

**SITE LEGEND**  
 - - - - - EXISTING PROPERTY LINE  
 - - - - - UTILITY EASEMENT

**REZONING PETITION NO. RZP-2025-126**

KEY MAP  
 SEAL

**NOT FOR CONSTRUCTION**

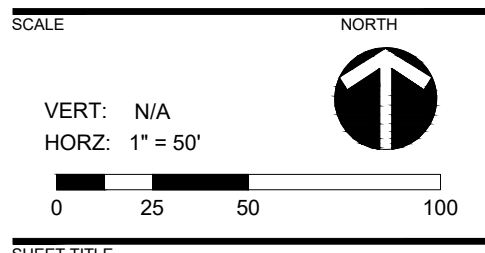
**N. SHARON AMITY RD. REZONING**

CROSLAND SOUTHEAST (CSE COMMUNITIES)  
 4000 N SHARON AMITY RD  
 CHARLOTTE, NC

LANDDESIGN PROJ.# 1025329

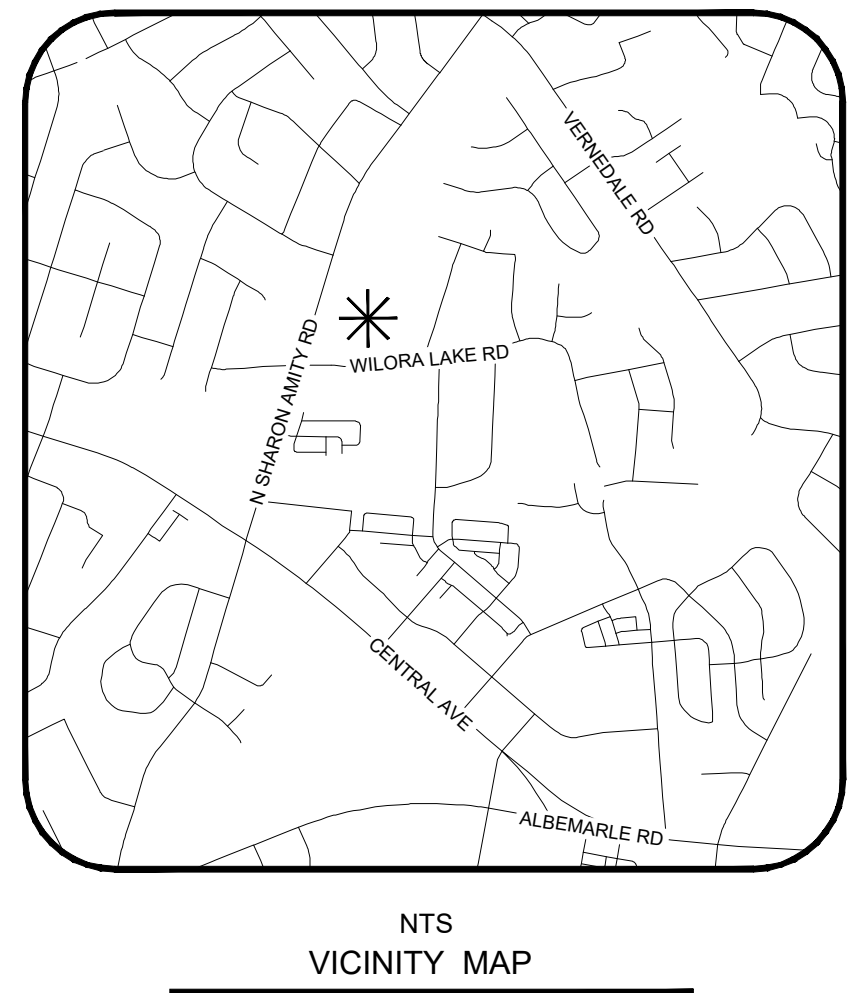
**REVISION / ISSUANCE**

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	11.14.2025
2	REZONING 2ND SUBMITTAL	01.22.2026
3	REZONING 3RD SUBMITTAL	02.05.2026
4	REZONING 4TH SUBMITTAL	02.12.2026
5	REZONING 5TH SUBMITTAL	03.12.2026

