

## Notice to Interested Parties of Virtual Community Meeting

*At the request of the City, we have added conditions that prohibit certain uses that are ill-suited for areas adjacent to residential uses. Those prohibited uses are listed below.*

*Due to this change, we are conducting a second virtual community meeting. The only information that changed from the initial meeting are the conditions listed below.*

**Date: Thursday, September 10, 2026 @6:00 pm**

**Location: Virtual Meeting, RSVP for link (details provided below)**

Petitioner: Hendrick Automotive Group

Petition No.: RZP-2026-044

We are assisting Hendrick Automotive Group (the "Petitioner") with a Rezoning Petition filed with the Charlotte Planning, Design & Development Department seeking to rezone approximately 1.030 acres located along Farmingdale Drive from OFC (Office Flex Campus) zoning to CG (General Commercial) Conditional Tier 1 zoning district. The purpose is to align the existing use with the appropriate zoning district and remove the non-conforming use designation. The site will continue to be used as a parking lot for the foreseeable future. The site will be improved with new asphalt, curb and gutter, landscaping and security fencing.

The petition incorporates the following PROHIBITED uses:

- Adult Electronic Gaming Establishment
- Adult Use
- Drive-Through Establishment
- Nightclub
- Telecommunications and Data Storage Facility
- Vehicle Fueling Facility
- Vehicle Rental: Outdoor
- Drug Treatment Clinic
- Food Pantry
- Homeless Shelter
- Beneficial Fill Site
- Industrial, Craft
- Solar Farm
- Cemetery
- Driving Range
- Farm, Bona Fide
- Golf Course

The Charlotte Planning, Design and Development Department's records indicate that either you are a representative of a registered neighborhood organization or an owner of property that adjoins, is located across the street from, or is near the site.

Accordingly, on behalf of the Petitioner, we give you notice that representatives of the Petitioner will hold a Virtual Community Meeting regarding this Rezoning Petition on Thursday, September 10, 2026, at 6:00 pm.

If you would like to participate in the live virtual presentation and discussion at the scheduled time, **please email Karen Shea at [Karen.M.Shea@imegcorp.com](mailto:Karen.M.Shea@imegcorp.com) and you will be provided with a link to RSVP and receive access information for the virtual meeting.** Please reference RZP-2026-044 Farmingdale.

In the meantime, should you have any questions or comments about this matter, please call Greg Hartley at ACRO now IMEG at 980-497-8062 or via email at [Greg.L.Hartley@imegcorp.com](mailto:Greg.L.Hartley@imegcorp.com).

cc: JD Mazuera Arias, City Council District Representative

Date mailed: August 26, 2026

## 2026-044: Hendrick Automotive Group

**Parcel(s):**  
13302545

**Current Zoning:**  
OFC (Office Flex Campus)

**Requested Zoning:**  
CG (General Commercial) Tier 1 Conditional

**Size:**  
Approximately 1.030 acres

### Location of Requested Rezoning



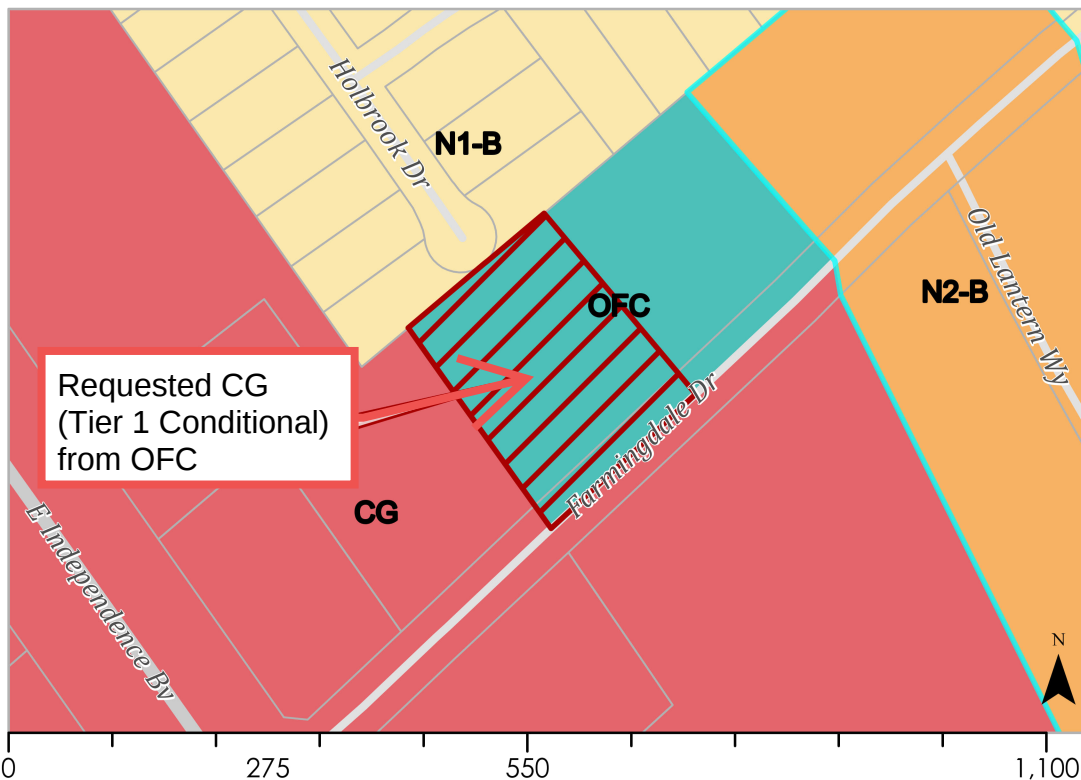
### Rezoning Area

- 2026-044
- Inside City Limits
- Parcel
- Railway
- Streams

### City Council District

- 5-J.D. Mazuera Arias

### Existing Zoning & Rezoning Request



### Zoning Classification

- Neighborhood 1
- Neighborhood 2
- Campus
- Commercial
- Requested CG (Tier 1 Conditional) from OFC