



Charlotte Historic District Commission Application for a Certificate of Appropriateness

May 11, 2011

ADDRESS OF PROPERTY	1600 Wilmore Drive, Wilmore Local Historic District	HDC 2011-035
SUMMARY OF REQUEST	New Single Family Construction	
OWNER	Broadstreet Properties	
APPLICANT	Michael Iagnemma	

Details of Proposed Request

This application seeks approval for the construction of a new single family home on a corner lot in the Wilmore Local Historic District.

Current Status and Context of Property

This lot sits at the intersection of Wilmore Drive and West Park Avenue. The former house on this site was in poor condition, and was scheduled for renovation under an HDC approval granted in August of 2010.

During the demolition for the renovation/addition, the owner/contractor found some structural damage that led him to demolish the entire structure. Once the unauthorized demolition occurred, HDC staff requested a Stop Work Order be issued. Subsequently, the demolition was applied for and approved by the HDC in December of 2010. The owner planned to proceed to build a replica house to the approved plans, but because the demolished house was non-conforming to the required zoning setbacks on this odd shaped lot, this was not permissible under the Charlotte Zoning Ordinance.

The site for this proposed new house is a corner lot on a street of one and two story homes primarily in the Bungalow style, although other styles exist in the immediate vicinity.

Relevant HDC Design Guidelines

- *New Construction*

Relevant Secretary of Interior's Standards for Historic Rehabilitation

(As cited in the Charlotte Zoning Ordinance Section 10.210)

- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (j) New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Outstanding Issues

Due to the small size, odd shape and narrow configuration of this lot, the buildable envelope is very small for any new construction once the required setbacks are met. Consequently, the proposed new house is a narrow, two story structure with a full façade porch on both the first and second floors. The house has a gabled roof, with a centered shed dormer on the side street elevation.

The house is proposed to have lapped wood siding with a six inch exposure, and wood shakes above the main roof eave in the gable ends and on the shed dormer. There is a small rear deck.

The windows on the house are shown to me 3/1, which is a typical style for the period when Wilmore was primarily developed. There appears to be no note on the plans stating the materials of the proposed windows.

The houses immediately adjacent to this site are both one story Bungalow style buildings. The house across west Park Avenue is a one and one-half story structure, as is the one directly across Wilmore Drive. All of the four blocks that touch this intersection contain other two story houses.

Current HDC policy on New Construction lists nine criteria that must be addressed for a proposed new building to be approved within a Local Historic District:

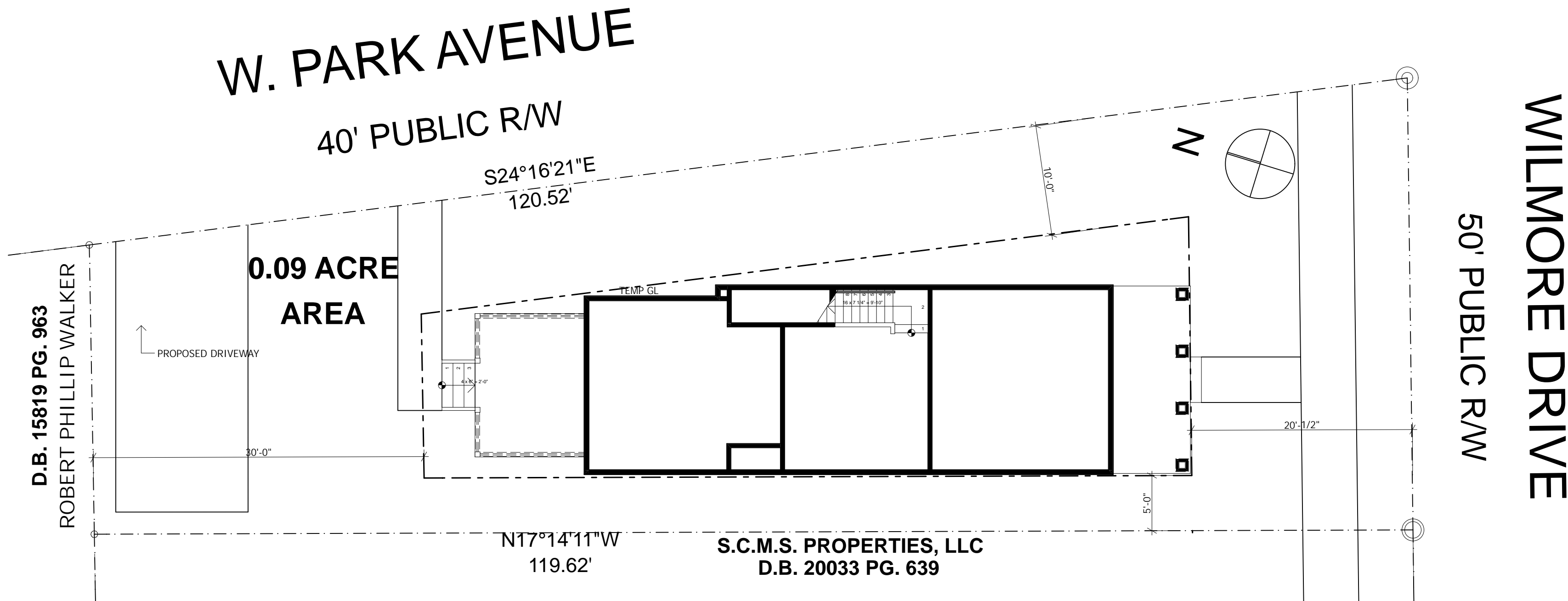
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|-----------------|----------------------------------------------------------------|
| 1. Size | the relationship of the project to its site |
| 2. Scale | the relationship of the building to those around it |
| 3. Massing | the relationship of the building's various parts to each other |
| 4. Fenestration | the placement, style and materials of windows and doors |
| 5. Rhythm | the relationship of fenestration, recesses and projections |
| 6. Setback | in relation to setback of immediate surroundings |
| 7. Materials | proper historic materials or approved substitutes |
| 8. Context | the overall relationship of the project to its surroundings |
| 9. Landscaping | as a tool to soften and blend the project with the district |

This proposal appears to address all of these criteria, within the strictures of the lot.

NOTE: This proposal received conceptual approval at the April 13, 2011 HDC meeting. The revised plans have not been received by HDC Staff as of this writing. They will be forwarded to the HDC under separate cover when they are received, and will be available at the May 11th HDC meeting.



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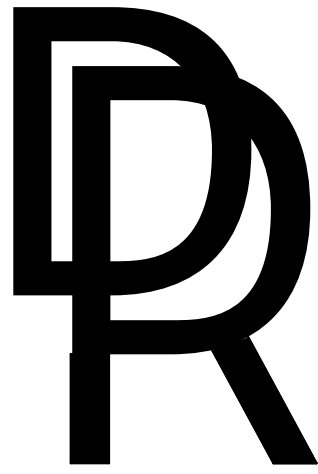
ABBREVIATIONS			
A.F.F.	ABOVE FINISHED FLOOR	REINF.	REINFORCED
A.C.T.	ACOUSTICAL CEILING TILE	R.D.	ROOF DRAIN
ALUM.	ALUMINUM	R.L.	ROOF LEADER
APPROX.	APPROXIMATELY	R.O.	ROUGH OPENING
CPT.	CARPET	R.B.	RUBBER BASE
C.I.	CAST IRON	SEAL	SEALED CONCRETE
C.B.	CEMENT BOARD	S.LT.	SLATE TILE
CT	CERAMIC TILE	S.S.M.	SOLID SURFACE MATERIAL
C.O.	CLEAN OUT	SQ.	SQUARE
CONC.	CONCRETE	S.S.	STAINLESS STEEL
C.M.U.	CONCRETE MASONRY UNIT	S.T.	STAIR TREAD
CONT.	CONTINUOUS	S.C.	STAMPED CONCRETE
C.J.	CONTROL JOINT	STRUCT.	STRUCTURAL
C.MRBL.	CULTURED MARBLE	TX	THRESHOLD TYPE
DIA.	DIAMETER	T.P.	TOILET PARTITION
D.S.	DOWN SPOUT	T.O.M.	TOP OF MASONRY
DWGS.	DRAWINGS	T.O.S.	TOP OF STEEL
E.W.C.	ELECTRIC WATER COOLER	TYP.	TYPICAL DETAIL
EXP. JT.	EXPANSION JOINT	VERT.	VERTICAL
EXT.GWB	EXT. GYPSUM WALL BOARD	V.C.T.	VINYL COMPOSITION TILE
F.R.P.	FIBERGLASS REINFORCED POLYESTER	V.W.C.	VINYL WALLCOVERING
F.E.C.	FIRE EXTINGUISHER CABINET		
F.D.	FLOOR DRAIN		
FTG.	FOOTING		
GA.	GAUGE		
G.W.B.	GYPSUM WALL BOARD		
HDWD.	HARDWOOD		
F.X.	HOLLOW METAL DOOR FRAME TYPE		
LB.	POUND		
LIN.	LINOLEUM		
L.X.	LINTEL NUMBER		
MECH.	MECHANICAL		
M.O.	MASONRY OPENING		
M.W.X.	MILLWORK ITEM NUMBER		
MROWB	MOISTURE RESISTANT G.W.B.		
O.C.	ON CENTER		
O.H.	OVER HANG		
PCT.	PORCELAIN TILE		
OPP.	OPPOSITE HAND		
P.LAM.	PLASTIC LAMINATE		
PNT.X	PAIN T COLOR		
POLY.	POLYETHYLENE		
PT.	PRESSURE TREATED		
PTD.	PAINTED		
Q.T.	QUARRY TILE		

