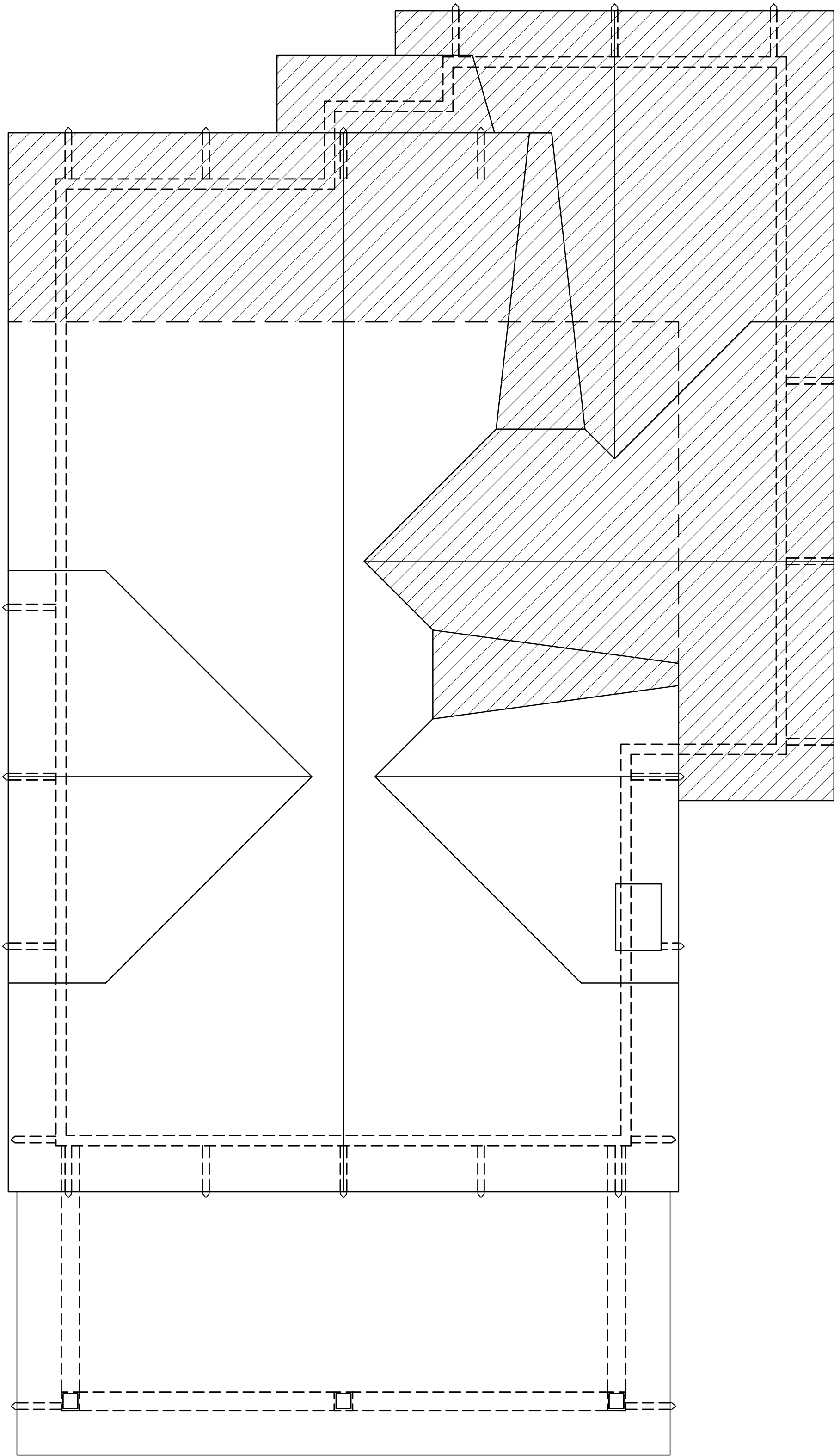
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