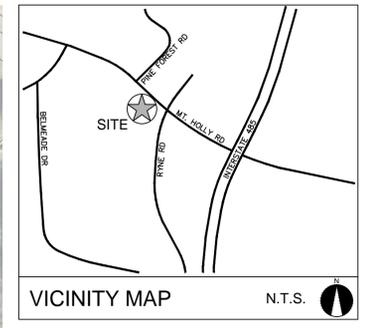


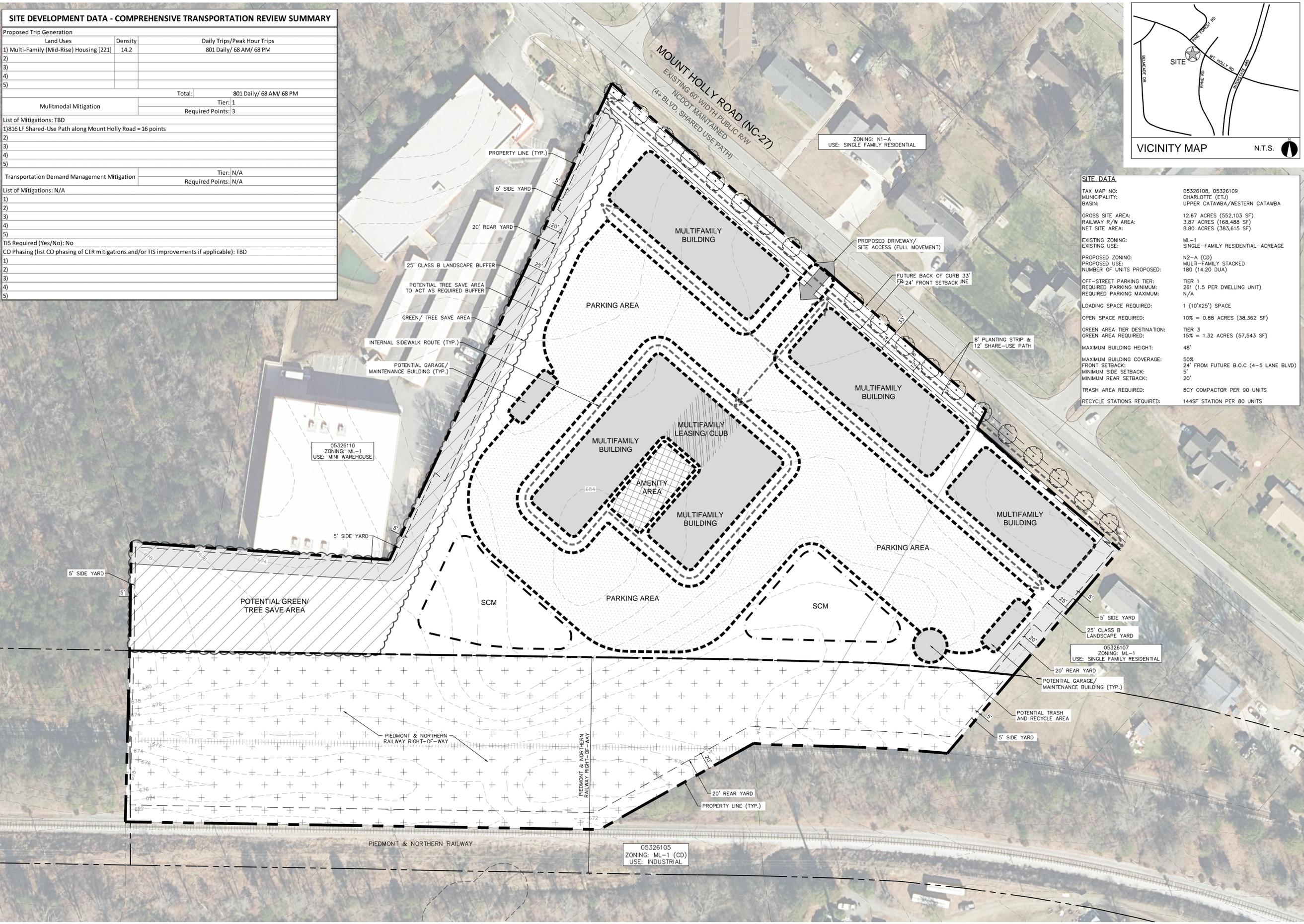
**SITE DEVELOPMENT DATA - COMPREHENSIVE TRANSPORTATION REVIEW SUMMARY**

Proposed Trip Generation		
Land Uses	Density	Daily Trips/Peak Hour Trips
1) Multi-Family (Mid-Rise) Housing [221]	14.2	801 Daily/ 68 AM/ 68 PM
2)		
3)		
4)		
5)		
Total:		801 Daily/ 68 AM/ 68 PM
Multimodal Mitigation		Tier: 1
		Required Points: 3
List of Mitigations: TBD		
1) 816 LF Shared-Use Path along Mount Holly Road = 16 points		
2)		
3)		
4)		
5)		
Transportation Demand Management Mitigation		Tier: N/A
		Required Points: N/A
List of Mitigations: N/A		
1)		
2)		
3)		
4)		
5)		
TIS Required (Yes/No): No		
CO Phasing (list CO phasing of CTR mitigations and/or TIS improvements if applicable): TBD		
1)		
2)		
3)		
4)		
5)		



**SITE DATA**

TAX MAP NO:	05326108, 05326109
MUNICIPALITY:	CHARLOTTE (E+J)
BASIN:	UPPER CATAWBA/WESTERN CATAWBA
GROSS SITE AREA:	12.67 ACRES (552,103 SF)
RAILWAY R/W AREA:	3.87 ACRES (168,488 SF)
NET SITE AREA:	8.80 ACRES (383,615 SF)
EXISTING ZONING:	ML-1
EXISTING USE:	SINGLE-FAMILY RESIDENTIAL-ACREAGE
PROPOSED ZONING:	N2-A (CD)
PROPOSED USE:	MULTI-FAMILY STACKED
NUMBER OF UNITS PROPOSED:	180 (14.20 DU/A)
OFF-STREET PARKING TIER:	TIER 1
REQUIRED PARKING MINIMUM:	261 (1.5 PER DWELLING UNIT)
REQUIRED PARKING MAXIMUM:	N/A
LOADING SPACE REQUIRED:	1 (10'X25') SPACE
