

The logo for the Charlotte Historic District Commission is a stylized, elongated shape with a blue outline and a light green fill. It has a purple shadow on the left side. Inside the green area, the text "Charlotte Historic District Commission" is written in black.

Charlotte Historic District Commission

Application for a Certificate of Appropriateness August 10, 2011

ADDRESS OF PROPERTY	1621 Dilworth Road East, Dilworth Local Historic District	HDC 2011-080
SUMMARY OF REQUEST	Entrance Step Replacement – St. Patrick’s Cathedral	
OWNER	Catholic Diocese of Charlotte – The Most Reverend Bishop Peter J. Jurgis, JCD	
APPLICANT	John Phares	

Details of Proposed Request

This application seeks approval for the replacement of the entrance steps and landing at the main entrance to St Patricks Cathedral.

Current Status and Context of Property

This Gothic Revival Cathedral was constructed in 1938 at the intersection of Dilworth Road East and Buchanan Street. The exterior of this brick and stucco structure has remained virtually unchanged since its construction, although the interior has been renovated late in the last century.

Although the rear of the property is the site of St. Peters Catholic School, the remainder of the streetscape context is primarily larger scale single family homes. A small portion of Latta Park lies immediately to the left of the Cathedral.

Relevant HDC Design Guidelines

- *Additions*

Relevant Secretary of Interior’s Standards for Historic Rehabilitation

(As cited in the Charlotte Zoning Ordinance Section 10.210)

- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (j) New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Outstanding Issues

The current front steps of St Patricks Cathedral are a set of wide brick steps that run straight from the existing sidewalk to a small landing at the front entrance.

This application requests approval of plans to replace these steps with a new entrance element that would meet current codes, and would also be more in keeping with the scale of the existing structure. The new steps would engage the sidewalk at two points, each side then turning to the center at a small landing, and eventually joining at a new landing at the level of the main entrance.

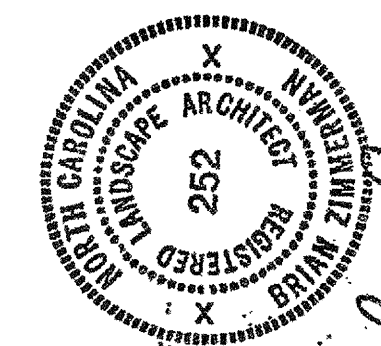
The new steps, like the existing ones, would be brick, with short flanking walls of brick with cut stone coping. They appear to be in scale with the existing cathedral, and not out of scale with the overall streetscape of this section of Dilworth Road East.

The cathedral sits at a substantial elevation above the grade of the sidewalk, and the street slopes downward from right to left. The new plan appears to successfully mitigate these grade issues, while providing an appropriate entrance element to this monumental building.

The plan also includes planters at the sidewalk level, and a landscaping plan is attached. This element would mitigate any streetscape impact this proposal would have.