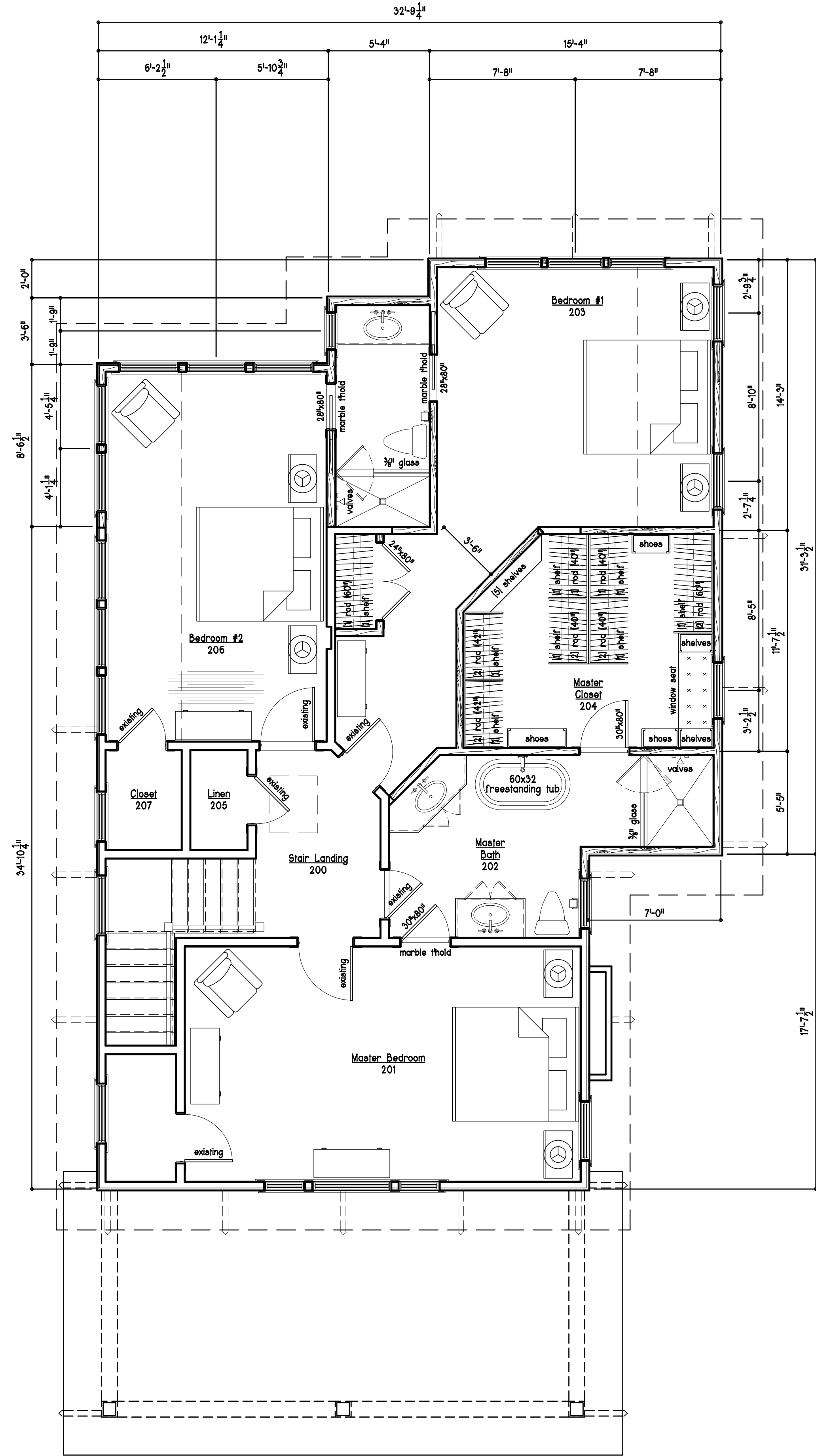
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2 ROOF PLAN
A1.2 SCALE: 1/4" = 1'-0"