OPEN SPACE REQUIRED:	10% = 0.88 ACRES (38,362 SF)
GREEN AREA TIER DESTINATION:	TIER 3
GREEN AREA REQUIRED:	15% = 1.32 ACRES (57,543 SF)
MAXIMUM BUILDING HEIGHT:	48'
MAXIMUM BUILDING COVERAGE:	50%
FRONT SETBACK:	24' FROM FUTURE B.O.C (4-5 LANE BLVD)
MINIMUM SIDE SETBACK:	5'
MINIMUM REAR SETBACK:	20'
TRASH AREA REQUIRED:	8CY COMPACTOR PER 90 UNITS
RECYCLE STATIONS REQUIRED:	144SF STATION PER 80 UNITS



**REZONING PETITION  
FOR PUBLIC HEARING  
2026-XXX**

**REZONING DOCUMENTS**

**MOUNT HOLLY ROAD**  
CHARLOTTE, NORTH CAROLINA

**MISSION PROPERTIES**  
1114 CLEMENT AVE #100  
CHARLOTTE, NC 28205  
704.307.8265

**SCHEMATIC  
SITE PLAN**



PROJECT #: 695-019  
DRAWN BY: SG  
CHECKED BY: BG

JANUARY 15, 2026

REVISIONS:

MPV PROPERTIES AND MISSION PROPERTIES – MOUNT HOLLY ROAD  
DEVELOPMENT STANDARDS  
12/18/2025  
REZONING PETITION 2026-XXX

**SITE DEVELOPMENT DATA:**

- ACREAGE: ± 12.67
- TAX PARCEL #: 05326109, 05326108
- EXISTING ZONING: ML-1
- PROPOSED ZONING: N2-A(CD)
- EXISTING USES: SINGLE FAMILY RESIDENTIAL
- PROPOSED USES: A RESIDENTIAL DEVELOPMENT WITH UP TO ONE HUNDRED EIGHTY (180) MULTI-FAMILY STACKED UNITS TOGETHER WITH ACCESSORY USES AS MORE SPECIFICALLY RESTRICTED BELOW IN SECTION 2.
- MAXIMUM BUILDING HEIGHT: NOT TO EXCEED MAXIMUM PERMITTED BY ORDINANCE.
- PARKING: WILL BE PROVIDED AS REQUIRED BY THE ORDINANCE.

