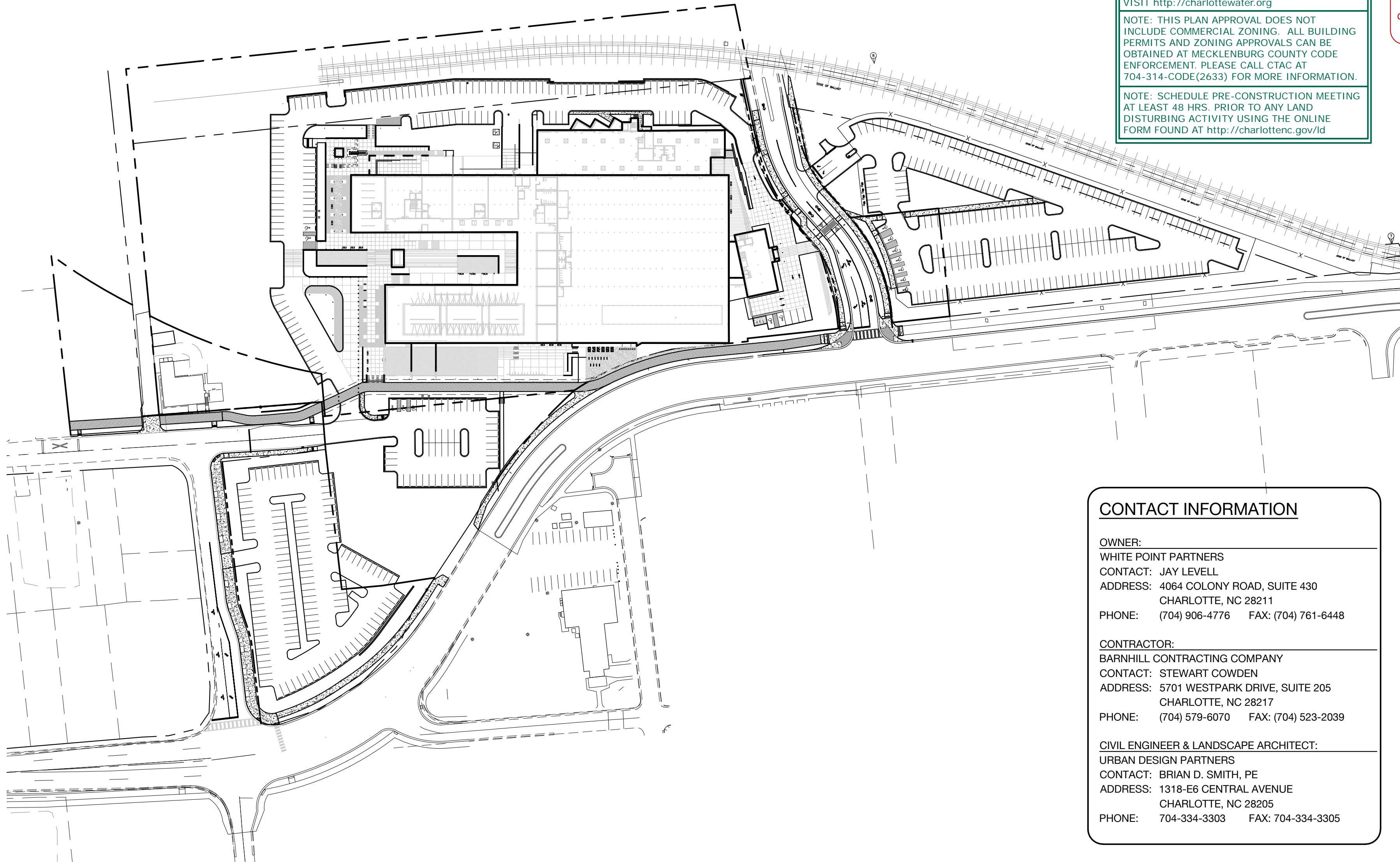


GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM).
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CLDSM#50.06.
5. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
6. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
8. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
9. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
10. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SIAD MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
11. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.
12. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST.
13. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
14. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).
15. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUITELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
16. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
17. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
18. NO BUILDINGS, PARKING SPACES OR MANUEVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
19. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMODATE THE ABOVE ITEMS OF THIS SECTION.
20. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CLDSM STD #50.05.
21. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
22. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
23. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
24. ALL ROAD IMPROVEMENTS ON E. 16TH STREET, N. BREVARD STREET AND PARKWOOD AVENUE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
25. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
26. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
27. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
28. CURB AND GUTTER SHOW ON PLANS ALONG E. 16TH STREET, N. BREVARD STREET AND PARKWOOD AVENUE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
29. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
30. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
31. ALL ROAD IMPROVEMENTS AT ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
32. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
33. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
34. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
35. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
36. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
37. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
38. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
39. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4023) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM](http://www.charmeck.org/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM)
39. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
40. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704)432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704)432-1562 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
41. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ, 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.



CATS REQUIREMENTS/NOTES:

CRANE USE – CONTRACTOR SHALL NOT LIFT OR SWING ANY MATERIALS OVER THE LIGHT RAIL RIGHT OF WAY (ROW) AT ANY TIME. CRANE COUNTERWEIGHT MAY SWING OVER THE RAIL ROW AND THE CRANE MAY BE ALLOWED TO WEATHER-VANE OVER THE RAIL ROW DURING PERIODS OF NON-USE. CONTRACTOR SHALL SUBMIT A CRANE RADIUS SITE PLAN TO CATS RAIL OPERATIONS FOR REVIEW AND APPROVAL AT LEAST THREE (3) WEEKS BEFORE CRANE BASE IS INSTALLED WITHIN THE CONTRACTOR'S SITE/WORK ZONE. CATS'S RAIL OPERATIONS WILL MAKE EVERY REASONABLE EFFORT TO WORK WITH THE CONTRACTOR TO COORDINATE THE IMPLEMENTATION OF FLAGGING PERSONAL AND THE "TIME LIMITATIONS" REQUIRED FOR SPECIAL LOAD/LIFTING REQUIREMENTS AND SPECIAL CIRCUMSTANCES WHERE LOADS WILL BE LIFTED OVER THE ROW ONLY UNDER PRIOR APPROVAL OF CATS'S RAIL OPERATIONS AND SAFETY & SECURITY AND DURING NON-REVENUE SERVICE.