July 2001
revised August 2001

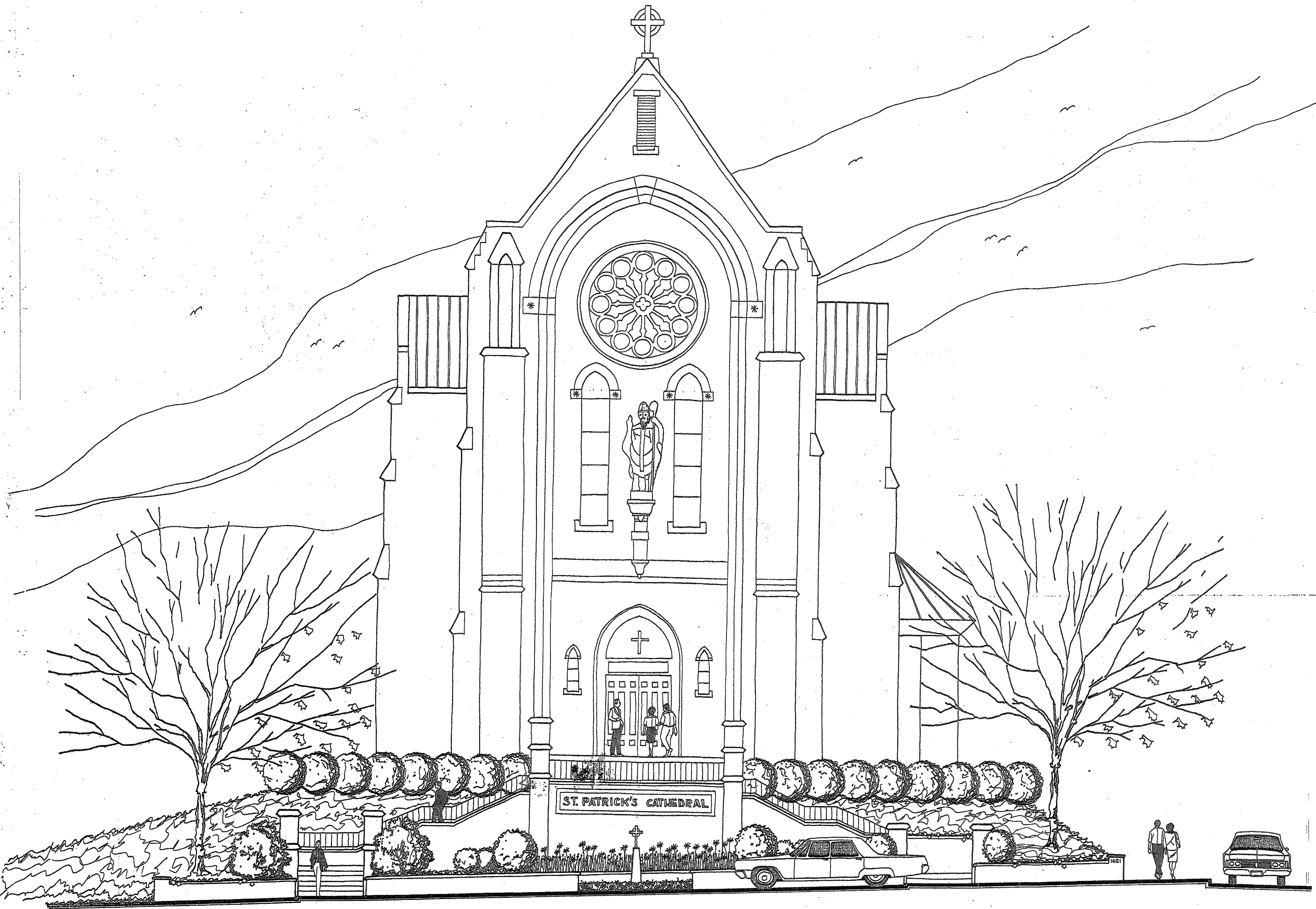
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ELEVATION