**1. GENERAL PROVISIONS:**

- a. SITE LOCATION. THESE DEVELOPMENT STANDARDS, THE TECHNICAL DATA SHEET, SCHEMATIC SITE PLAN AND OTHER GRAPHICS SET FORTH ON ATTACHED SHEETS FORM THIS REZONING PLAN (COLLECTIVELY REFERRED TO AS THE "REZONING PLAN") ASSOCIATED WITH THE REZONING PETITION FILED JOINTLY BY MPV PROPERTIES AND MISSION PROPERTIES TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON AN APPROXIMATELY ±12.67 ACRE SITE LOCATED AT 10129 AND 10039 MOUNT HOLLY ROAD, CHARLOTTE NC 28214. (THE "SITE").
- b. ZONING DISTRICTS/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE UNIFIED DEVELOPMENT ORDINANCE (THE "ORDINANCE"). UNLESS THE REZONING PLAN ESTABLISHES MORE STRINGENT STANDARDS, (I) THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE N2-A ZONING CLASSIFICATION FOR THE PORTION OF THE SITE SO DESIGNATED ON THE REZONING PLAN SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.
- c. GRAPHICS AND ALTERATIONS. THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, STORMWATER CONTROL MEASURES, BUILDING ELEVATIONS, DRIVEWAYS, STREETS, DEVELOPMENT AREAS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS (COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES, AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. CHANGES TO THE REZONING PLAN NOT ANTICIPATED BY THE REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY ARTICLE 37 OF THE ORDINANCE.

SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES, IT IS INTENDED THAT THIS REZONING PLAN PROVIDE FOR FLEXIBILITY IN ALLOWING SOME ALTERATIONS OR MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS. THEREFORE, THERE MAY BE INSTANCES WHERE MINOR MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING THE ADMINISTRATIVE MINOR AMENDMENT PROCESS PER ARTICLE 37.3 OF THE ORDINANCE. THESE INSTANCES WOULD INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR AND DON'T MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN.

THE PLANNING DIRECTOR WILL DETERMINE IF SUCH MINOR MODIFICATIONS ARE ALLOWED PER THIS AMENDED PROCESS, AND IF IT IS DETERMINED THAT THE ALTERATION DOES NOT MEET THE CRITERIA DESCRIBED ABOVE, THE PETITIONER SHALL THEN FOLLOW THE ADMINISTRATIVE MINOR AMENDMENT PROCESS PER ARTICLE 37.3 OF THE ORDINANCE; IN EACH INSTANCE, HOWEVER, SUBJECT TO THE PETITIONER'S APPEAL RIGHTS SET FORTH IN THE ORDINANCE.

**2. PERMITTED USES & DEVELOPMENT AREA LIMITATION:**

- a. THE SITE MAY BE DEVELOPED WITH A MULTI-FAMILY STACKED DEVELOPMENT WITH UP TO ONE HUNDRED EIGHTY(180) RESIDENTIAL DWELLING UNITS AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE N2-A ZONING DISTRICT TOGETHER WITH ACCESSORY USES.