RIGHT OF WAY (ROW) PROTECTION – CONTRACTOR SHALL INSTALL OR CONSTRUCT SAFETY AND PROTECTIVE MEASURES TO PROTECT THE LIGHT RAIL ROW FROM ANY DAMAGE (INCLUDING BUT NOT LIMITED TO FALLING DEBRIS) RESULTING FROM THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN IN THIS PLAN SET. IF FENCE MATERIAL IS TO BE INSTALLED BY CONTRACTOR BETWEEN THE WORK ZONE AND THE NEAREST LIGHT RAIL STATIONS, TRACK/RAIL ROW AS A TEMPORARY BARRIER, CATS REQUIRES THAT THE FENCE MATERIAL BE INSTALLED AT LEAST 8' FROM THE NEAREST TRACK. IF THIS DIMENSION CANNOT BE ACHIEVED, CONTRACTOR SHALL NOTIFY CATS AND REQUEST A SITE REVIEW. THE FENCING SHALL BE AT LEAST 8' IN HEIGHT AND SHALL BE SECURED OR DRILLED INTO THE GROUND PLANE. THE CONTRACTOR IS REQUIRED TO INSPECT AND MAINTAIN THE FENCE DAILY TO ENSURE 8' DISTANCE FROM THE NEAREST TRACK OR INFRASTRUCTURE IS MET ON A CONTINUOUS BASIS.

COMPLETION OF AGREEMENTS – CONTRACTOR'S WORK WITHIN THE ROW SHALL NOT COMMENCE UNTIL ALL AGREEMENTS BETWEEN PROPERTY OWNER AND/OR CONTRACTOR AND CATS HAVE BEEN COMPLETED. THESE AGREEMENTS INCLUDE ADDITIONAL INSURANCE COVERAGE THAT MUST BE PROVIDED TO THE CITY/CATS WHILE WORKING ADJACENT TO OR WITHIN THE ROW. THESE AGREEMENTS ALSO DESCRIBE THE PROCESS FOR GAINING FINAL APPROVAL FROM CATS TO ENTER THE ROW TO COMMENCE CONSTRUCTION OF THE IMPROVEMENTS. CONTRACTOR'S WORK SHALL NOT IMPEDE OR IMPACT LIGHT RAIL OPERATIONS AT ANY TIME. DEVELOPER/PROPERTY OWNER SHALL BE REQUIRED TO MAINTAIN THE NEW IMPROVEMENTS THAT MAY BE INSTALLED WITHIN THE CITY/CATS ROW. A SEPARATE AGREEMENT (GENERALLY REFERRED TO AS A LICENSE AGREEMENT) MUST BE COMPLETED PRIOR TO THE START OF CONSTRUCTION.

ACCESS TO LIGHT RAIL ROW – UPON COMPLETION OF THE AGREEMENTS NOTED ABOVE, CONTRACTOR SHALL CONTACT CATS PRIOR TO ENTERING THE ROW TO BEGIN CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE LOCATED WITHIN THE ROW. A MINIMUM OF TWO (2) WEEKS ADVANCE NOTICE IS REQUIRED AND CONTRACTOR MUST ATTEND CATS WEEKLY ROW ACCESS MEETING WHICH IS HELD EVERY WEDNESDAY AT 1:30 PM AT CATS VEHICLE MAINTENANCE FACILITY (VMF) LOCATED AT 3200 SOUTH BLVD., 3RD FLOOR. DURING THIS MEETING, CONTRACTOR SHALL DESCRIBE THE PROPOSED WORK WITHIN AND/OR ADJACENT TO THE ROW AND CONTRACTOR'S PROPOSED SCHEDULE FOR ROW ACCESS. ROW ACCESS MUST THEN BE SUBMITTED TO CATS RAIL OPERATIONS THROUGH CONTRACTOR'S SUBMITTAL OF CATS ROW ACCESS FORM. CONTRACTOR'S PROPOSED WORK SCHEDULE AND REQUESTED ROW ACCESS IS NOT APPROVED UNTIL THE ACCESS FORM HAS BEEN SIGNED AND RETURNED TO CONTRACTOR BY CATS RAIL OPERATIONS. CONTACT MARIE DARBÝ AT MDARBÝ@CHARLOTTENC.GOV (704.432.5042) FOR COPIES OF THE ROW ACCESS FORM AND IF THERE ARE ANY QUESTIONS RELATED TO THE WEEKLY ROW ACCESS MEETING. ALL SAFETY MEASURES REQUIRED BY CATS SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE ROW PRIOR TO ENTERING THE ROW TO COMMENCE THE WORK OUTLINED IN THESE PLANS. ROADWAY WORKER PROTECTION PROGRAM (RWPP) TRAINING MUST BE COMPLETED BY ALL PERSONNEL (CONTRACTOR OR SUB-CONTRACTORS) THAT WILL PERFORM WORK OR

BE PRESENT IN THE ROW. THE RWPP TRAINING IS PROVIDED EVERY FRIDAY MORNING AT 9 A.M. AT CATS NORTH DAVIDSON BUS FACILITY'S LOCATED AT 901 NORTH DAVIDSON STREET. THIS TRAINING IS CONDUCTED BY CATS SAFETY AND SECURITY AT NO COST TO CONTRACTOR. SPOT INSPECTIONS BY CATS SAFETY AND SECURITY PERSONNEL THAT RESULT IN RWPP VIOLATIONS SHALL CAUSE WORKERS TO BE REMOVED FROM THE RAIL ROW AND THE POSSIBLE TEMPORARY SUSPENSION OF WORK. CONTACT DAVID MOSKOWITZ AT DMOSKOWITZ@CHARLOTTENC.GOV (704.432.5071) REGARDING THE WEEKLY RWPP TRAINING.