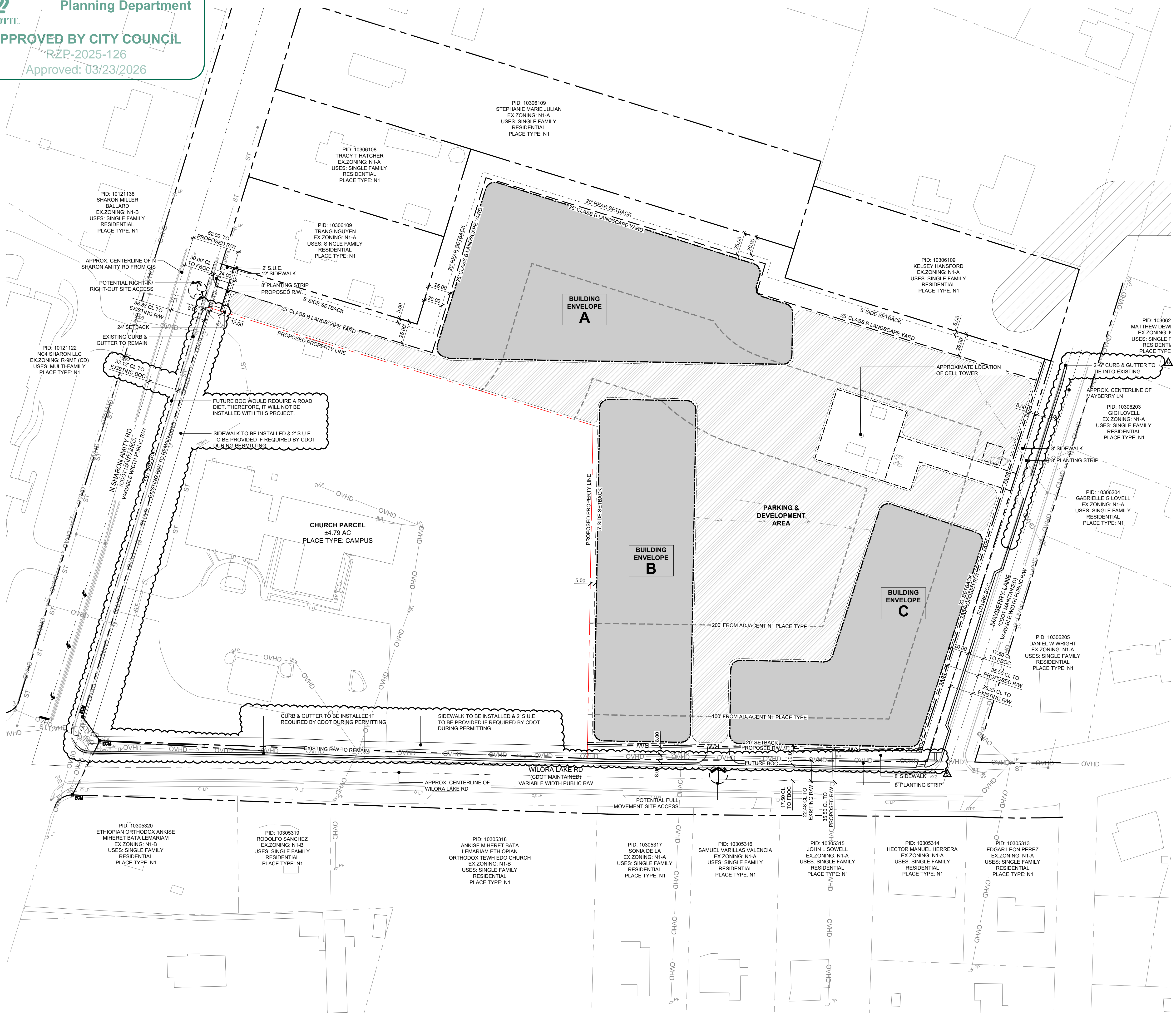


SHEET TITLE  
**EXISTING CONDITIONS**

SHEET NUMBER  
**RZ-1**



**REZONING  
 PETITION NO.  
 RZP-2025-126**



**SITE DEVELOPMENT DATA:**

- ACREAGE: 6.72 ACRES
- TAX PARCEL #S: PORTION OF 10306110
- EXISTING ZONING: N1-A
- PROPOSED ZONING: N2-B(CD)
- EXISTING USES: CHURCH AND VACANT
- PROPOSED USES: A MAXIMUM ONE HUNDRED THIRTY-SIX (136) DWELLING UNITS IN A MULTI-DWELLING DEVELOPMENT WITH UP TO ONE HUNDRED TWENTY-FIVE (125) SENIOR, MULTI-FAMILY STACKED DWELLING UNITS AND NO MORE THAN ELEVEN (11) DWELLING UNITS WHICH MAY INCLUDE A COMBINATION OF DUPLEX, TRIPLEX, QUADRAPLEX AND/OR MULTI-FAMILY ATTACHED DWELLING UNITS AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE N2-B ZONING DISTRICT TOGETHER WITH ACCESSORY USES AS MORE SPECIFICALLY RESTRICTED BELOW IN SECTION 2.
- MAXIMUM BUILDING HEIGHT: NOT TO EXCEED MAXIMUM PERMITTED BY ORDINANCE.
- PARKING: WILL BE PROVIDED AS REQUIRED BY THE ORDINANCE.