**3. ACCESS, TRANSPORTATION IMPROVEMENTS, AND CATS:**

- a. ACCESS TO THE SITE WILL BE FROM MOUNT HOLLY ROAD AS GENERALLY DEPICTED ON THE REZONING PLAN.
- b. THE PETITIONER WILL PROVIDE AN EIGHT (8) FOOT PLANTING STRIP AND A TWELVE (12) FOOT SHARED USE PATH ALONG THE SITE'S FRONTAGE ALONG MOUNT HOLLY ROAD. THE TWELVE (12) FOOT SHARED USE PATH CONSTRUCTED ALONG MOUNT HOLLY ROAD SHALL INCLUDE BICYCLE FACILITIES IN ACCORDANCE WITH THE COUNCIL-ADOPTED CHARLOTTE STREETS MAP AND MEET ADA/PROWAG REQUIREMENTS.
- c. MOUNT HOLLY ROAD IS DESIGNATED A 4+ BOULEVARD WITH A SHARED USE PATH ON THE ADOPTED CHARLOTTE STREETS MAP. THE REQUIRED DISTANCE FROM THE CENTERLINE TO THE TO THE FUTURE BACK OF CURB IS A MINIMUM OF THIRTY-THREE (33) FEET FROM WHICH THE FRONT SETBACK ALONG MOUNT HOLLY ROAD IS MEASURED. UNLESS NCDOT ALLOWS THE CURB TO BE PLACED WITHIN THE RIGHT-OF-WAY, THE CURB WILL NOT BE CONSTRUCTED.
- d. ALL TRANSPORTATION IMPROVEMENTS, IF ANY, SHALL BE CONSTRUCTED AND APPROVED PRIOR TO THE RELEASE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE SITE. THE PETITIONER MAY PHASE TRANSPORTATION IMPROVEMENTS IF SAID IMPROVEMENTS AND PHASING ARE EXPLICITLY DESCRIBED IN SITE PLAN NOTES OR AGREED TO DURING THE LAND DEVELOPMENT APPROVAL PROCESS FOR THE SITE. THE PETITIONER MAY REQUEST THAT CDOT ALLOW A BOND TO BE POSTED FOR ANY IMPROVEMENTS NOT COMPLETED AT THE TIME THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED AND RELEASED.
- e. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT IS SUBJECT TO MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CDOT AND NCDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.
- f. THE ALIGNMENT OF THE INTERNAL VEHICULAR CIRCULATION AND DRIVEWAYS MAY BE MODIFIED BY THE PETITIONER TO ACCOMMODATE CHANGES IN TRAFFIC PATTERNS, PARKING LAYOUTS, AND ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY CDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.
- g. THE PETITIONER WILL DEDICATE VIA FEE SIMPLE CONVEYANCE ANY ADDITIONAL RIGHT-OF-WAY INDICATED ON THE REZONING PLAN AS RIGHT-OF-WAY TO BE DEDICATED, THE ADDITIONAL RIGHT-OF-WAY WILL BE DEDICATED PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY. THE PETITIONER WILL PROVIDE A PERMANENT SIDEWALK EASEMENT FOR ANY OF THE PROPOSED SIDEWALKS LOCATED ALONG THE PUBLIC STREETS LOCATED OUTSIDE OF THE RIGHT-OF-WAY. THE PERMANENT SIDEWALK EASEMENT WILL BE LOCATED A MINIMUM OF TWO (2) FEET BEHIND THE SIDEWALK WHERE FEASIBLE.
- h. ALL PUBLIC ROADWAY IMPROVEMENTS WILL BE SUBJECT TO THE STANDARDS AND CRITERIA OF CDOT AND NCDOT, AS APPLICABLE, TO THE ROADWAY IMPROVEMENTS WITHIN THEIR RESPECTIVE ROAD SYSTEM AUTHORITY. IT IS UNDERSTOOD THAT SUCH IMPROVEMENTS MAY BE UNDERTAKEN BY THE PETITIONER ON ITS OWN OR IN CONJUNCTION WITH OTHER DEVELOPMENT OR ROADWAY PROJECTS TAKING PLACE WITHIN THE BROAD NORTHWESTERN MECKLENBURG AREA, BY WAY OF A PRIVATE/PUBLIC PARTNERSHIP EFFORT OR OTHER PUBLIC SECTOR PROJECT SUPPORT.
- i. THE PETITIONER RESERVES THE RIGHT TO MAKE ADDITIONAL ADJUSTMENTS THAT MAY BE NECESSARY TO ACCOMMODATE CHANGES THROUGHOUT THE CONSTRUCTION PROCESS AS APPROVED BY NCDOT/CDOT.
- j. IN THE EVENT A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS NECESSARY FOR THE INSTALLATION OF ANY NON-STANDARD ITEM(S) (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION, AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION.