FLAGGING & OCS – CONTRACTOR IS ADVISED THAT FLAGGING PROTECTION IS REQUIRED BY CATS WHEN CONTRACTOR IS WORKING WITHIN 15 FEET OF THE NEAREST LIGHT RAIL TRACK. THE NEED FOR FLAGGERS SHOULD BE DISCUSSED AND COORDINATED WITH CATS AT THE WEEKLY ROW ACCESS MEETING TO DETERMINE IF THE PROJECT DEPICTED IN THESE PLANS WARRANTS THE USE OF FLAGGERS. IF IT IS DEEMED THAT FLAGGERS ARE REQUIRED, CATS WILL PROVIDE THE FLAGGERS AND CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE FLAGGING PROTECTION SERVICES. IN ORDER TO REDUCE THE AMOUNT OF TIME THAT FLAGGING SERVICES ARE REQUIRED, CONTRACTOR SHOULD CONSIDER THE INSTALLATION OF A TEMPORARY PROTECTIVE FENCE (CHAIN LINK OR OTHER SIMILAR TYPE) BETWEEN THE WORK AREA AND THE RAIL ROW. CONTRACTOR SHALL MAINTAIN THE FENCE, ONCE INSTALLED, SO THAT IT DOES NOT CAUSE ANY IMPACT TO LIGHT RAIL VEHICLE MOVEMENT OR OPERATION OF THE LIGHT RAIL SYSTEM. ADDITIONALLY, IF THE CONTRACTOR IS WORKING WITHIN 10 FEET OF THE LIGHT RAIL OVERHEAD CATENARY SYSTEM ("OCS") (WHICH INCLUDES MESSENGER WIRE, CATENARY WIRE, SPAN WIRE, AND POLES), SPECIAL ARRANGEMENTS TO DE-ENERGIZE THE OCS SHALL BE MADE IN ADVANCE WITH CATS THROUGH A SEPARATE RED TAG PERMIT AND ALL COSTS ASSOCIATED WITH DE-ENERGIZING (AND SUBSEQUENTLY RE-ENERGIZING) THE OCS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

REMOVAL AND/OR USE OF EXISTING SIDEWALK PARALLEL TO LIGHT RAIL TRACKS (AKA THE EXISTING RAIL TRAIL) IF APPLICABLE. – PRIOR TO THE REMOVAL AND/OR USE OF THE EXISTING ASPHALT TRAIL (AND/OR EXISTING CONCRETE SIDEWALK) AND THE EXISTING FENCE LOCATED PARALLEL TO THE LIGHT RAIL TRACKS WITHIN THE RAIL ROW, CONTRACTOR SHALL PROVIDE A PROPOSED SIGNAGE PLAN TO CATS THAT WILL PROPERLY NOTIFY PEDESTRIANS OF TRAIL CLOSURE DURING CONSTRUCTION. PROPOSED SIGNAGE PLAN SHALL INCLUDE PROPOSED TYPE OF SIGNS AND MESSAGING; PROPOSED LOCATION OF SIGNS AND PROPOSED TEMPORARY DETOUR ROUTES AND SIGNAGE TO DIRECT PEDESTRIANS. ONCE THE SIGNAGE PLAN IS APPROVED, CONTRACTOR SHALL POST SIGNS AND BARRIERS AT EACH END OF THE TRAIL/WORK ZONE AS DIRECTED BY THE CITY/CATS INDICATING THAT TRAIL IS CLOSED TEMPORARILY AND REDIRECTING PEDESTRIANS TO TEMPORARY DETOUR ROUTES. ALL SIGNS AND BARRIERS SHALL BE REMOVED PROMPTLY UPON ACCEPTANCE OF CONTRACTOR'S WORK BY THE CITY.

NOISE – THE PROPERTY OWNER IS REMINDED THAT LIGHT RAIL OPERATIONS MAY RESULT IN ADDITIONAL NOISE ADJACENT TO THE PROPOSED BUILDING(S) DEPICTED IN THESE PLANS. THE PROPERTY OWNER IS ENCOURAGED TO CONSIDER THE INCORPORATION OF ENHANCED SOUND PROOFING AND/OR OTHER MEASURES IN THE DESIGN AND CONSTRUCTION OF THE BUILDING(S) DEPICTED IN THESE PLANS TO MITIGATE ANY NOISE THAT MAY OCCUR AS A RESULT OF ADJACENCY TO LIGHT RAIL OPERATIONS.

CONTACT – OTHER THAN AS NOTED ABOVE, CONTACT THE CATS RAIL OPERATIONS CONTROL CENTER/ROCC WHICH IS AVAILABLE 24/7 AT 704.432.5040 OR 704.432.7622.

GENERAL: CONTRACTOR SHALL ABIDE BY ALL GUIDELINES AND REQUIREMENTS PUT FORTH IN THE CATS RAIL SAFETY CONSTRUCTION MANUAL. ANY VIOLATIONS OF THE ABOVE TERMS AND CONDITIONS IMPACTING CATS LIGHT RAIL OPERATIONS MAY RESULT IN THE IMMEDIATE REMOVAL OF THE CONTRACTOR FROM THE ROW.



FINAL APPROVAL

PROJECT NUMBER: SDRU-2017-00013

ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

PLANNING

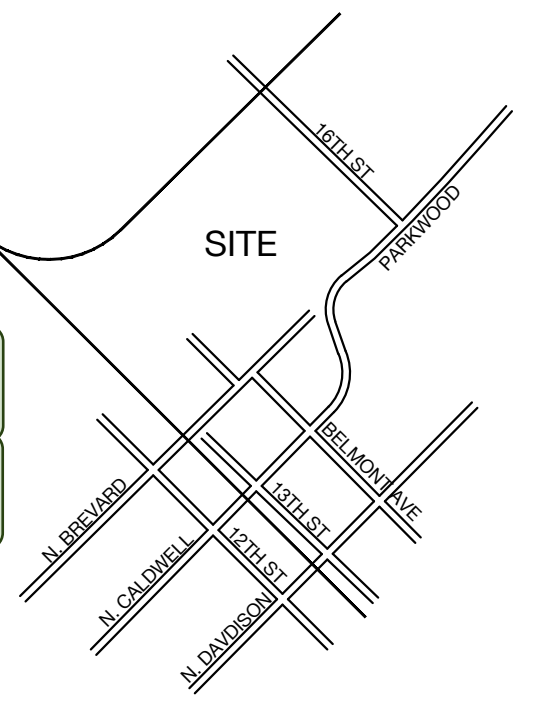
UMUDD / MUDD / PED / TOD

APPROVED

APPROVED

APPROVED

APPROVED



SITE

VICINITY MAP

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE CHARLOTTE WATER. FOR MORE INFORMATION, PLEASE CALL 704-336-5499 OR VISIT <http://charlottewater.org>

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-314-CODE(2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 7-31-2018

STREET INDEX

CONTACT INFORMATION

OWNER:

WHITE POINT PARTNERS

CONTACT: JAY LEVELL

ADDRESS: 4064 COLONY ROAD, SUITE 430

CHARLOTTE, NC 28211

PHONE: (704) 906-4776 FAX: (704) 761-6448

CONTRACTOR:

BARNHILL CONTRACTING COMPANY

CONTACT: STEWART COWDEN

ADDRESS: 5701 WESTPARK DRIVE, SUITE 205

CHARLOTTE, NC 28217

PHONE: (704) 579-6070 FAX: (704) 523-2039

CIVIL ENGINEER & LANDSCAPE ARCHITECT:

URBAN DESIGN PARTNERS

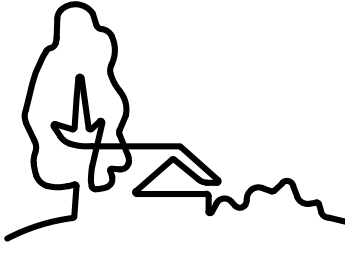
CONTACT: BRIAN D. SMITH, PE

ADDRESS: 1318-E6 CENTRAL AVENUE

CHARLOTTE, NC 28205

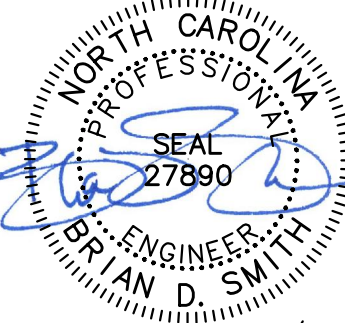
PHONE: 704-334-3303 FAX: 704-334-3305

C-1.0	Cover Sheet
C-1.1	Revision Sheet
C-2.0	Existing Conditions
C-3.0	Site Plan
C-3.1	Site Plan
C-3.2	Site Plan
C-4.0	Grading Plan
C-4.1	Grading Plan
C-4.2	Grading Plan
C-4.3	Storm Drainage Plan A
C-4.4	Storm Drainage Plan B
C-4.5	Storm Drainage Area Plan
C-4.6	CATS Sections Plan
C-4.7	CATS Sections Plan
C-4.8	CATS Sections Plan
C-4.9	CATS Sections Plan
C-4.10	CATS Sections Plan
C-4.11	CATS Sections Plan
C-5.0	Utility Plan
C-6.0	Erosion Control Plan A
C-6.1	Erosion Control Plan B
C-6.2	Erosion Control Plan A
C-6.3	Erosion Control Plan B
C-7.0	Site Specifications & Details
C-7.1	Site Specifications & Details
C-7.2	Site Specifications & Details
C-7.3	Site Specifications & Details
C-7.4	Site Specifications & Details
C-8.0	Intersection Sight Distance
C-8.1	Intersection Sight Distance
C-8.2	Intersection Sight Distance
C-8.3	Intersection Sight Distance
C-8.4	Intersection Sight Distance
C-8.5	Intersection Sight Distance
C-8.6	Intersection Sight Distance
C-8.7	Intersection Sight Distance
C-8.8	Turning Movement
C-8.9	Turning Movement
LS-1.0	Landscape Plan
LS-1.1	Landscape Plan Enlargement A
LS-1.2	Landscape Plan Enlargement BC
LS-2.0	Landscape Schedule and Details
RD-1.0	16th Street Road Improvement Plan
RD-1.1	16th Street Plan & Profile
RD-1.2	16th St Road Cross-Sections
RD-1.3	16th St Road Cross-Sections
RD-1.4	16th St Road Cross-Sections
RD-2.0	Belmont Road Improvements
EX-1.0	Conduit Exhibit
RZ-1.0	Rezoning Plan
RZ-2.0	Rezoning Plan
RZ-3.0	Rezoning Plan



URBAN DESIGN PARTNERS

1318-e6 central ave. P 704.334.3303  
charlotte, nc 28205 F 704.334.3305  
urbandesignpartners.com  
nc firm no: P-0418  
sc cca no: C-03044



