

HINES  
BLU SOUTH - DEVELOPMENT AREA 1B  
SITE PLAN AMENDMENT (SPA) - DEVELOPMENT STANDARDS  
3/11/2026  
REZONING PETITION NO. 2026-00X

SITE DEVELOPMENT DATA:

- ACREAGE: ± 1.633
- TAX PARCEL #: 20511283
- EXISTING ZONING: UR-C (CD)
- PROPOSED ZONING: UR-C (CD) SPA
- EXISTING USES: VACANT
- PROPOSED USES: NON-RESIDENTIAL USES AS PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES, AS ALLOWED IN THE UR-C ZONING DISTRICT AS FURTHER LIMITED AND DESCRIBED HEREIN.
- MAXIMUM GROSS SQUARE FEET OF DEVELOPMENT: UP TO 14,500 SQUARE FEET WITHIN DEVELOPMENT AREA 1B AND A COMBINED MAXIMUM SQUARE FOOTAGE OF 24,000 SQUARE FEET IN BOTH DEVELOPMENT AREAS 1A & 1B CONSISTENT WITH THE APPROVED REZONING PETITION #2021-174.
- MAXIMUM BUILDING HEIGHT: 40' IN COMPLIANCE WITH PETITION #2021-174.
- PARKING: PARKING WILL BE PROVIDED AS REQUIRED BY THE ORDINANCE.

PURPOSE OF REZONING/SITE PLAN AMENDMENT: THE PURPOSE OF THIS REZONING IS LIMITED IN SCOPE AND IS INTENDED SOLELY TO AMEND THE PERMITTED USES AND SITE LAYOUT FOR DEVELOPMENT AREA 1B, AS SHOWN ON SHEET 2 OF 4, AND TO CLARIFY PERMITTED USES IN DEVELOPMENT AREA 1A AND 1B. ALL OTHER ENTITLEMENTS, CONDITIONS, AND TECHNICAL MODIFICATIONS APPROVED UNDER REZONING PETITION #2021-174 (HEREINAFTER, THE "APPROVED REZONING PLAN") SHALL REMAIN IN FULL FORCE AND EFFECT.

THE UNIFIED DEVELOPMENT ORDINANCE ADOPTED IN 2023 SHALL NOT APPLY TO THIS PETITION.

I. PERMITTED USES/DEVELOPMENT LIMITATIONS:

DEVELOPMENT AREA 1A AND DEVELOPMENT AREA 1B

(a) PERMITTED USES IN DEVELOPMENT AREA 1A: THE USES ALLOWED IN DEVELOPMENT AREA 1A SHALL REMAIN AS INDICATED IN THE APPROVED REZONING PLAN.

(b) PERMITTED USES IN DEVELOPMENT AREA 1B: THE USES ALLOWED IN DEVELOPMENT AREA 1B MAY ONLY BE NON-RESIDENTIAL USES PERMITTED BY RIGHT AND WITH PRESCRIBED CONDITIONS WITHIN THE UR-C ZONING DISTRICT, TOGETHER WITH INCIDENTAL AND ACCESSORY USES. THE INTENDED USES INCLUDE NON-RESIDENTIAL USES THAT ARE TO SERVE THE SURROUNDING COMMUNITY WHICH COULD INCLUDE BUT NOT BE LIMITED TO RETAIL SALES, PERSONAL SERVICE ESTABLISHMENTS, RESTAURANTS (EDEE), AND OFFICE USES. THE FOLLOWING USES SHALL BE PROHIBITED: DRIVE-THROUGH WINDOWS, AUTOMOTIVE SALES, AUTOMOBILE SERVICE OR REPAIR, AND GAS STATIONS.

(c) DEVELOPMENT LIMITATIONS IN AREAS 1A & 1B:

- I. DEVELOPMENT AREAS 1A AND DEVELOPMENT AREA 1B COMBINED MAY CONTAIN A TOTAL MAXIMUM OF FOUR (4) PRINCIPAL BUILDINGS.
- II. A TOTAL MAXIMUM OF 24,000 SQUARE FEET OF GROSS FLOOR AREA MAY BE DEVELOPED AND LOCATED ON DEVELOPMENT AREA 1A AND DEVELOPMENT AREA 1B. DEVELOPMENT AREA 1B WILL BE LIMITED TO A MAXIMUM OF 14,500 SQUARE FEET OF GROSS FLOOR AREA.
- III. IF A RESTAURANT (EDEE) IS PLACED ON DEVELOPMENT AREA 1B, THE HOURS OF OPERATION WILL BE LIMITED AND SHALL CLOSE NO LATER THAN 11:00 PM.

II. SUPPLEMENTAL BUFFER REQUIREMENT:

WITHIN DEVELOPMENT AREA 1B, A 50-FOOT WIDE CLASS "C" BUFFER WITH A BERM AND A 15-FOOT WIDE UNDISTURBED BUFFER SHALL BE PROVIDED ALONG THE PROPERTY LINE ADJUTING THE N1 ZONED PROPERTIES SOUTH OF THE DEVELOPMENT AREA AS GENERALLY DEPICTED ON THE REZONING PLAN.