**4. SETBACKS, YARDS, OPEN SPACE, AND LANDSCAPING:**

- a. A TWENTY-FOUR (24) FOOT FRONTAGE SETBACK WILL BE PROVIDED ALONG MOUNT HOLLY ROAD AS MEASURED FROM THE FUTURE BACK OF CURB, AS GENERALLY DEPICTED ON THE REZONING PLAN.
- b. SIDE AND REAR YARDS WILL BE PROVIDED AS REQUIRED BY ORDINANCE.
- c. OPEN SPACE WILL BE PROVIDED PER THE N2-A REQUIREMENTS FOUND IN ARTICLE 5.4. IN AREAS WHERE COMMON OPEN SPACE IS PROVIDED, SUCH AREAS WILL BE AMENITIZED WITH USABLE OUTDOOR HARDSCAPE FEATURES, SUCH AS COURTYARDS, SEATING AREAS, AND INCLUDE VARIOUS LANDSCAPE FEATURES, SUCH AS GRASS, GROUND COVER, TREES, AND SHRUBS.
- d. OPEN SPACE AREAS WILL INCLUDE ENHANCED PLANTINGS IN EXCESS OF MINIMUM PLANTING STANDARDS REQUIRED BY THE ORDINANCE AND WILL INCLUDE A MINIMUM OF 18 TREES PER ONE ACRE OF COMMON OPEN SPACE. SEATING OPTIONS WILL BE PROVIDED THAT INCLUDE A MINIMUM OF ONE BENCH PER 4,000 SQUARE FEET OF COMMON OPEN SPACE. AT LEAST ONE COMMON OPEN SPACE AREA SHALL BE ACCESSIBLE FROM ALL RESIDENTIAL BUILDINGS WITHIN A 1,000-FOOT RADIUS OF THE COMMON OPEN SPACE.
- e. A TWENTY-FIVE (25) FOOT CLASS B BUFFER SHALL BE PROVIDED ALONG THE EASTERN AND WESTERN PROPERTY LINE ABUTTING AS GENERALLY DEPICTED ON THE REZONING PLAN.

**5. GENERAL DESIGN GUIDELINES:**

- a. THE RESIDENTIAL BUILDINGS ON THE SITE WILL COMPLY WITH THE APPLICABLE RESIDENTIAL SITE LAYOUT, BUILDING DESIGN STANDARDS, AND BUILDING MATERIAL RESTRICTIONS FOUND IN ARTICLE 5 OF THE ORDINANCE. ACCESSORY BUILDINGS AND STRUCTURES ASSOCIATED WITH THE MULTI-FAMILY STACKED DEVELOPMENT WILL BE CONSTRUCTED UTILIZING SIMILAR BUILDING MATERIALS, COLORS, ARCHITECTURAL ELEMENTS, AND DESIGNS AS THE PRINCIPAL BUILDING(S) LOCATED ON THE SITE.
- b. THE FACE OF ANY BUILDINGS ABUTTING PUBLIC STREETS AND INTERNAL NETWORK REQUIRED STREETS WILL NOT HAVE BLANK WALLS THAT EXCEED TWENTY (20) FEET IN LENGTH ON ALL BUILDING LEVELS. WINDOWS WILL BE PROVIDED ON THE FACES ABUTTING PUBLIC STREETS AND INTERNAL NETWORK REQUIRED STREETS IN ORDER TO ACCOMMODATE A MINIMUM 25% TRANSPARENCY ON THE GROUND FLOOR AND 15% TRANSPARENCY ON THE UPPER FLOORS TO AVOID BLANK WALLS.
- c. ROOF FORM AND ROOFLINES SHALL BE DESIGNED TO AVOID THE APPEARANCE OF A LARGE MONOLITHIC ROOF STRUCTURE AS FOLLOWS: (I) LONG PITCHED OR FLAT ROOF LINES SHALL AVOID CONTINUOUS EXPANSES WITHOUT VARIATION BY INCLUDING CHANGES IN HEIGHT AND/OR ROOF FORM, TO INCLUDE BUT NOT BE LIMITED TO GABLES, HIPS, DORMER OR PARAPETS; AND (II) FOR PITCHED ROOFS THE MINIMUM ALLOWED IS 4:12 EXCLUDING BUILDINGS WITH A FLAT ROOF AND PARAPET WALLS.
- d. METER BANKS, HVAC, AND RELATED MECHANICAL EQUIPMENT WILL BE SCREENED AS REQUIRED PER THE ORDINANCE. GROUND-MOUNTED OR WALL-MOUNTED MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE ESTABLISHED SETBACKS ALONG A FRONTAGE, EXCLUDING BACKFLOW DEVICES, FDOS AND LIFE SAFETY EQUIPMENT REQUIRED TO BE IN THE SETBACKS BY THE AUTHORITIES HAVING JURISDICTION.
- e. DUMPSTER AND RECYCLING AREA WILL BE FULLY ENCLOSED ON THREE SIDES BY A MINIMUM 75% OPAQUE FENCE WITH ONE SIDE BEING A DECORATIVE GATE. THE MATERIAL USED TO ENCLOSE THE DUMPSTER WILL BE OF A MATERIAL PRESCRIBED BY THE ORDINANCE AND BE OF A COMPATIBLE COLOR USED ON THE PRINCIPAL BUILDINGS.