07/10/18

White Point Partners, LLC

Attn: Jay Levell  
4064 Colony Road, Suite 430  
Charlotte, NC 28211

Tompkins Hall  
Phase 2  
Cover Sheet

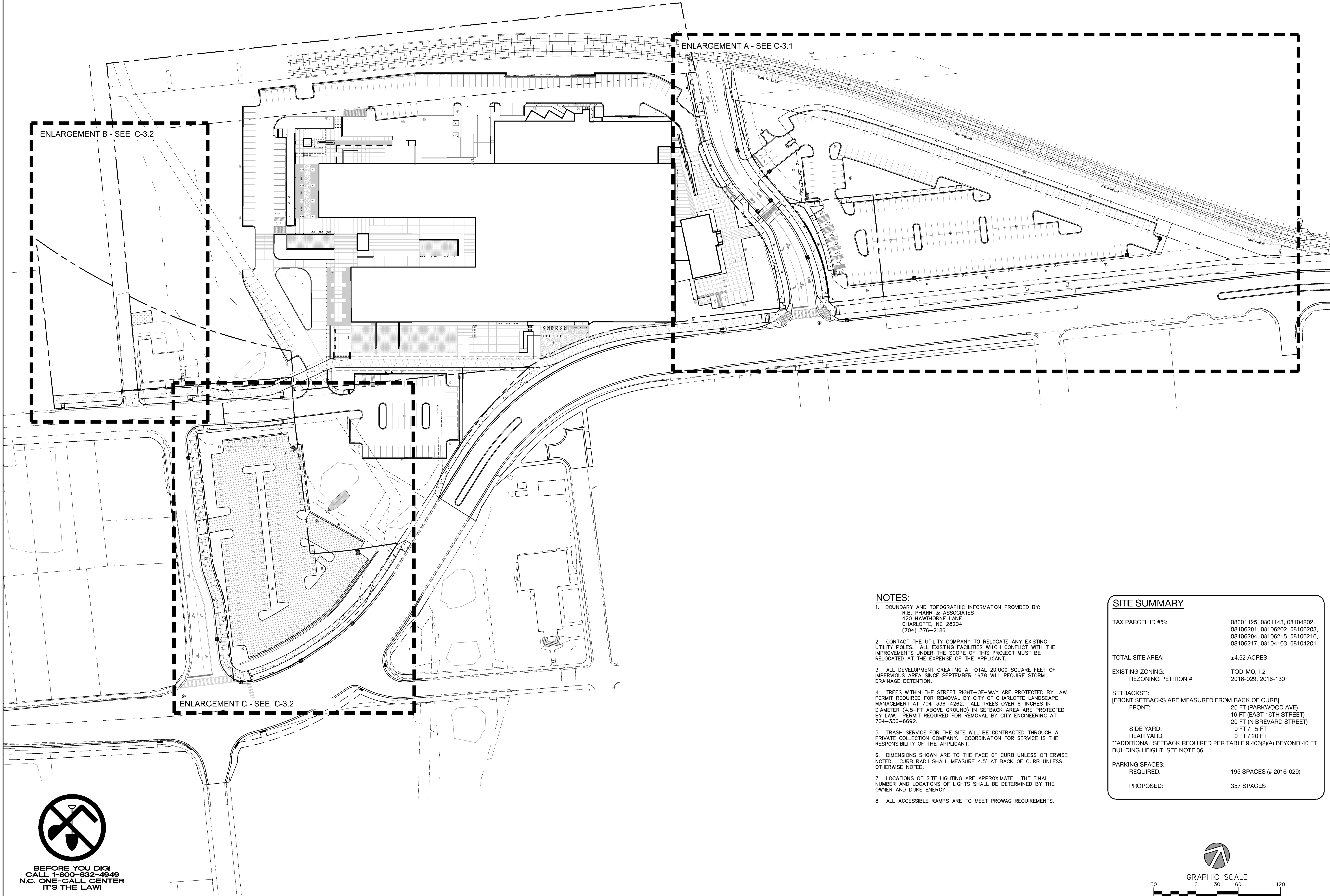
340 E. 16th Street Charlotte, NC 28205

NO.	DATE:	BY:	REVISIONS:
1	02/19/18	UDP	PER CITY COMMENTS
2	03/15/18	UDP	PER DEVELOPERS AGREEMENT
3	04/11/18	UDP	PER CDOT COMMENTS
4	06/13/18	UDP	PER CITY COMMENTS
5	07/10/18	UDP	PER CATS COMMENTS

Project No: 15-077  
Date: October 13, 2017  
Designed By: UDP  
Drawn By: UDP  
Scale: N.T.S.  
Sheet No:

C-1.0





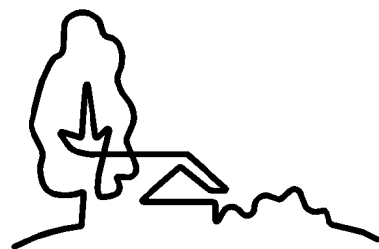
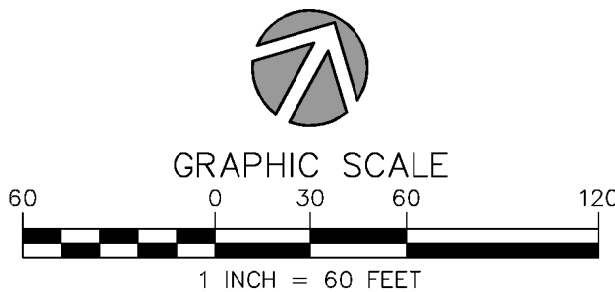
BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:  
R.B. PHARR & ASSOCIATES  
420 HAWTHORNE LANE  
CHARLOTTE, NC 28204  
(704) 376-2186
2. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
3. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
4. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE. LANDSCAPE MANAGEMENT AT 704-336-4282. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
5. TRASH SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
6. DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADI SHALL MEASURE 4.5' AT BACK OF CURB UNLESS OTHERWISE NOTED.
7. LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE OWNER AND DUKE ENERGY.
8. ALL ACCESSIBLE RAMPS ARE TO MEET PROWAG REQUIREMENTS.

SITE SUMMARY

TAX PARCEL ID #'S:	08301125, 0801143, 08104202, 08106201, 08106202, 08106203, 08106204, 08106215, 08106216, 08106217, 08104103, 08104201
TOTAL SITE AREA:	±4.82 ACRES
EXISTING ZONING:	TOD-MO, I-2
REZONING PETITION #:	2016-029, 2016-130
SETBACKS**:	
[FRONT SETBACKS ARE MEASURED FROM BACK OF CURB]	
FRONT:	20 FT (PARKWOOD AVE) 16 FT (EAST 16TH STREET) 20 FT (N BREVARD STREET)
SIDE YARD:	0 FT / 5 FT
REAR YARD:	0 FT / 20 FT
**ADDITIONAL SETBACK REQUIRED PER TABLE 9.406(2)(A) BEYOND 40 FT BUILDING HEIGHT, SEE NOTE 36	
PARKING SPACES:	
REQUIRED:	195 SPACES (# 2016-029)
PROPOSED:	357 SPACES



URBAN  
DESIGN  
PARTNERS

1318-e6 central ave. P 704.334.3303  
charlotte, nc 28205 F 704.334.3305  
urbanidesignpartners.com  
nc firm no: P-0418  
sc coa no: C-03044