1600 WILMORE DRIVE

1st FLOOR HEATED	804 SF
2nd FLOOR HEATED	804 SF
ATTIC	22 SF
HEATED SF	2,230 SF
COV. ENTRY	119 SF
TOTAL COVERED	2,349 SF

SHEET INDEX		
ID	Name	Published
A0.1	COVER SHEET	<input type="checkbox"/>
A0.2	GENERAL NOTES	<input type="checkbox"/>
A1.1	FOUNDATION	<input type="checkbox"/>
A1.2	FLOOR PLANS	<input type="checkbox"/>
A1.3	ROOF PLAN	<input type="checkbox"/>
A2.1	ELEVATIONS	<input type="checkbox"/>
A3.1	BUILDING SECTIONS	<input type="checkbox"/>

SYMBOL LEGEND		MATERIAL LEGEND	
	DETAIL NUMBER ON SHEET		BATT INSULATION
	DETAIL TAG		BRICK
	SHEET NUMBER		CONCRETE
	ELEVATION TAG		CMU (IN PLAN)
	SECTION TAG		EARTH
	COLUMN LINE TAG		FINISHED WOOD
	DOOR TAG		GRAVEL
	WINDOW SYMBOL TAG		GYPSUM BOARD OR SHEATHING
	DEMOLITION TAG		PLYWOOD
	WALL TYPE TAG		RIGID INSULATION
	FLOOR TO CEILING HEIGHT (SUBFLOOR TO BOTTOM OF SOFFIT FRAMING)		ROUGH WOOD (CONTINUOUS)
	REVISION TRIANGLE		ROUGH WOOD (NON-CONTINUOUS)
	BEARING OR FLOOR ELEVATION		STEEL
	CENTERLINE		



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CONSULTANTS

1600 WILMORE DRIVE

Charlotte, Mecklenburg County, NC
SOUTHEAST BUILDING SERVICES, LLC

MARK	DATE	DESCRIPTION

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SHEET TITLE

COVER SHEET

A0.1

SHEET 1

OF 7

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TYPICAL HANGERS FOR JOIST AND BEAM	
MEMBER	HANGER
2 X 8	LUS28
2 X 10	LUS210
2 X 12	LUS210
2 - 2 X 8	HUS28-2
2 - 2 X 10	HUS210-2
2 - 2 X 12	HUS212-2
3 - 2 X 8	LUS28-3
3 - 2 X 10	LUS210-3
3 - 2 X 12	HU212-3 MIN
2-1/2" X 8 1/2" LVL	HGUS410
2-1/2" X 8 1/2" LVL	HGUS410
2-1/2" X 11 1/2" LVL	HGUS412
2-1/2" X 11 1/2" LVL	HGUS412
2-1/2" X 14" LVL	HGUS414
2-1/2" X 14" LVL	HGUS414
2-1/2" X 18" LVL	HGUS414
2-1/2" X 18" LVL	HGUS414
3-1/2" X 8 1/2" LVL	HGUS55010
3-1/2" X 8 1/2" LVL	HGUS55010
3-1/2" X 11 1/2" LVL	HGUS55012
3-1/2" X 11 1/2" LVL	HGUS55012
3-1/2" X 14" LVL	HGUS55014
3-1/2" X 14" LVL	HGUS55014
3-1/2" X 18" LVL	HGUS55014
3-1/2" X 18" LVL	HGUS55014
4-1/2" X 8 1/2" LVL	HGUS72510
4-1/2" X 8 1/2" LVL	HGUS72510
4-1/2" X 11 1/2" LVL	HGUS72512
4-1/2" X 11 1/2" LVL	HGUS72512
4-1/2" X 14" LVL	HGUS72514
4-1/2" X 14" LVL	HGUS72514
4-1/2" X 18" LVL	HGUS72514
4-1/2" X 18" LVL	HGUS72514

*ALL HANGERS BY SIMPSON STRONG-TIE CO., INC. (BRAND-NAME EQUIVALENTS ACCEPTABLE)

FIRST FLOOR NOTES

- ALL SECOND FLOOR FRAMING TO BE 2X10 FLOOR JOISTS @ 16" O.C. U.N.O. (Direction indicated on drawings)
- ALL FIRST FLOOR LOAD BEARING HEADERS TO BE 2-2X10'S U.N.O.
- INSTALL A MINIMUM OF (3) 2X4 STUD UNDER ALL BEAMS, LVL OR BUILT-UP AT THE FIRST FLOOR LEVEL U.N.O.
- INSTALL DOUBLE JOIST UNDER ALL PARALLEL PARTITION WALLS U.N.O.
- ALL POINT LOADS FROM THE SECOND FLOOR MUST BE TRANSFERRED DOWN THROUGH TO THE FIRST FLOOR WITH THE SAME AMOUNT OF STUDS

WALL STUD REQUIREMENTS

EXT. WALL HT. (H)	STUD SIZE & SPACING
h ≤ 10'-0"	2X4 @ 16" O/C
10'-0" < h ≤ 11'-0"	2X4 @ 12" O/C
10'-0" < h ≤ 11'-0"	2X6 @ 16" O/C
h > 18'-0"	CONSULT ENGINEER

WALL TYPE LEGEND

1	2x4 WALL (see notes 4 & 5)
2	2x6 WALL

GENERAL PLAN NOTES

- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS IN QUESTION SHALL BE CLARIFIED BY ARCHITECT.
- ALL EXTERIOR DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE SHOWN TO THE INSIDE FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS ARE ASSUMED TO BE 3 1/2" WOOD STUDS, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS ARE ASSUMED TO BE 3 1/2" WOOD STUDS (PLUS 1/2" EXTERIOR WALL SHEATHING), UNLESS OTHERWISE NOTED.
- BASEMENT IS ON SLAB ON GRADE, UNLESS OTHERWISE NOTED. (NOT USED)
- ALL FIRST FLOOR FRAMING TO BE 2X10'S SYP @ 16" O.C., UNLESS OTHERWISE NOTED.
- ALL SECOND FLOOR FRAMING TO BE 2X10'S SYP @ 16" O.C., UNLESS OTHERWISE NOTED.
- ALL DOORS TO BE CENTERED, UNLESS OTHERWISE NOTED.
- PROVIDE WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL CABINETS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS.
- ALL CABINERY TO BE DESIGNED BY OTHERS AND SHALL MEET ALL APPLICABLE ACCESSIBILITY CODES (IF REQUIRED).
- ALL FINISH AND COLOR SELECTIONS TO BE APPROVED BY ARCHITECT.
- NUMBER OF EXTERIOR RISERS TO BE FIELD VERIFIED, AT LOCATIONS WHERE 4 OR MORE ARE REQUIRED A HANDRAIL WILL ALSO BE REQUIRED.
- PROVIDE TERMITE CHEMICAL AT FOUNDATION, AS REQUIRED.
- MIN. 22 1/2"(w)x54 1/2"(l) ATTIC ACCESS DOOR W/ PULL DOWN LADDER TO BE DETERMINED ON SITE.
- HVAC RETURN(S) TO BE DETERMINED ON SITE.
- ALL COUNTERTOPS TO BE 36" A.F.F., UNLESS OTHERWISE NOTED.
- ALL DOORS (IN 2ND FLOOR) TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- ALL DOORS (IN 1ST FLOOR) TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.

FRAMING CONSTRUCTION - OTHER THAN ROOF

- CRAWL GIRDERS AND BAND WITH 4" CURTAIN WALL AND PIER CONSTRUCTION SHALL BE 2-2X10 SYP #2 U.N.O.
- ALL OTHER LUMBER CAN BE SPRUCE #2 U.N.O.
- STEEL BEAMS MUST HAVE 5-2X4 STUD JACKS UNDER EACH END SUPPORT U.N.O.
- MICRO-LAM BEAMS MUST HAVE 3-2X4 STUD JACKS UNDER EACH END SUPPORT U.N.O.
- MASONRY LINTELS:

- FOR SPANS UP TO 6' USE 3-1/2" X 3-1/2" X 1/4" STEEL ANGLES.
 - FROM SPANS TO 6' TO 8' USE 5" X 3-1/2" X 5/16" STEEL ANGLES.
 - FOR SPANS FROM 8' TO 16' USE THREE PAIR OF 9 GAUGE WIRE IN FIRST THREE COURSES OF BRICK ON 5" X 3-1/2" X 5/16" STEEL ANGLE. LAP ALL 9 GAUGE WIRE SPUCE 12" MIN. TEMPORARY SUPPORT STEEL ANGLE BEFORE LAYING MASONRY FOR 5 DAYS FOLLOWING INSULATION OF MASONRY.
- ALL BRICK OVER LOWER ROOFS MUST HAVE ANGLE WITH STOPS LAG SCREWED TO STUDS ABOVE AND ACCORDANCE WITH DETAIL.
 - ALL WOOD I-JOISTS AND OPEN JOISTS MUST BE BRACED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS PLUS DETAILS SHOWN ON PLANS.
 - ALL RAFTER BRACES MUST HAVE 2 STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM AT ALL FLOORS. NO BRACES ON CEILING PLATE WITHOUT STUDS DIRECTLY UNDER THEM.
 - WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES, 2"x4" LADDERS @ 16" O.C. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PYWOOD DECKING.
 - ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MINIMUM SINGLE LINE OF 2" X 4" SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
 - WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATE ADJACENT TO CEILING JOISTS, BRACE RAFTERS AND TOP PLATE TO 2X6 HOGS 6' LONG (MIN) ON 6" CENTERS ALONG LENGTH OF CEILING JOISTS.
 - ALL 2-STORY OPEN GREAT ROOMS, LIVING ROOMS, WITH 2 OR MORE ADJACENT OPENINGS AND SPACING BETWEEN OPENINGS OF 3' OR LESS MUST USE 4-3/12" X 3-1/2" X 1/2" STEEL ANGLE VERTICALLY FROM FLOOR TO TOP PLATE LAGGED TO KING STUDS WITH 3/8"x3" LAGS @ 24" O.C. VERTICALLY AND LAGGED TO FLOOR AND TOP PLATE WITH 1-3/8"x3" LAG THROUGH A 1/4" PLATE AT THE TOP AND BOTTOM. MULTIPLE OPENINGS WITH 3' OR LESS SPACE BETWEEN ROUGH OPENINGS SHALL HAVE AT LEAST 1" STEEL ANGLE VERTICALLY IN EACH MULLION SPACE. THE SHEATHING ON THIS STEEL REINFORCED PARTITION SHALL BE 1/2" PLYWOOD, NO OTHER SHEATHING SHALL BE PERMITTED.
 - HEADERS SHALL BE AS SHOWN U.N.O. ON PLANS:

- INTERIOR:
 - SPANS UP TO 2'-6" - 2-2X6'S
 - SPANS 2'-6" TO 3'-6" - 2-2X8'S
 - SPANS 3'-6" TO 6'-6" - 2-2X10'S
 - SPANS 6'-6" OR MORE - SEE PLAN
- EXTERIOR:
 - SPANS UP TO 2'-0" - 2-2X6'S
 - SPANS 2'-0" TO 3'-0" - 2-2X8'S
 - SPANS 3'-0" TO 5'-0" - 2-2X10'S
 - SPANS 5'-0" OR MORE - SEE PLAN

- 9' CLG AT FIRST FLOOR, 8' CLG AT SECOND FLOOR, CLIPPED CLGS. ON ATTIC.

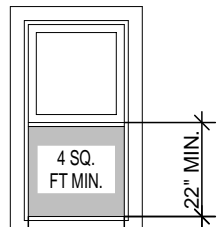
STAIRWAYS

- TREADS SHALL BE 9" WIDE PLUS A 1" NOSING.
- RISERS SHALL BE APPROXIMATELY 7-3/4" HIGH (FIELD VERIFY FINAL HEIGHT).
- STAIR SHALL BE 36" WIDE CLEAR MIN. AND SHALL HAVE A HANDRAIL AT A HEIGHT ABOVE THE NOSING OF 36".

EGRESS WINDOW REQUIREMENTS

NCRC 2009 310.1
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EXTERIOR WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

NCRC 310.1.1
THE MIN. NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 20". THE MIN. NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". THE NET CLEAR OPENING AREA SHALL NOT BE LESS THAN 4 SQ. FT.

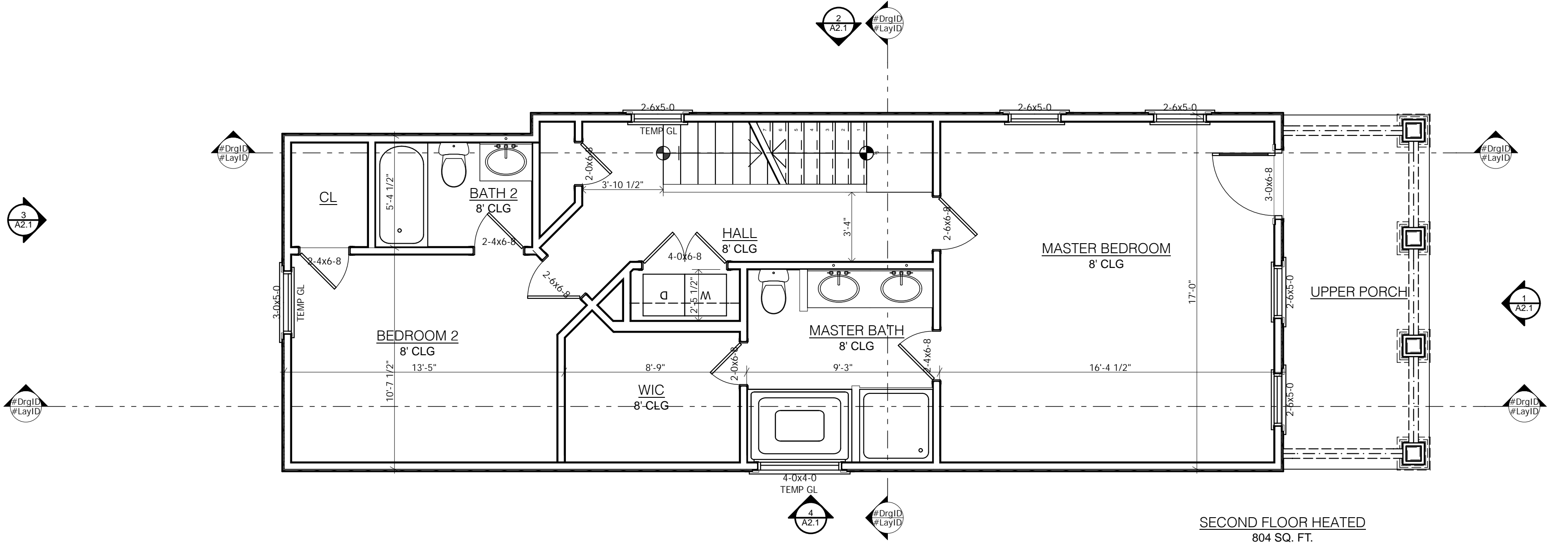


NCRC 310.1.1 (CONT.)
EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE A MIN. TOTAL GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. IN THE CASE OF A GROUND FLOOR WINDOW AND NOT LESS THAN 5.7 SQ. FT. IN THE CASE OF A SECOND STORY WINDOW.

FLOOR INSIDE ROOM

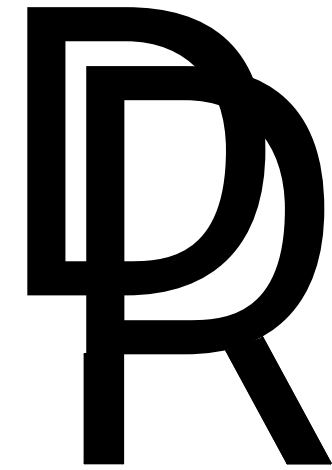
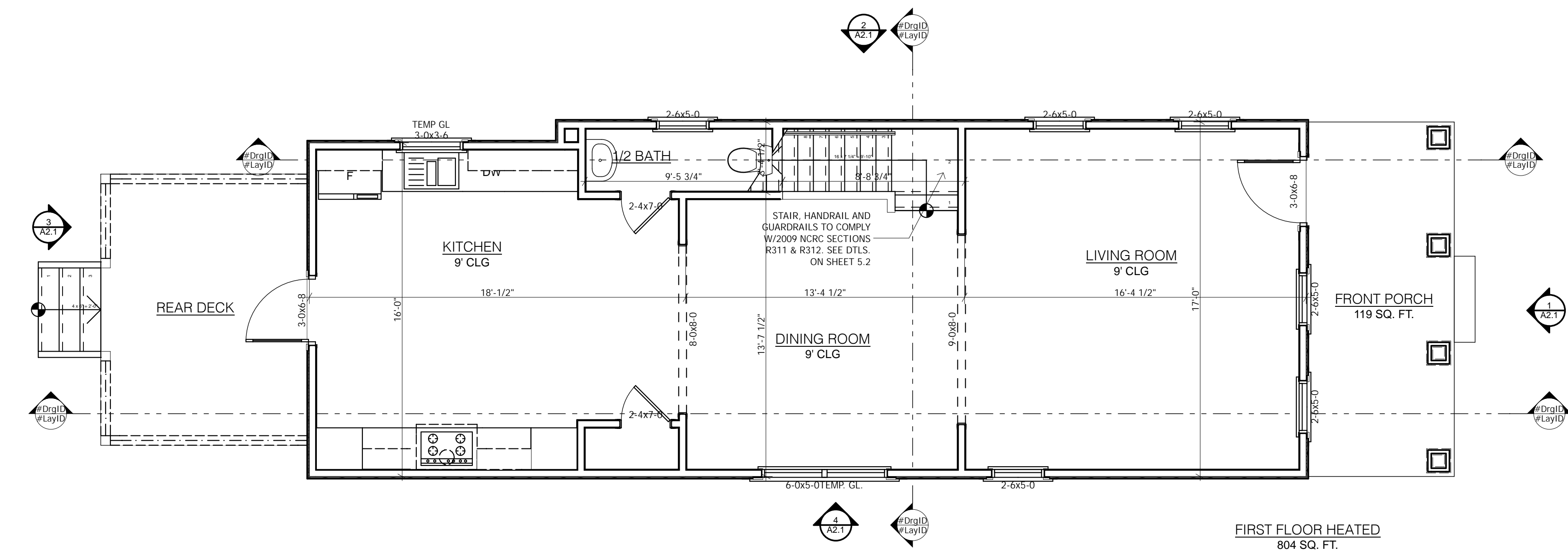
2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"



1st FLOOR

SCALE: 1/4" = 1'-0"



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Charlotte, Mecklenburg County, NC
SOUTHEAST BUILDING
SERVICES, LLC

MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION

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SHEET TITLE

FLOOR PLANS

A1.2

SHEET 4

OF 7

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ROOF FRAMING RESIDENTIAL PLAN NOTES

1. RAFTERS TO BE 11 7/8" PRE-ENGINEERED TRUSSES UNLESS NOTED OTHERWISE.

2. ROOF SHEATHING OVER RAFTERS TO BE 1/2" NOMINAL ORIENTED STRAND BOARD (OSB). ROOF SHEATHING OVER TRUSSES TO BE 5/8" NOMINAL (OSB). NAIL PER MANUFACTURER'S RECOMMENDATIONS.