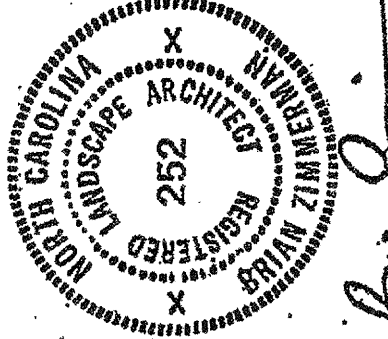
ST. PATRICK'S CATHEDRAL

1621 DILWORTH ROAD EAST • CHARLOTTE, NORTH CAROLINA 28203

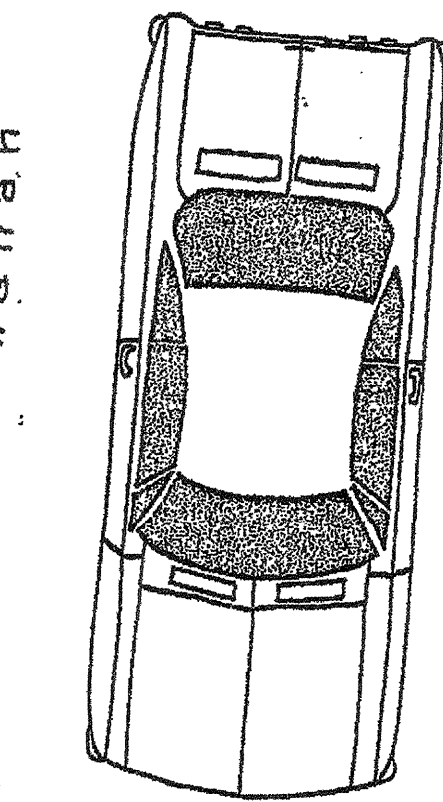
Scale: 1/4" = 1'-0"



- BED PREPARATION - SHRUBS AND GROUNDCOVER**
- till and remove all surface vegetation, roots and extraneous debris. undesirable existing plants that might actually be propagated by tillage (such as nut grass, bermuda grass, etc.), shall first be killed by mechanical means (such as two layers of clear plastic over the bed for 22 weeks) or by using an environmentally friendly herbicide (such as Sharp Shooter or Super-fast, both by Ziser, etc.)
 - make certain bed is well drained (refer to landscape architect if drainage is a problem)
 - in clay soils, add 50 pounds of 1/2 inch regular perlite per 100 square feet and 1" of finely ground pine bark to the surface area. In sandy soils, add 50 pounds of 1/2 inch regular perlite per 100 square feet and 2" of German or Canadian peat moss for the pine bark
 - add 1" of Black Kow or Dairy Organic composted cow manure to top of bed
 - add 4-6-2 organic balanced slow release granular fertilizer (or equal) at seven pounds per 100 square feet
 - till and mix amended soil thoroughly (6 to 8 inches)
 - add dolomitic limestone at 2 pounds per 100 square feet or as soil tests indicate. maintain pH at 6.5 to 6.8 unless otherwise noted. Lightly moisten lime before tilling *
 - now till again to incorporate all additives
 - after shrubs are planted, apply 3 compacted inches of specified mulch (maintain 3 inches). For groundcover beds, apply mulch first, then plant groundcover through the mulch (bare root plants or anything smaller than one gallon size)...larger plants to be mulched after planting
 - refer to soil test (if available) and adjust E and G accordingly
- SUBSEQUENT YEARS**
- add lime in November every other year at above rates, or as soil test indicates. maintain pH at 6.5 to 6.8 unless otherwise noted. lightly moisten lime before tilling *
 - apply fertilizer in spring each year at above rates
 - replenish mulch and maintain 3 compacted inches. avoid buildup over 3" on trunks
- * CAUTION: if using liquid fertilizer, apply lime 2 months after fertilizer application (chemical reaction will inhibit phosphorus)

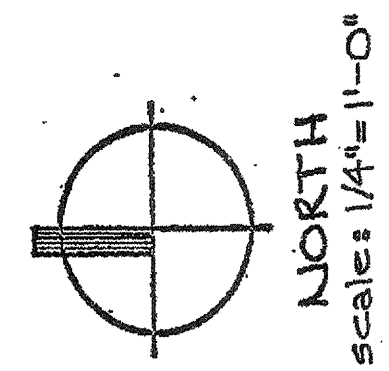


Pat. 8



SOIL TEST REQUIRED
The landscape contractor is required to complete soil tests, as necessary, to determine pH and any nutrient deficiencies. Amendments shall be accomplished in accordance with test results.