**6. ENVIRONMENTAL FEATURES:**

- a. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED UNIFIED DEVELOPMENT ORDINANCE, STORMWATER ARTICLES 23 THROUGH 28. THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS THAT MAY BE DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.
- b. THE SITE WILL COMPLY WITH THE TREE PROVISIONS OF THE ORDINANCE FOUND IN ARTICLE 20. THE FINAL LOCATION OF THE REQUIRED TREE SAVE/REPLANTED TREE SAVE AREAS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING PETITION AND ARE SUBJECT TO CHANGE.
- c. DEVELOPMENT WITHIN ANY SWM/PCSO BUFFERS SHALL BE COORDINATED WITH AND SUBJECT TO APPROVAL BY CHARLOTTE-MECKLENBURG STORM WATER SERVICES AND MITIGATED IF REQUIRED BY ORDINANCE. STREAM DELINEATION REPORTS ARE SUBJECT TO REVIEW AND APPROVAL BY CHARLOTTE STORM WATER SERVICES.
- d. THE SITE IS LOCATED WITHIN THE PROTECTED AREA OF THE LAKE WYLIE WATERSHED OVERLAY AND THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE APPLICABLE WATERSHED REGULATIONS WITHIN ARTICLE 23 OF THE ORDINANCE.

**7. LIGHTING:**

- a. ALL FREESTANDING EXTERIOR LIGHTING INSTALLED ON THE SITE SHALL COMPLY WITH ARTICLE 16.2 OF THE ORDINANCE.

**8. AMENDMENTS TO THE REZONING PLAN:**

- a. FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE DEVELOPMENT AREA PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 37 OF THE ORDINANCE.

**9. BINDING EFFECT OF THE REZONING APPLICATION:**

- a. IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.



LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
TRANSPORTATION PLANNING

1111 Hawthorne Lane, Charlotte, NC 28205  
704.343.0608  
www.drgpr.com

REZONING PETITION  
FOR PUBLIC HEARING  
2026-XXX

REZONING DOCUMENTS

MOUNT HOLLY ROAD

CHARLOTTE, NORTH CAROLINA

MISSION PROPERTIES

1114 CLEMENT AVE #100  
CHARLOTTE, NC 28205  
704.307.8265

DEVELOPMENT  
STANDARDS

0  
SCALE: N.T.S

PROJECT #: 695-019  
DRAWN BY: SG  
CHECKED BY: BG

JANUARY 15, 2026

REVISIONS:

RZ2.00