3. COLLAR (WIND) TIES TO BE 2X4 @ 4'-0" O/C AT ALL RIDGES. THREE COLLAR (WIND) TIES MINIMUM AT ALL RIDGES. EVEN IF TWO TIES MUST BE PUT ON ONE SET OF RAFTERS.

4. INDICATES LOCATION OF RAFTER BRACE AT RAFTER LEVEL.

5. INDICATES DIRECTION OF BRACE TO PARTITION / BEAM BELOW.

6. INDICATES VERTICAL OR ALMOST VERTICAL BRACE TO PARTITION / BEAM BELOW.

7. ALL BRACES TO BE 2-2X4 T-BRACES NAILED W/ 16d NAILS AT 9 INCHES O/C FULL LENGTH. BRACES LONGER THAN 10'-0" MUST BE BRACED HORIZONTALLY IN TWO OPPOSING DIRECTIONS U.N.O.

8. ALL HOGS ON CEILING JOISTS TO BE 2-2X6. NAIL VERTICAL HOG ON CEILING JOIST TO 2-2X4 BRACE WITH 2-16d NAILS.

9. MAXIMUM SPANNING OF RAFTER BRACES FOR 2X6 HOG IS 4'-0" O/C. RAFTERS CAN BE SPLICED OVER HOGS WITH 2-2X4 BRACES.

10. DETAILS:

16d NAILS @ 16" O.C.

2X6

BRACE

2X6

2X6 HOG - ROOF

BRACE

2X6

16d NAILS @ 16" O.C.

2X6

2X6 HOG - CEILING

16d NAILS @ 9" O.C.

2-2X4'S BRACE

2-2X4'S BRACE

16d NAILS @ 9" O.C.

T-BRACE

T-BRACE

11. BRACE TOP OF ALL ROOF RAFTER KNEE WALLS TO CEILING JOISTS WITH DIAG. 2X4 AT 4'-0" O/C WITH 7 16d NAILS EACH END OF DIAGONAL BRACE.

12. ROOF TRUSSES TO BE BUILT AND DESIGNED PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT TRUSS LAYOUT TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.

13. MASONRY VENEER SUPPORT ANGLE:

FLASHING AND COUNTER FLASHING REQUIRED

2X4 STUD @ 16" O.C. (MIN.)

2" X 2" X 1/2" STOP @ 24" O.C.

6" X 4" X 5/16" ANGLE LONG LEG VERTICAL

TRIPLE RAFTER NAILED TO STUDS W/3-16d PER STUD

2X4 STUD @ 16" O.C.

6" X 4" X 5/16" ANGLE W/3-2"X2"X1/4" STOPS WELDED @ BOTTOM OF CLIMB @ 24" O.C.

2-2X8 BLOCKING W/JACKS

ANGLE IS LAGGED TO BLOCKING W/ 3/8" X 3" LAG SCREWS. DRILL 1/4" PILOT HOLE & SOAP LAG SCREWS.

SECTION (2X SCALE)

ELEVATION

NOTE: LAG BOLTS MUST FIT TIGHTLY AGAINST BLOCKING. DO NOT ALLOW SHEATHING BOARD TO SANDWICH BETWEEN BLOCKING AND ANGLE

ROOF NOTES

1. RAFTERS ARE 2X8 @ 16" O.C. (U.N.O.)

2. HIPS AND RIDGES ARE 2X10 (U.N.O.)

3. VALLEYS ARE 2X10 (U.N.O.)

4. SHADED AREAS ARE OVERBUILT

5. INSTALL A MINIMUM OF (2) STUDS UNDER ALL ROOF BRACES THAT BEAR ON WALLS

NOTE:

BUILDER TO CONFIRM THE SQ. IN./FT. VENTED AREA w/ THEIR MANUF. OF VENTING PRODUCTS USED FOR THIS CONSTRUCTION SO THEY WILL COMPLY w/ THE CALCULATED SQ. IN./FT. OF VENTED AREA REQUIRED.

PROVIDE 16" OVERHANG THROUGHOUT U.N.O.

ROOF VENTILATION CALCULATIONS

2" CONT. ALUM. SOFFIT VENT = 8 SQ. IN./FT. OF VENT AREA

RIDGE VENT - 12.5 SQ. IN./FT. OF VENT AREA

MAIN BUILDING (AS PERSECTION R806.2 OF 2009 NCRC):

ATTIC VENTILATED AREA: 2,078 S.F. x 144 SQ. IN. x 1/300 = 997 SQ. IN. VENT REQUIRED

133' L.F. RIDGE VENT x 12.5 SQ. IN./FT. = 1,664 SQ. IN. RIDGE VENT AREA x 75% = 1,248 SQ. IN.

ROOF VENTING REQUIRED = 997 SQ. IN. VENT AREA

Roof plan showing layout, slopes, and details. The plan includes a dormer at 4:12 slope. Roof slopes are indicated as 12:12 U.N.O. and 4:12. Details include 16d nails @ 16" O.C. for rafters, 2x6 hogs, and 2x4 braces. The plan also shows a section line A2.1 and a detail callout for a rafter brace.

2 ROOF
SCALE: 1/4" = 1'-0"

Attic floor plan showing layout, dimensions, and heating. The plan includes a play room, bedroom 3, and a wic. Dimensions are provided for various areas, including the play room (8' CLG) and bedroom 3 (8' CLG). The plan also shows a section line A2.1 and a detail callout for a rafter brace. The attic floor is heated, with a total area of 622 SQ. FT.

1 ATTIC
SCALE: 1/4" = 1'-0"

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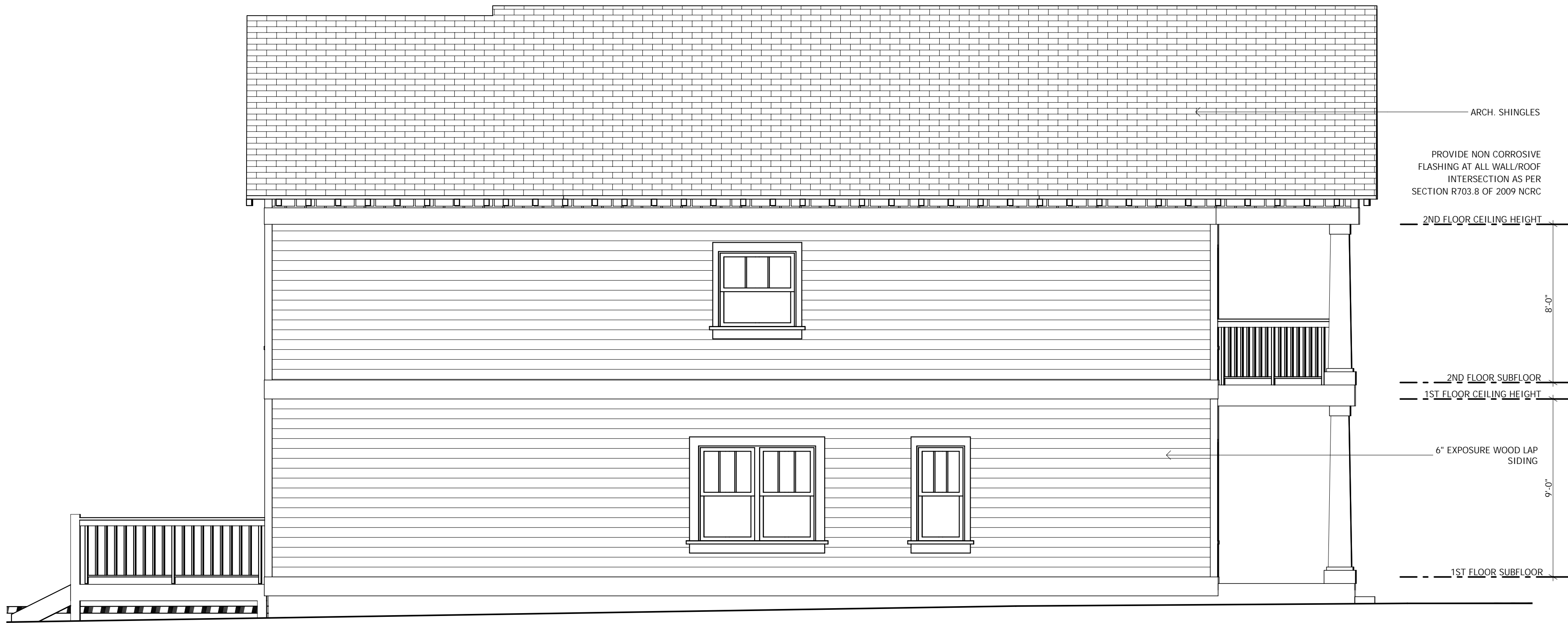
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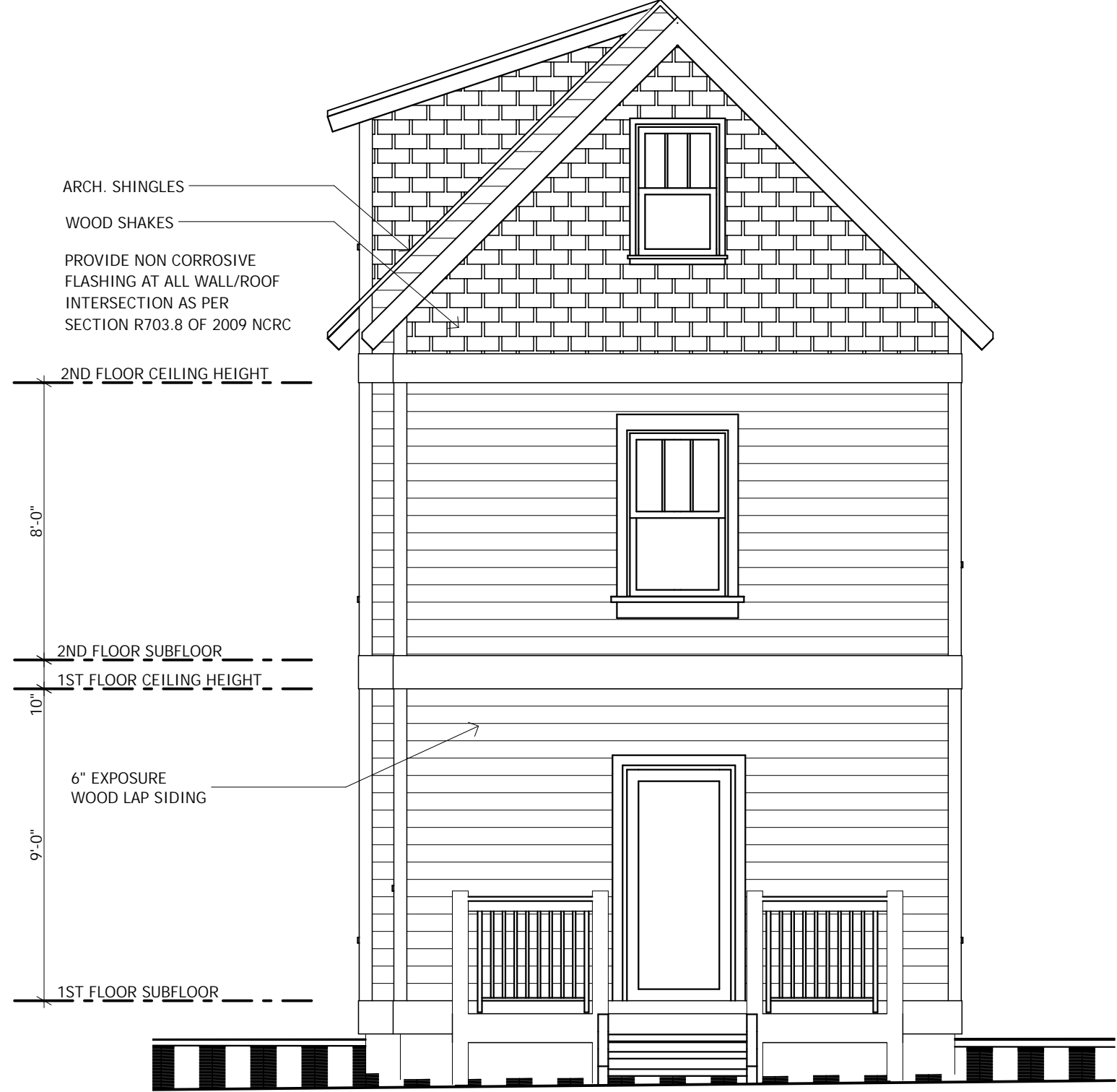
SHEET TITLE
ROOF PLAN