White Point  
Partners, LLC

Attn: Jay Level  
4004 Colony Road, Suite 430  
Charlotte, NC 28211

Tompkins Hall  
Phase 2  
Site Plan  
Overall

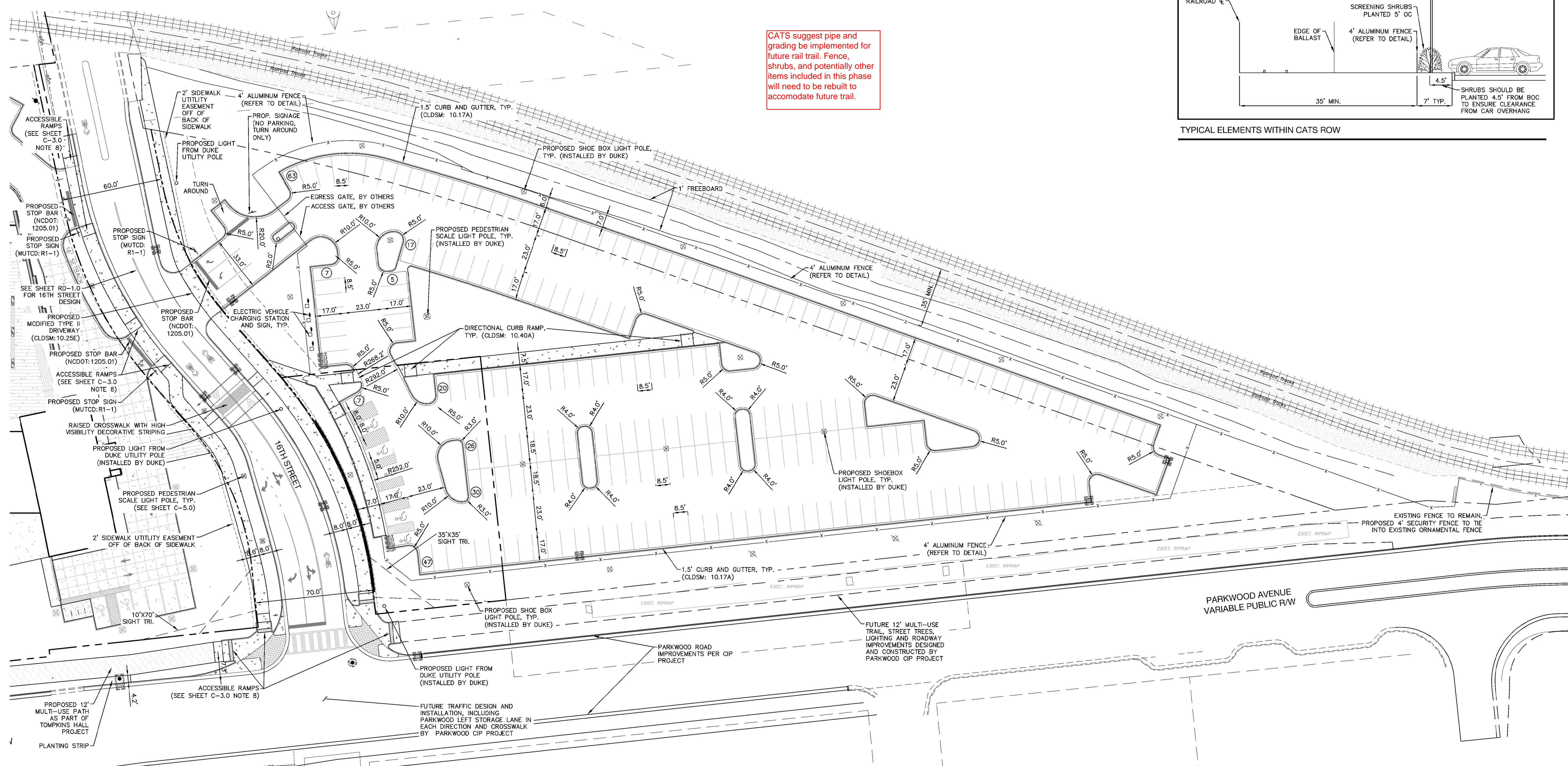
340 E. 16th Street Charlotte, NC 28205

NO.	DATE	BY	REVISIONS:
1	02/19/18	UDP	PER CITY COMMENTS
2	03/15/18	UDP	PER DEVELOPERS AGREEMENT
3	04/11/18	UDP	PER CDD COMMENTS
4	06/13/18	UDP	PER CITY COMMENTS
5	07/10/18	UDP	PER CATS COMMENTS

Project No: 15-077  
Date: October 13, 2017  
Designed by: UDP  
Drawn By: UDP  
Scale: 1"=60'  
Sheet No:

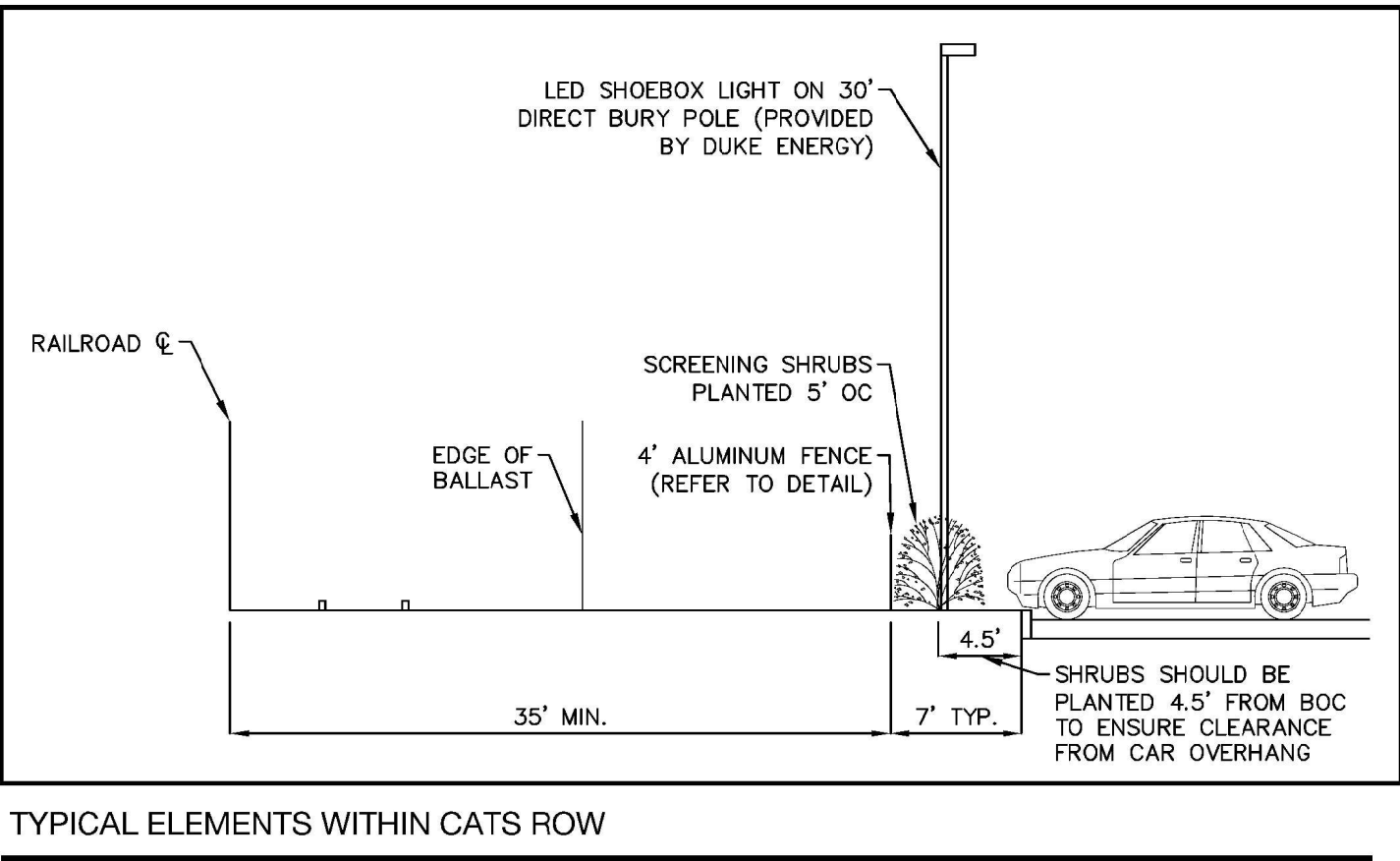
C-3.0





Contractor agrees to move fence and light to 4' off back of curb with shrubs removed. 6' opaque fence substituted for screening requirement. Contractor agrees to send CATS updated plans to ensure compliance upon revision of plans.