- SITE LEGEND**
- PROPOSED PROPERTY LINE
  - SETBACK
  - SIDE/REAR SETBACK
  - FUTURE RW
  - FUTURE BOC
  - LANDSCAPE YARD
  - HEIGHT PLANE
  - UTILITY EASEMENT
  - POTENTIAL FULL MOVEMENT SITE ACCESS
  - POTENTIAL RIGHT-IN/RIGHT-OUT SITE ACCESS

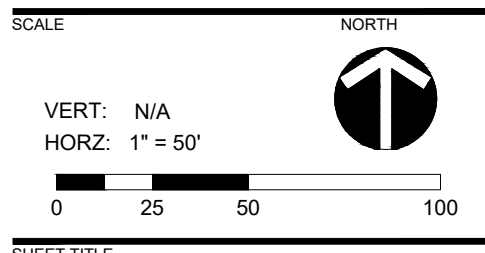
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 (CSE COMMUNITIES)  
 4000 N SHARON AMITY RD  
 CHARLOTTE, NC

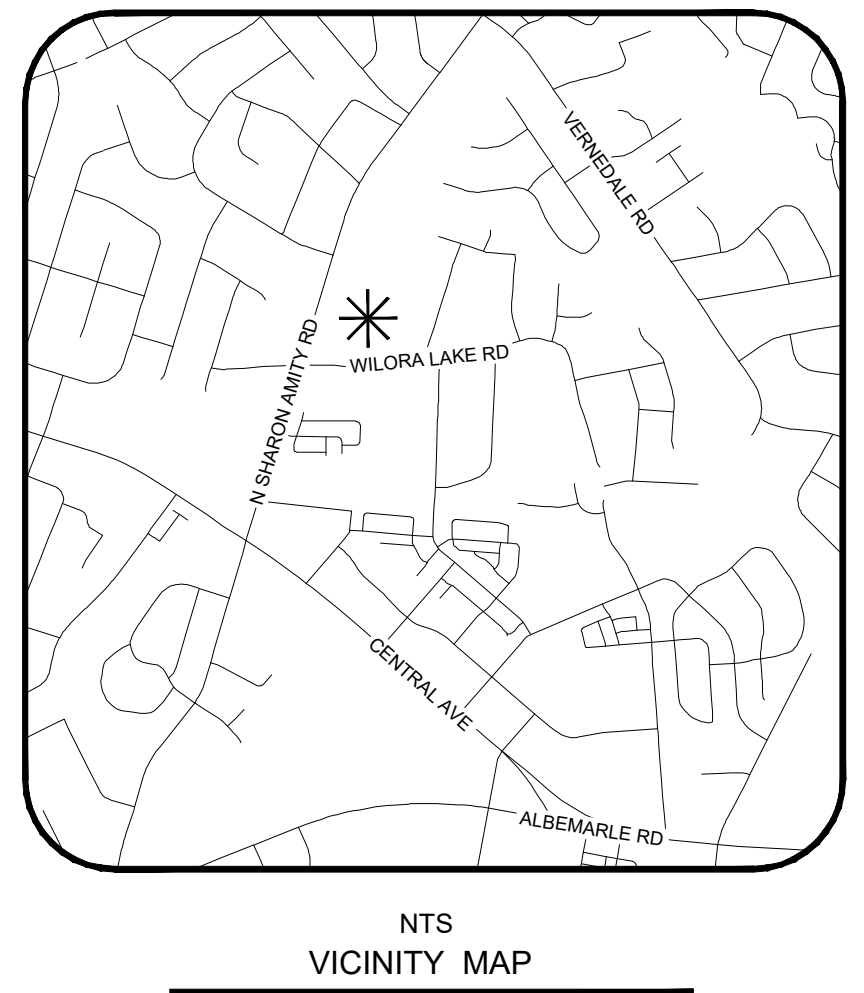
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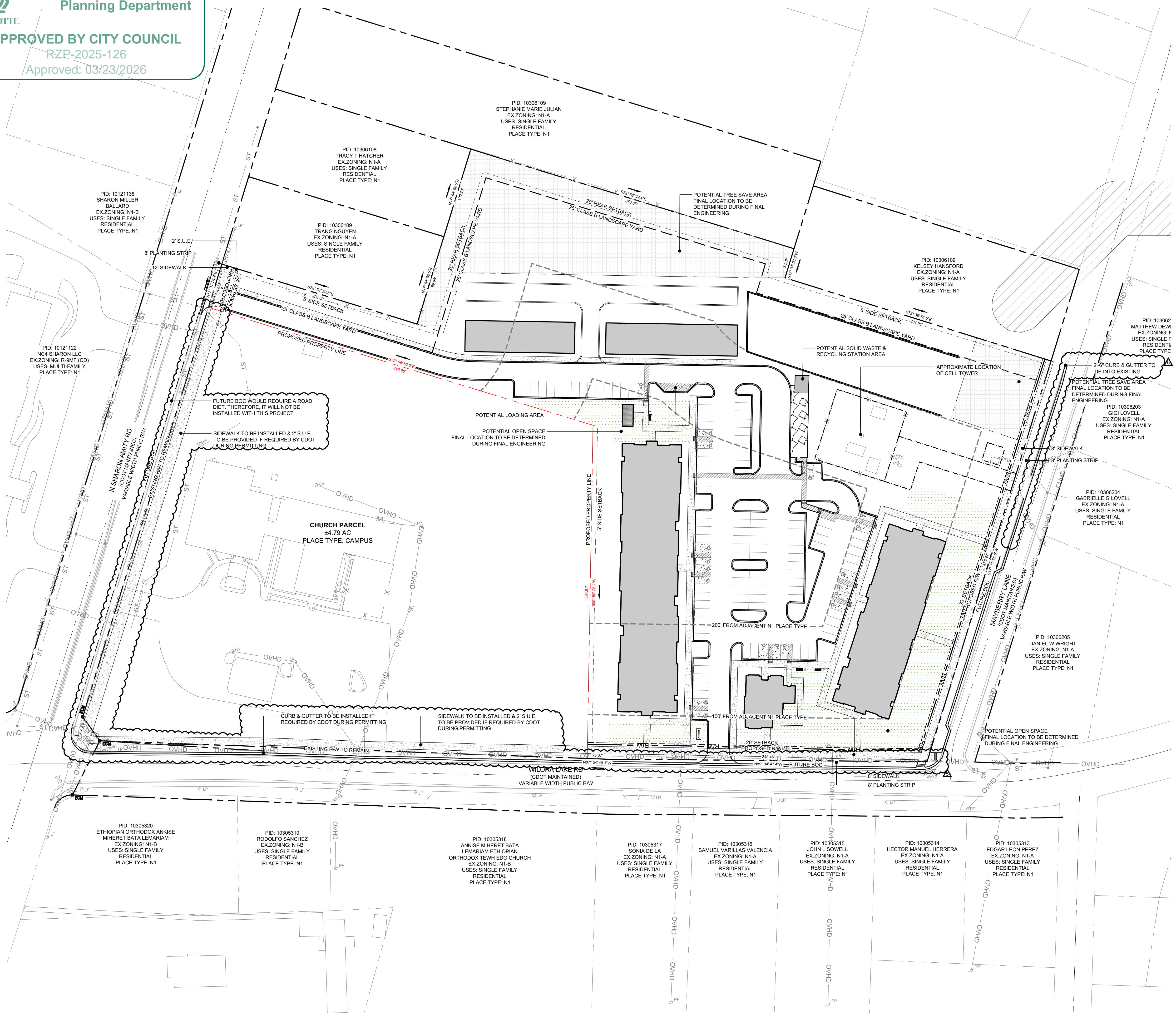