A1.3
SHEET 5 OF 7

Macintosh HD:Users:freelancer:Documents:Diana:Personal:1600 WILMORE SEALED:Revised:1600 wilmore revised-5.pla



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



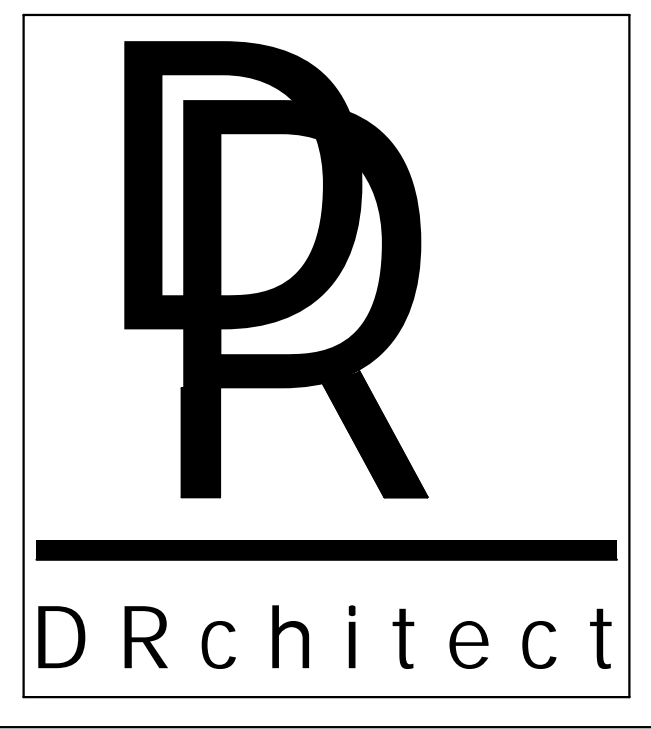
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SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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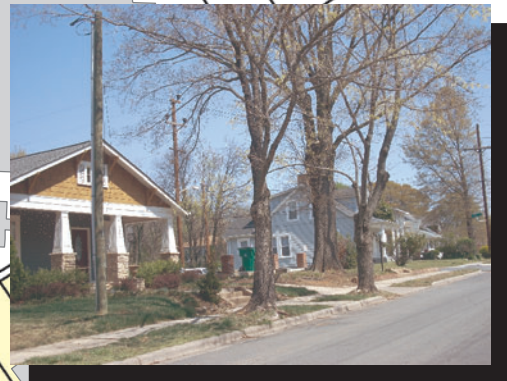
Charlotte, Mecklenburg County, NC
SOUTHEAST BUILDING
SERVICES, LLC

MARK	DATE	DESCRIPTION

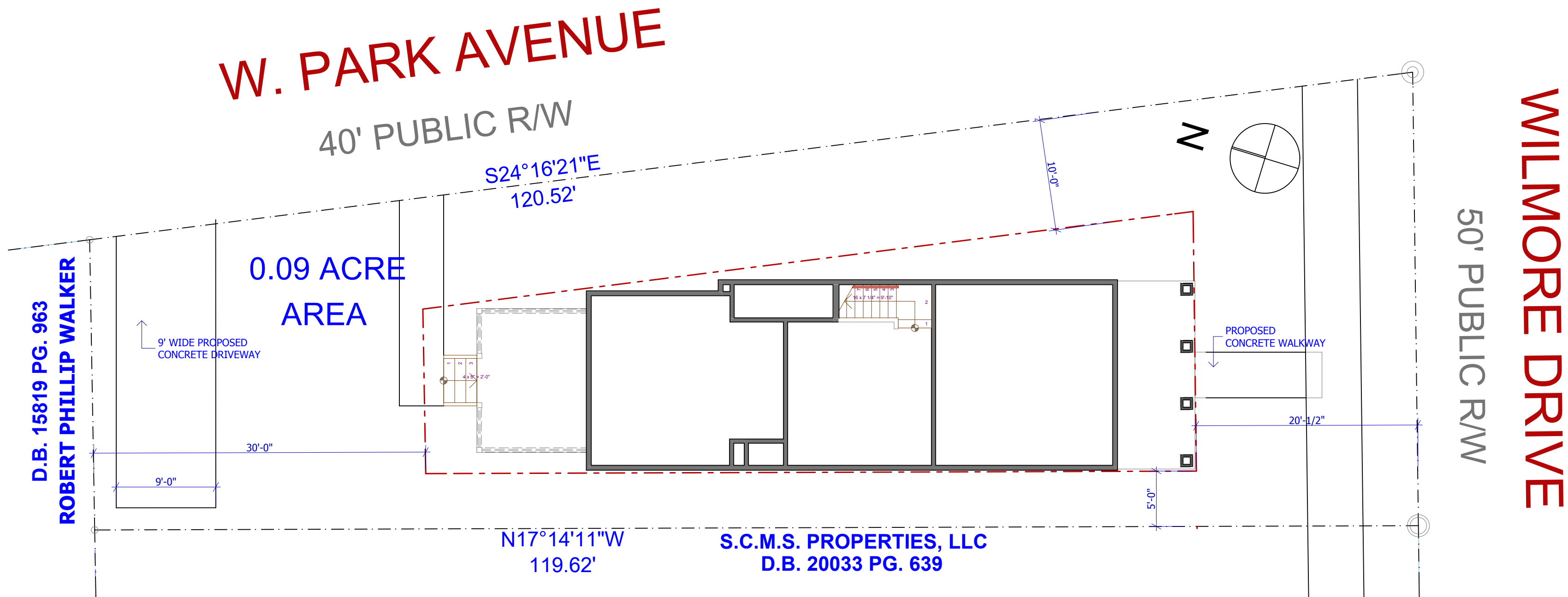
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SHEET TITLE
ELEVATIONS