CATS suggest pipe and grading be implemented for future rail trail. Fence, shrubs, and potentially other items included in this phase will need to be rebuilt to accommodate future trail.



ENLARGEMENT A

**PARKING SUMMARY**

PARKING PROVIDED ON SITE PLAN: 222 SPACES  
HANDICAP ACCESSIBLE SPACES: 7 (2 OF 7 ARE VAN ACCESSIBLE)



BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

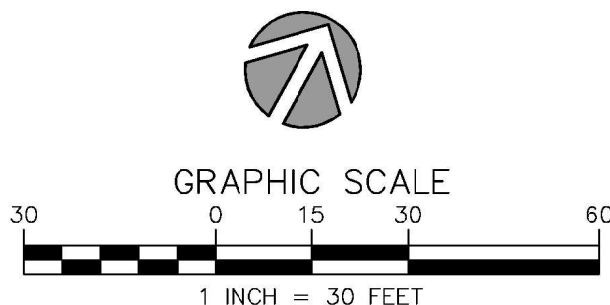
PAVEMENT LEGEND:

- GRAVEL (WASHED #57 STONE)
- 4" THICK CONCRETE
- STAMP PAVED CONCRETE

NOTES:

1. INSTALLATION OF IMPROVEMENTS BY DEVELOPER DEPENDENT UPON AN EXECUTED DEVELOPER'S AGREEMENT WITH THE CITY OF CHARLOTTE. ASENT WHICH IT IS EXPRESSLY UNDERSTOOD DEVELOPER WILL NOT BE REQUIRED TO INSTALL IMPROVEMENTS AND/OR HAVE C.O. BE DEPENDENT UPON SUCH IMPROVEMENTS BEING MADE. IN THE EVENT THAT THE DEVELOPER DOES NOT INSTALL THESE IMPROVEMENTS, THEN THE IMPROVEMENTS WILL BE THE RESPONSIBILITY OF THE CITY OF CHARLOTTE.
2. SEE SHEET EX-1.0 CONDUIT EXHIBIT FOR DUKE INSTALLED LIGHTING PLAN AND CONDUIT INFORMATION.

URBAN DESIGN TO PROVIDE SITE  
CONDITION SPECIFIC ACCESSIBLE RAMP  
DRAWINGS FOR NON CLDSM STANDARD  
RAMP AREAS PRIOR TO CONSTRUCTION



NO.	DATE	BY	REVISIONS:
1	02/19/18	UDP	PER CITY COMMENTS
2	03/15/18	UDP	PER DEVELOPERS AGREEMENT
3	04/11/18	UDP	PER CDOT COMMENTS
4	06/13/18	UDP	PER CITY COMMENTS
5	07/10/18	UDP	PER CATS COMMENTS

Project No: 15-077  
Date: October 13, 2017  
Designed by: UDP  
Drawn By: UDP  
Scale: Value  
Sheet No:

C-3.1

**URBAN  
DESIGN  
PARTNERS**

1318-e6 central ave. P. 704.334.3303  
charlotte, nc 28205 F. 704.334.3305  
urbanesignpartners.com  
nc firm no: P-0418  
se coa no: C-03044