TECHNICAL DATA SHEET

SHEET NUMBER **RZ-2**



**REZONING  
 PETITION NO.  
 RZP-2025-126**



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- EXISTING USES: CHURCH AND VACANT
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- SITE LEGEND**
- PROPOSED PROPERTY LINE
  - SETBACK
  - SIDE/REAR SETBACK
  - FUTURE RW
  - FUTURE BOC
  - LANDSCAPE YARD
  - HEIGHT PLANE
  - UTILITY EASEMENT
  - POTENTIAL TREE SAVE AREA
  - POTENTIAL OPEN SPACE

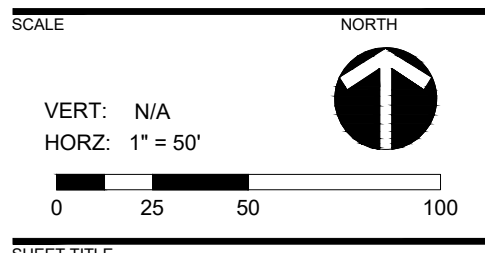
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**NOTES:**  
 1. BUILDINGS MAY SHIFT AND MOVE SO LONG AS THEY STAY WITHIN THE BUILDING ENVELOPES SHOWN ON THE TECHNICAL DATA SHEET

SHEET NUMBER