Charlotte Historic District Commission - Case 2011-035



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ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	REINF.	REINFORCED
A.C.T.	ACOUSTICAL CEILING TILE	R.D.	ROOF DRAIN
ALUM.	ALUMINUM	R.L.	ROUGH LEADER
APPROX.	APPROXIMATELY	R.O.	ROUGH OPENING
CPT.	CARPET	R.B.	RUBBER BASE
C.I.	CAST IRON	SEAL	SEALED CONCRETE
C.B.	CEMENT BOARD	S.T.	SLATE TILE
CT	CERAMIC TILE	S.S.	SOLID SURFACE MATERIAL
C.O.	CLEAN OUT	SQ.	SQUARE
CONC.	CONCRETE	S.S.	STAINLESS STEEL
C.M.U.	CONCRETE MASONRY UNIT	S.T.	STAIR TREAD
CONT.	CONTINUOUS	S.C.	STAMPED CONCRETE
C.J.	CONTROL JOINT	STRUCT.	STRUCTURAL
C.MRBL.	CULTURED MARBLE	T.X.	THRESHOLD TYPE
DIA.	DIAMETER	T.P.	TOILET PARTITION
D.S.	DOWN SPOUT	T.O.M.	TOP OF MASONRY
DWGS.	DRAWINGS	T.O.S.	TOP OF STEEL
E.W.C.	ELECTRIC WATER COOLER	TYP.	TYPICAL DETAIL
EXP. JT.	EXPANSION JOINT	VERT.	VERTICAL
EXT. GWB.	EXT. GYPSUM WALL BOARD	V.C.T.	VINYL COMPOSITION TILE
F.R.P.	FIBERGLASS REINFORCED POLYESTER	V.W.C.	VINYL WALLCOVERING
F.E.C.	FIRE EXTINGUISHER CABINET		
F.D.	FLOOR DRAIN		
FTG.	FOOTING		
GA.	GAUGE		
G.W.B.	GYPSUM WALL BOARD		
HDWD.	HARDWOOD		
F.X.	HOLLOW METAL DOOR FRAME TYPE		
LB.	POUND		
LNK.	LINK		
L-X	LINE NUMBER		
MECH.	MECHANICAL		
M.O.	MASONRY OPENING		
MW-X	MILLWORK ITEM NUMBER		
MROWS	MOISTURE RESISTANT G.W.B.		
O.C.	ON CENTER		
O.H.	OVER HAND		
PCT	PORCELAIN TILE		
OPP.	OPPOSITE HAND		
P. LAM.	PLASTIC LAMINATE		
PNT-X	PAIN T COLOR		
POLY	POLYETHYLENE		
P.T.	PRESSURE TREATED		
PTD.	PAINTED		
Q.T.	QUARRY TILE		

1600 WILMORE DRIVE

1st FLOOR HEATED	804 SF
2nd FLOOR HEATED	804 SF
ATTIC	22 SF
HEATED SF	2,230 SF
COV. ENTRY	119 SF
TOTAL COVERED	2,349 SF

SHEET INDEX

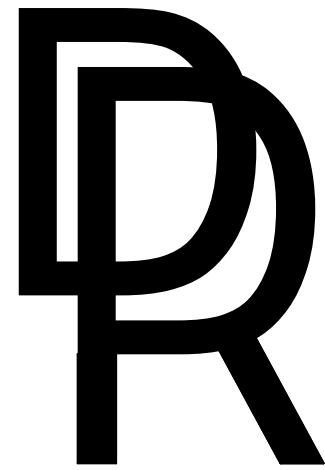
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A1.1	FOUNDATION	<input type="checkbox"/>
A1.2	FLOOR PLANS	<input type="checkbox"/>
A1.3	ROOF PLAN	<input type="checkbox"/>
A2.1	ELEVATIONS	<input type="checkbox"/>
A2.2	PHOTOGRAPHS	<input type="checkbox"/>
A3.1	BUILDING SECTIONS	<input type="checkbox"/>

SYMBOL LEGEND

	DETAIL NUMBER ON SHEET
	DETAIL TAG
	SHEET NUMBER
	ELEVATION TAG
	SECTION TAG
	COLUMN LINE TAG
	DOOR TAG
	WINDOW SYMBOL TAG
	DEMOLITION TAG
	WALL TYPE TAG
	FLOOR TO CEILING HEIGHT (SUBFLOOR TO BOTTOM OF SOFFIT FRAMING)
	REVISION TRIANGLE
	BEARING OR FLOOR ELEVATION
	CENTERLINE

MATERIAL LEGEND

	BATT INSULATION
	BRICK
	CONCRETE
	CMU (IN PLAN)
	EARTH
	FINISHED WOOD
	GRAVEL
	GYPSUM BOARD OR SHEATHING
	PLYWOOD
	RIGID INSULATION
	ROUGH WOOD (CONTINUOUS)
	ROUGH WOOD (NON-CONTINUOUS)
	STEEL



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SOUTHEAST BUILDING SERVICES, LLC

MARK	DATE	DESCRIPTION
	3.11.11	HDC SUBMISSION
	5.9.11	HDC RE-SUBMISSION

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COVER SHEET

A0.1

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ROOF FRAMING RESIDENTIAL PLAN NOTES

1. RAFTERS TO BE 11 7/8" PRE-ENGINEERED TRUSSES UNLESS NOTED OTHERWISE.

2. ROOF SHEATHING OVER RAFTERS TO BE 1/2" NOMINAL ORIENTED STRAND BOARD (OSB), ROOF SHEATHING OVER TRUSSES TO BE 5/8" NOMINAL (OSB), NAIL PER MANUFACTURER'S RECOMMENDATIONS.

3. COLLAR (WIND) TIES TO BE 2X4 @ 4'-0" O.C. AT ALL RIDGES. THREE COLLAR (WIND) TIES MINIMUM AT ALL RIDGES, EVEN IF TWO TIES MUST BE PUT ON ONE SET OF RAFTERS.

4. INDICATES LOCATION OF RAFTER BRACE AT RAFTER LEVEL.

5. INDICATES DIRECTION OF BRACE TO PARTITION / BEAM BELOW.

6. INDICATES VERTICAL OR ALMOST VERTICAL BRACE TO PARTITION / BEAM BELOW.

7. ALL BRACES TO BE 2-2X4 T-BRACES NAILED W/ 16d NAILS AT 9 INCHES O.C. FULL LENGTH. BRACES LONGER THAN 10'-0" MUST BE BRACED HORIZONTALLY IN TWO OPPOSING DIRECTIONS U.N.O.

8. ALL HOGS ON CEILING JOISTS TO BE 2-2X6. NAIL VERTICAL HOG ON CEILING JOIST TO 2-2X4 BRACE WITH 2-16d NAILS.

9. MAXIMUM SPANNING OF RAFTER BRACES FOR 2X6 HOG IS 4'-0" O.C. RAFTERS CAN BE SPLICED OVER HOGS WITH 2-2X4 BRACES.

10. DETAILS:

2X6 HOG - ROOF

2X6 HOG - CEILING

2-2X4'S BRACE

T-BRACE

11. BRACE TOP OF ALL ROOF RAFTER KNEE WALLS TO CEILING JOISTS WITH DIAG. 2X4 AT 4'-0" O.C. WITH 7 16d NAILS EACH END OF DIAGONAL BRACE.

12. ROOF TRUSSES TO BE BUILT AND DESIGNED PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT TRUSS LAYOUT TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.

13. MASONRY VENEER SUPPORT ANGLE:

NOTE: LAG BOLTS MUST FIT TIGHTLY AGAINST BLOCKING. DO NOT ALLOW SHEATHING BOARD TO SANDWICH BETWEEN BLOCKING AND ANGLE.

ROOF NOTES

1. RAFTERS ARE 2X8 @ 16" O.C. (U.N.O.)

2. HIPS AND RIDGES ARE 2X10 (U.N.O.)

3. VALLEYS ARE 2X10 (U.N.O.)

4. SHADED AREAS ARE OVERBUILT

5. INSTALL A MINIMUM OF (2) STUDS UNDER ALL ROOF BRACES THAT BEAR ON WALLS

NOTE:

BUILDER TO CONFIRM THE SQ. IN./FT. VENTED AREA w/ THEIR MANUF. OF VENTING PRODUCTS USED FOR THIS CONSTRUCTION SO THEY WILL COMPLY w/ THE CALCULATED SQ. IN./FT. OF VENTED AREA REQUIRED.

PROVIDE 18" OVERHANG THROUGHOUT U.N.O.

ROOF VENTILATION CALCULATIONS

2" CONT. ALUM. SOFFIT VENT = 8 SQ. IN./FT. OF VENT AREA

RIDGE VENT - 12.5 SQ. IN./FT. OF VENT AREA

MAIN BUILDING (AS PER SECTION R806.2 OF 2009 NCRC):

ATTIC VENTILATED AREA: 2,078 S.F. x 144 SQ. IN. x 1/100 = 997 SQ. IN. VENT REQUIRED

133' L.F. RIDGE VENT x 12.5 SQ. IN./FT. = 1,664 SQ. IN. RIDGE VENT AREA x 75% = 1,248 SQ. IN.