- PLANTING NOTES - TREES AND SHRUBS**
- UTILITIES**
All contractors shall have all underground utilities located prior to commencing any digging operations on this site.
- BACKFILL**
Refer to owner's soil tests (if available) to determine necessary amendments for soil improvements.
- In absence of soil test, thoroughly mix the following:**
- in clay soil add 2 parts finely ground pine bark, 2 parts existing native topsoil (unless otherwise noted), or Dairy Organic composted cow manure to 5 parts existing native topsoil
 - in sandy soil add 2 parts existing native topsoil, 2 parts German or Canadian peat moss and 1 part Black Kow or Dairy Organic composted cow manure to 5 parts existing native topsoil (unless otherwise noted).
- PLANTING**
In heavy clay soils, if drainage problem is suspected, fill hole with water. If water doesn't drain one inch per hour, take steps to correct drainage problem (see planting details for suggested methods). Set top of ball at least two inches above surrounding grade. To avoid settling, dig hole at least two inches less than depth of ball.
- After plant set in hole, remove burlap from top third of ball to prevent "wicking." If plastic or fiberglass burlap was used, remove it entirely after plant is set in hole. Cut and remove wire basket and any nylon strapping from top and sides of ball to prevent future "girdling." Wrap trunks of all smooth barked trees.
- MULCHING**
All plantings shall be mulched with 3 compacted inches of clean pine straw (unless otherwise noted). Remove all branches and pine cones. Do not use plastic under organic mulches. Always stir up old mulch before reapplying new. Avoid buildup over 3" on trunks.
- PRUNING**
The responsibility for plant material maintenance (periodic pruning) to preclude bodily injury rests entirely with the owner. All plant material utilized adjacent to vehicular surfaces should be periodically pruned to maintain unobstructed vision at all times. All plant material utilized adjacent to pedestrian surfaces should be periodically pruned (including surface roots as well as subterranean roots that might cause pavement heave) to preclude bodily injury.