1 UPPER LEVEL FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

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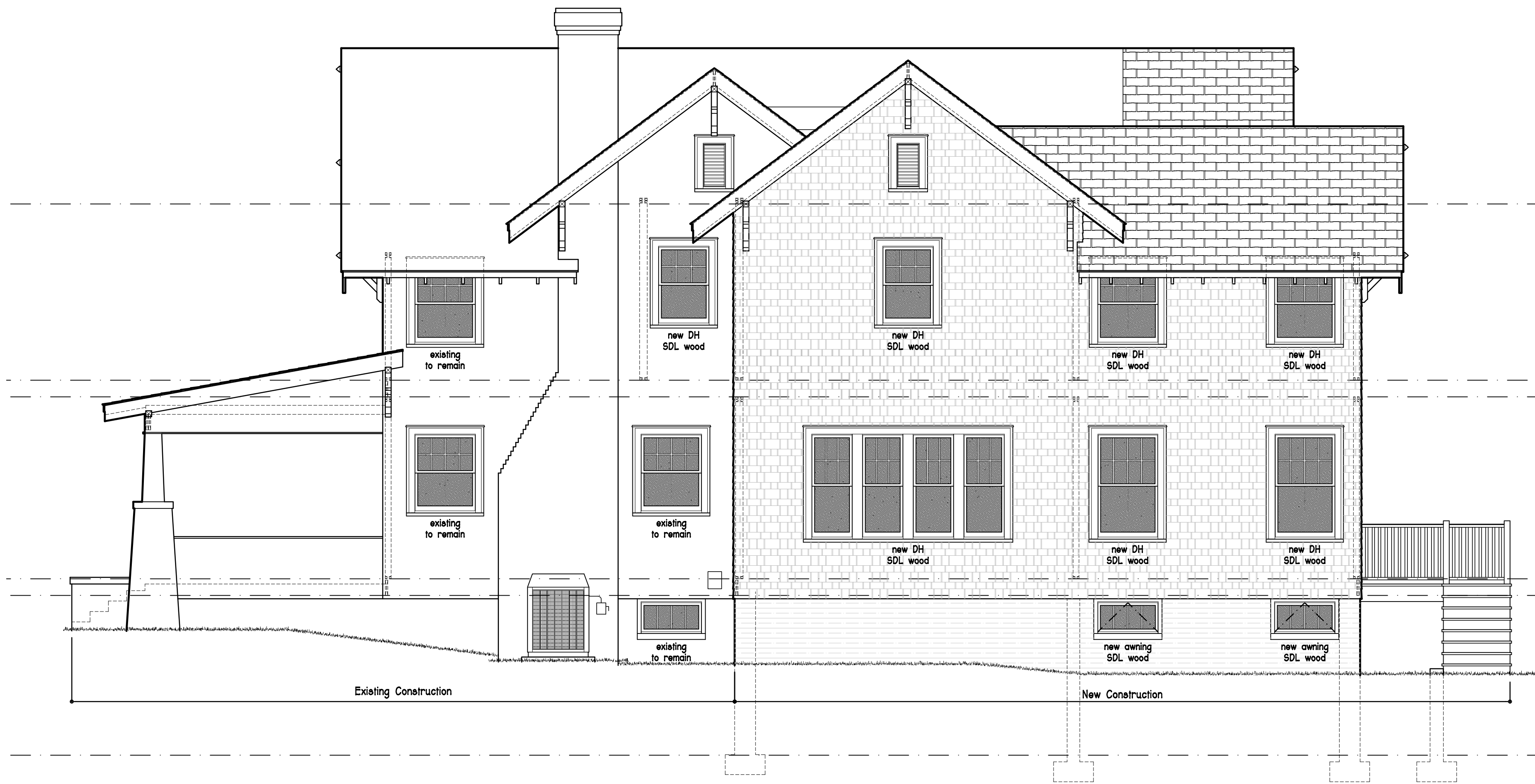
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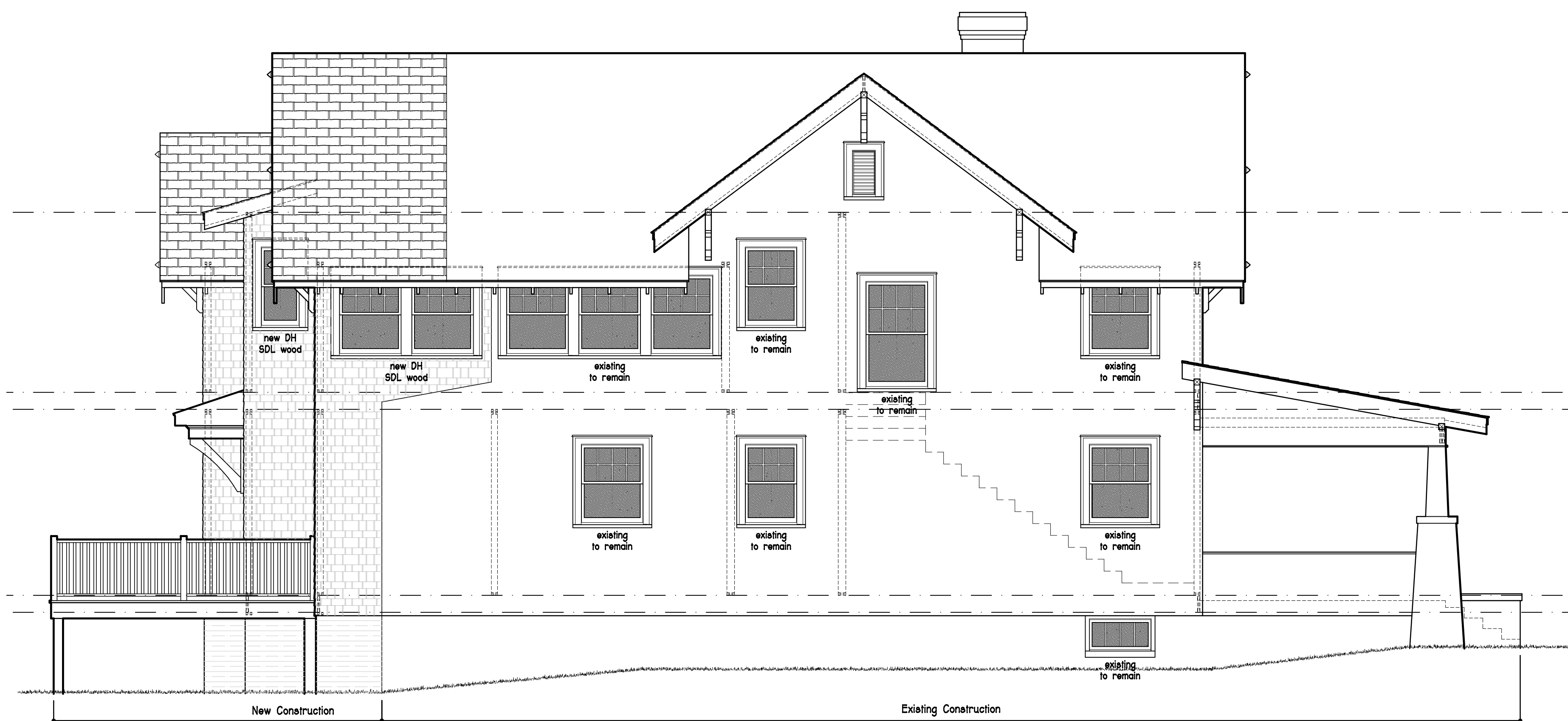
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■ Sheet: A2.1 ■
Stephen Smoak



RIGHT SIDE
ELEVATION
3
A2.1 SCALE: 1/4" = 1'-0"



REAR
ELEVATION
4
A2.1 SCALE: 1/4" = 1'-0"



LEFT SIDE
ELEVATION
2
A2.1 SCALE: 1/4" = 1'-0"



FRONT
ELEVATION
1
A2.1 SCALE: 1/4" = 1'-0"

Charlotte Historic District Commission - Case 2011-123



-  816 E Worthington Av
-  Property Lines
-  Building Footprints
-  Dilworth Local Historic District

December 9, 2011