ROOF VENTING REQUIRED = 997 SQ. IN. VENT AREA

2 ROOF
SCALE: 1/4" = 1'-0"

1 ATTIC
SCALE: 1/4" = 1'-0"

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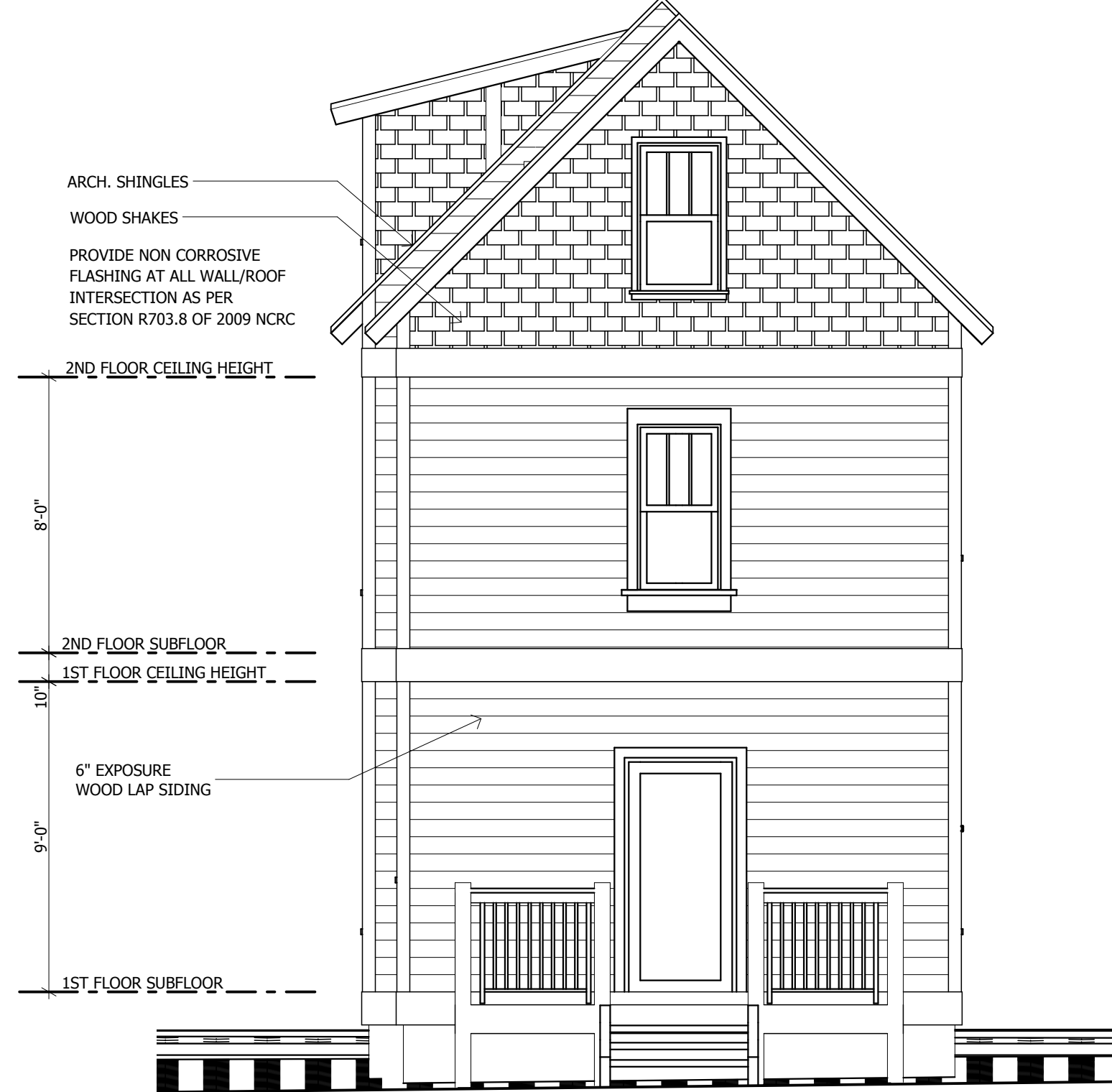
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ROOF PLAN

A1.3
SHEET 5 OF 8

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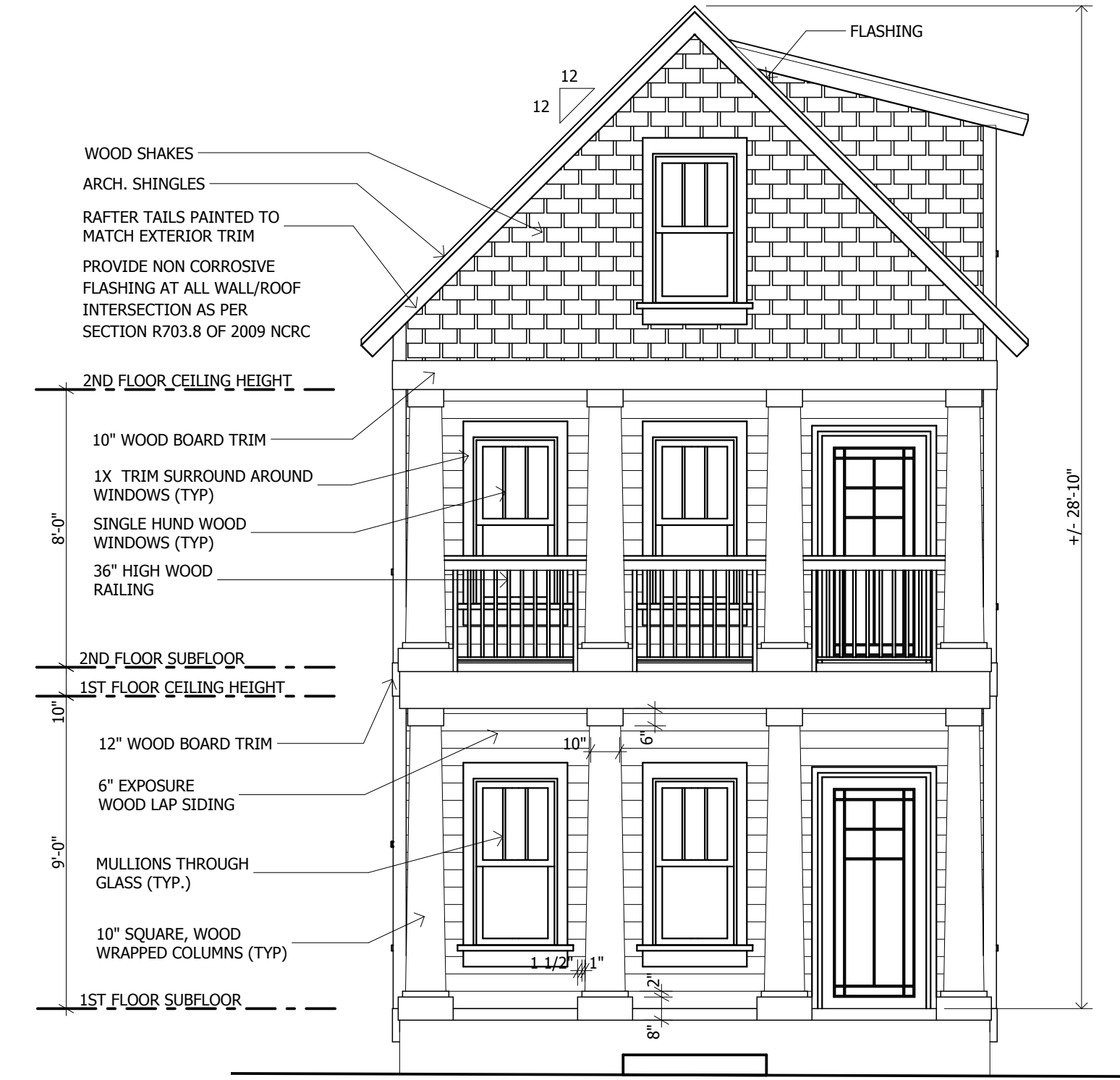
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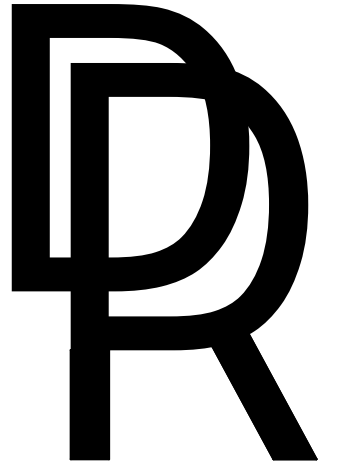
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2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

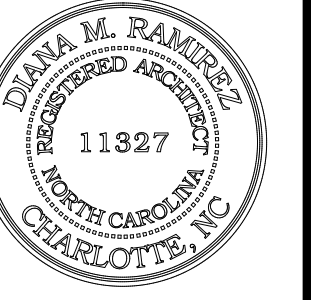


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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SHEET TITLE

ELEVATIONS

A2.1

SHEET 6

OF 8



1557 wilmore



1561 wilmore



MAP
NOT TO SCALE



1601 wilmore



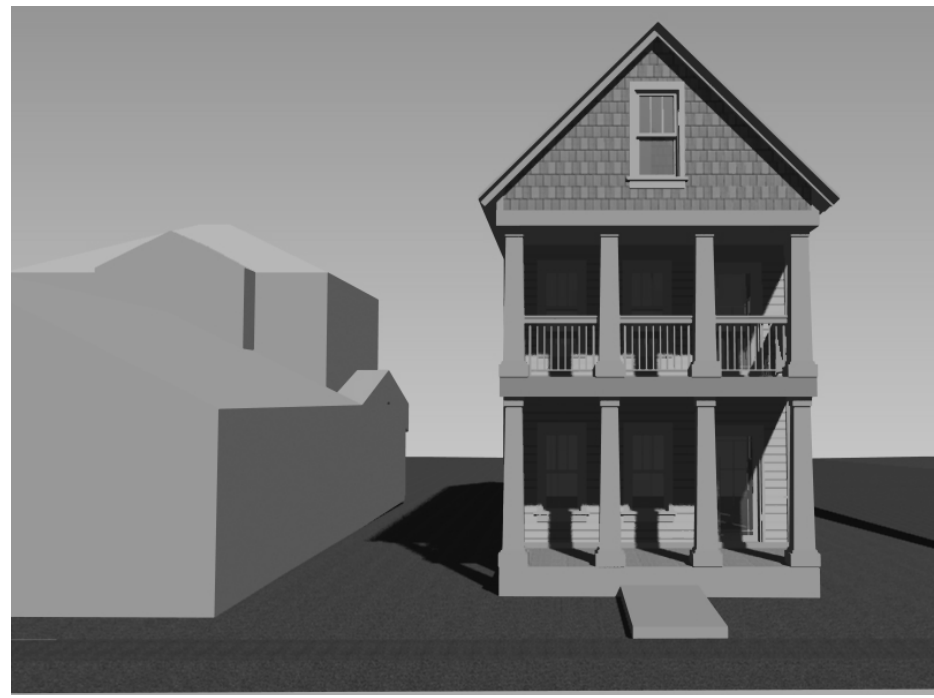
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1608 wilmore