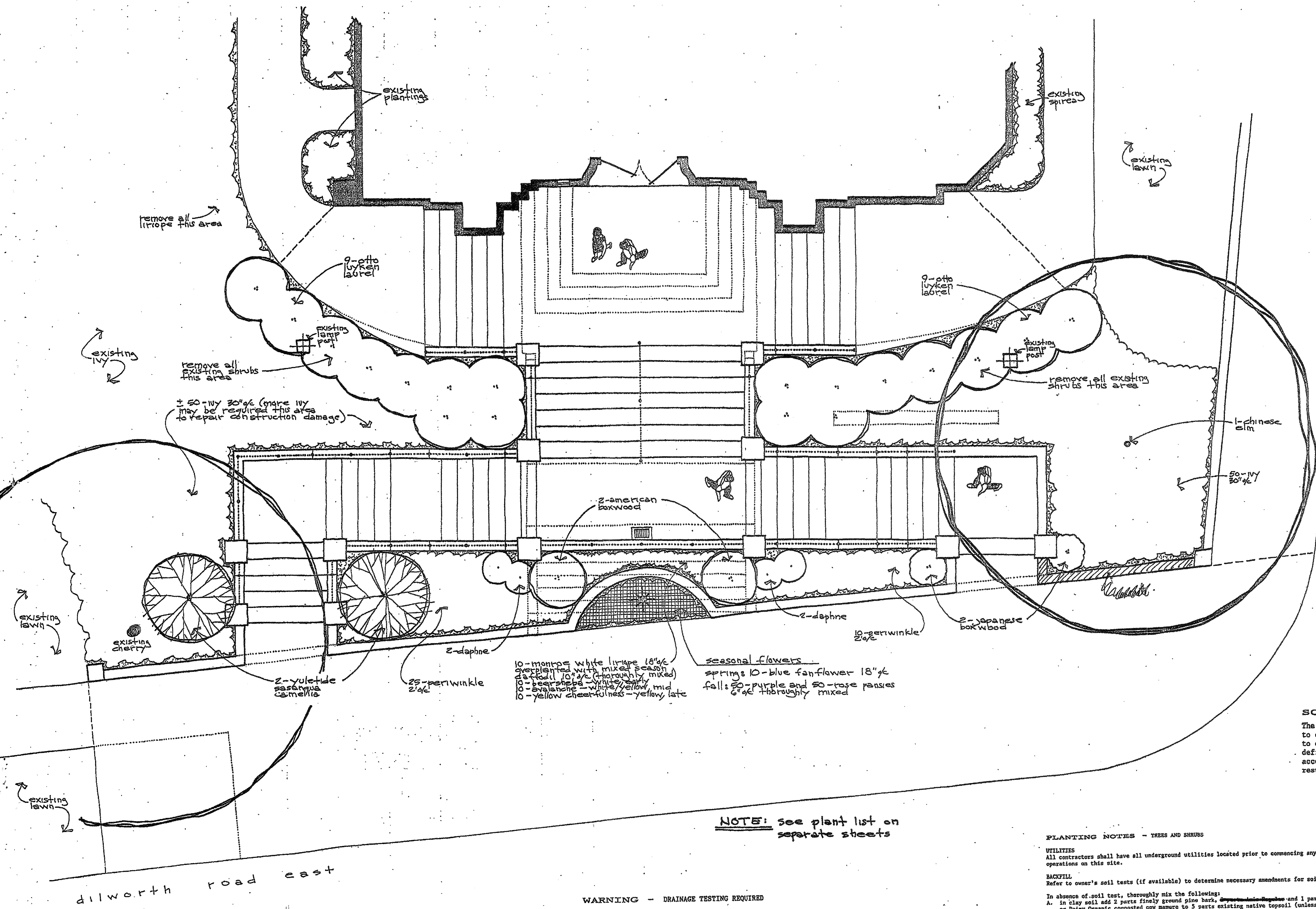


ST. PATRICK'S CATHEDRAL

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July • 2001
Revised August • 2001



NOTE: see plant list on separate sheets

WARNING - DRAINAGE TESTING REQUIRED

After first locating all utilities, the landscape contractor shall dig a series of test holes at various locations throughout the site to check drainage in all planting beds regardless of surface drainage conditions or soil type. With a post hole digger or similar auguring device, dig a series of five holes, one each at 6 inch depth, 12 inch, 18 inch, 24 inch, and 30 inch depth approximately 24 inches apart within a 4 foot diameter circle. These test sites shall occur approximately 20 feet apart or as otherwise directed by the landscape architect.

Add water to each hole, filling to the top. Observe the rate at which the holes empty themselves of water after an hour and report findings to the landscape architect. If the soil is dry, fill the holes with water and allow to drain. Then refill and measure the drop after one hour. If necessary, corrective measures will be devised at this time.

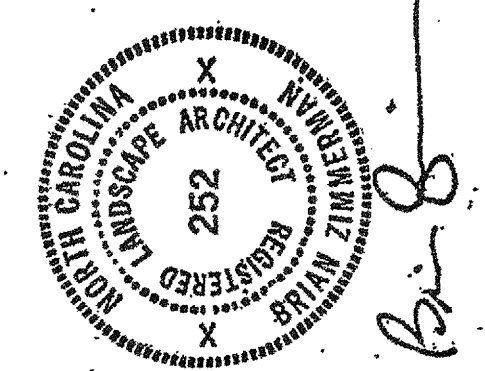
IF REQUIRED, ALL DRAINAGE PROVISIONS SHALL BE AS AN EXTRA TO THE CONTRACT.

Under no circumstances shall the contractor perform any bed preparation activities other than the removal of existing vegetation prior to the analysis of the test sites by the landscape architect (unless otherwise directed).

NOTICE

Due to the many variables that can exist within soils, and considering the fact that there can exist, on the same site, several distinctively different soil types, Zimmerman-Lindberg assumes no liability for, nor makes no guarantees for the survival of plantings proposed on this plan. Drainage provisions, soil preparation and planting techniques remain the sole responsibility of the landscape contractor.

ALL DRAINAGE PROVISIONS SHALL BE TREATED AS AN EXTRA TO THE CONTRACT, UNLESS OTHERWISE NOTED.



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