KEY MAP

SCALE

PRELIMINARY  
-FOR REVIEW ONLY-

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XXXXX XXXXXXXX ### 3/10/26  
ENGINEER REG.# DATE

NOT FOR  
CONSTRUCTION

BLU SOUTH -  
REZONING SPA  
RZP-2021-174

901 STERLING LN, PINEVILLE, NC  
28134

LANDDESIGN PROJ.# 1024401

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
00	INITIAL SPA SUBMITTAL	03.11.2026
01	REVISIONS PER CDOT COMMENTS	05.07.2026

SCALE NORTH

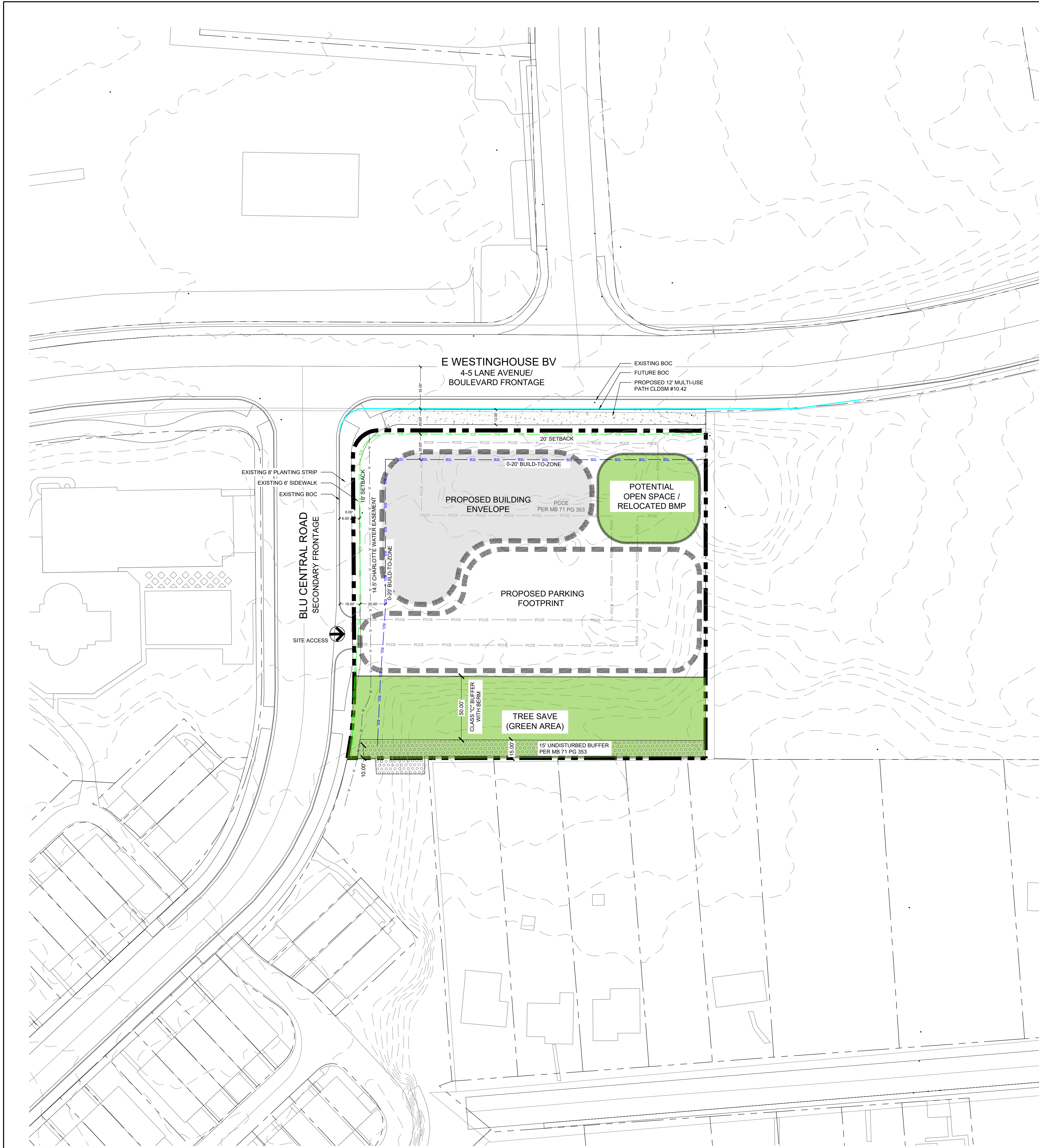
VERT: N/A  
HORZ: 1" = 40'

0 20 40 80

SHEET TITLE  
SITE PLAN AND  
DEVELOPMENT STANDARDS

SHEET NUMBER

SPA-01



**LEGEND**

- BSL SETBACK LINE
- B2L BUILD TO LINE
- PROPERTY BOUNDARY
- FUTURE BACK OF CURB
- PCCE LINE (PER SURVEY)
- CHARLOTTE WATER EASEMENT (PER SURVEY)
- 15' UNDISTURBED BUFFER (PER SURVEY)
- PROPOSED 12' MULTI-USE PATH