1604 wilmore



1600 Wilmore



1566 wilmore



1564 wilmore



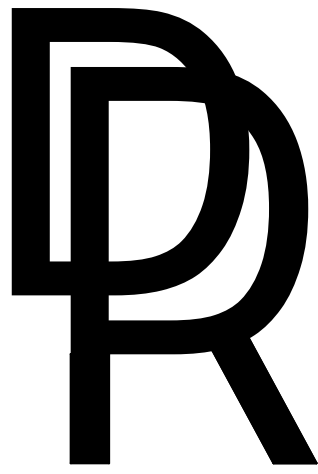
Google maps 1



Google maps 2



Google maps 3



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PHOTOGRAPHS

A2.2



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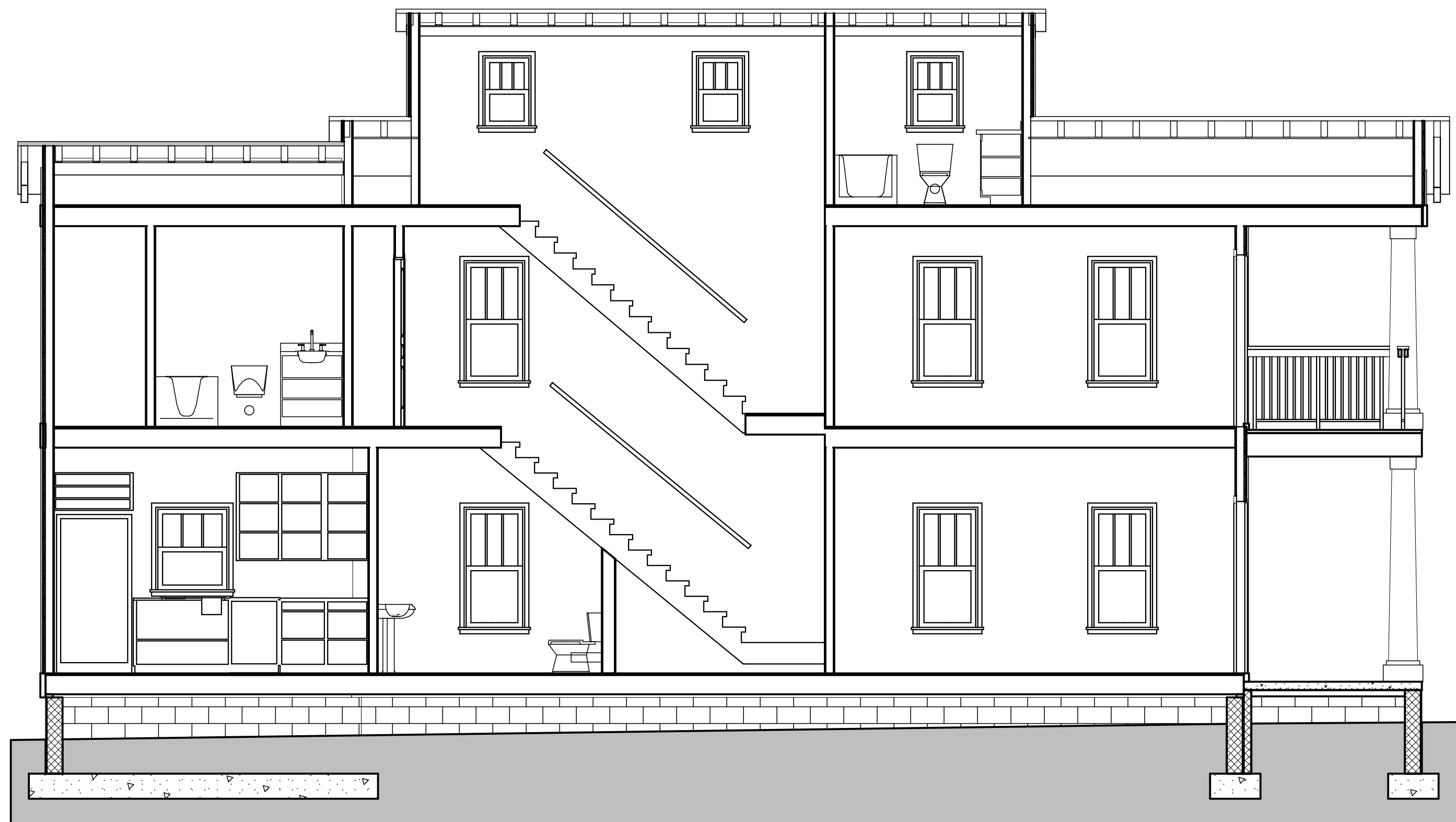
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BUILDING SECTIONS

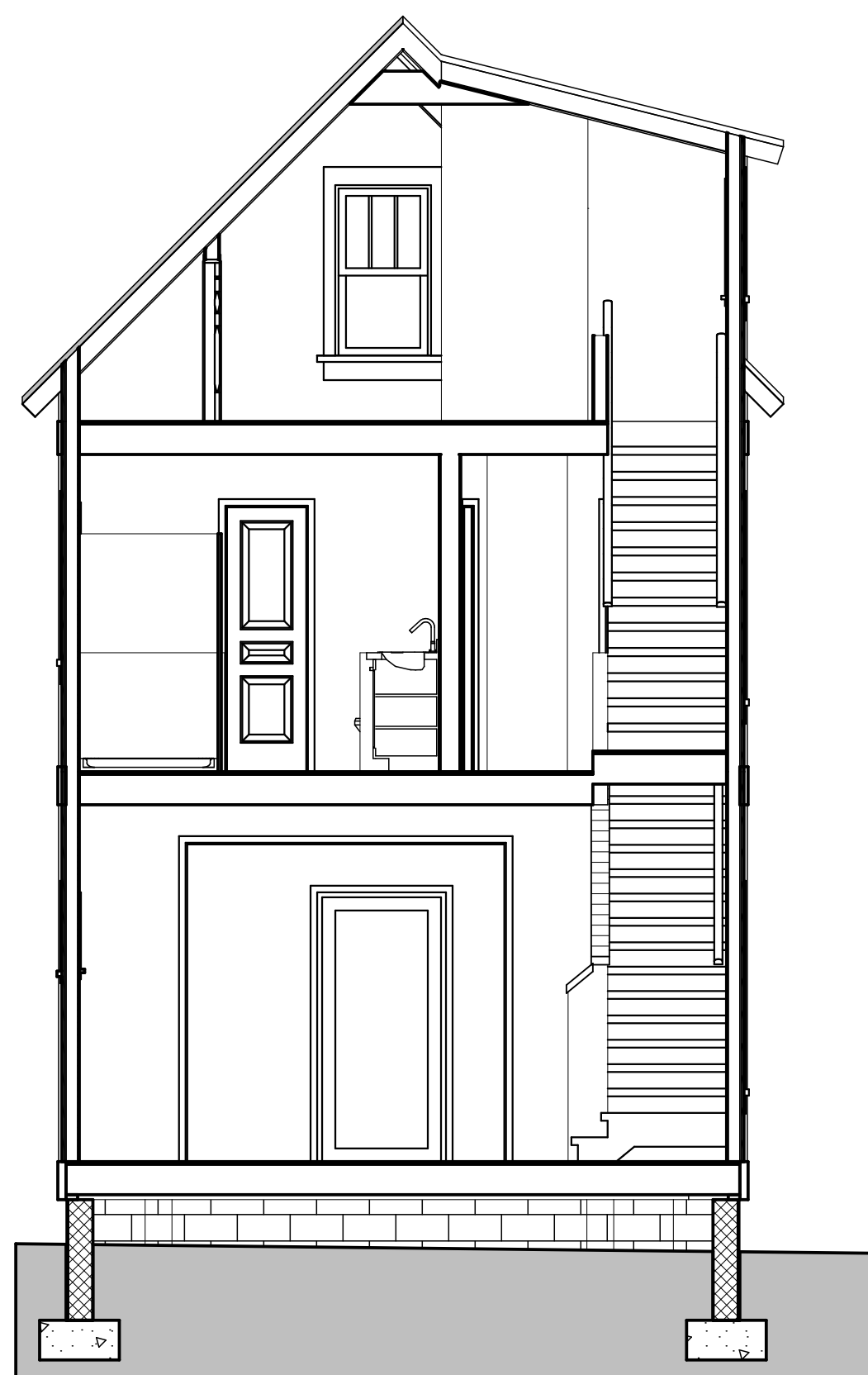
A3.1

SHEET 8

OF 8



3 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"



1 SECTION
SCALE: 1/4" = 1'-0"