07/10/18

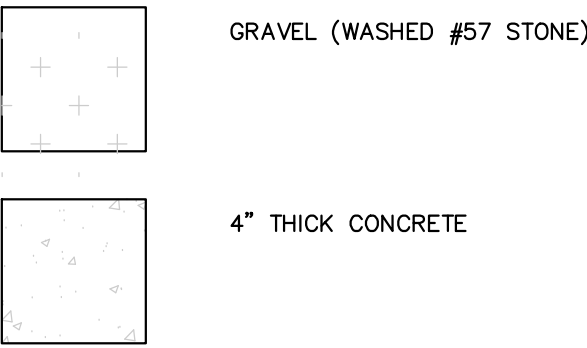
**White Point  
Partners, LLC**

Attn: Jay Leavel  
4004 Colony Road, Suite 430  
Charlotte, NC 28211

**Tompkins Hall  
Phase 2  
Site Plan  
Enlargement A**  
340 E. 16th Street Charlotte, NC 28205

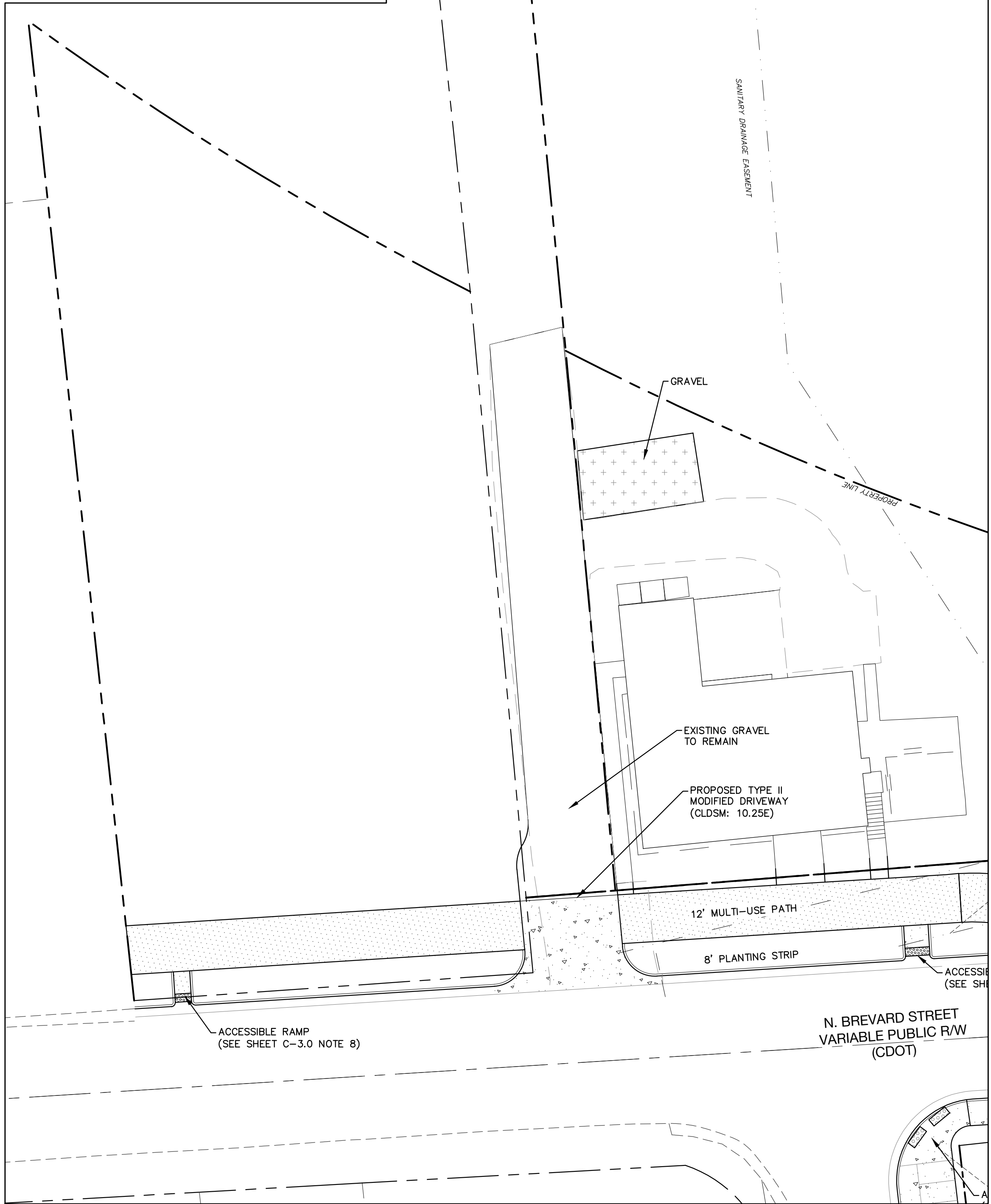


PAVEMENT LEGEND:

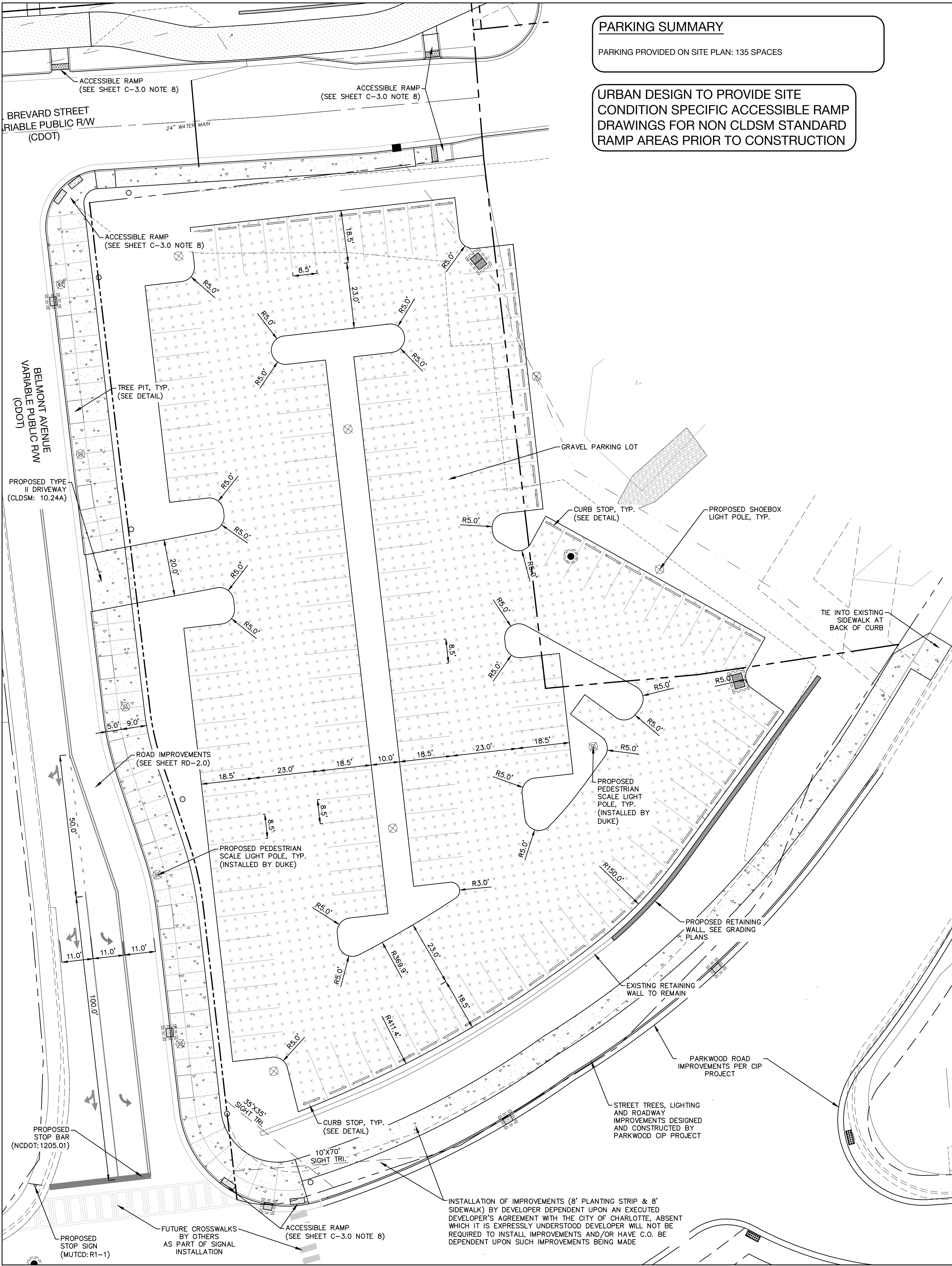


NOTES:

1. INSTALLATION OF IMPROVEMENTS BY DEVELOPER DEPENDENT UPON AN EXECUTED DEVELOPER'S AGREEMENT WITH THE CITY OF CHARLOTTE, ABSENT WHICH IT IS EXPRESSLY UNDERSTOOD DEVELOPER WILL NOT BE REQUIRED TO INSTALL IMPROVEMENTS AND/OR HAVE C.O. BE DEPENDENT UPON SUCH IMPROVEMENTS BEING MADE. IN THE EVENT THAT THE DEVELOPER DOES NOT INSTALL THESE IMPROVEMENTS, THEN THE IMPROVEMENTS WILL BE THE RESPONSIBILITY OF THE CITY OF CHARLOTTE.
2. SEE SHEET EX-1.0 CONDUIT EXHIBIT FOR DUKE INSTALLED LIGHTING PLAN AND CONDUIT INFORMATION.



ENLARGEMENT B

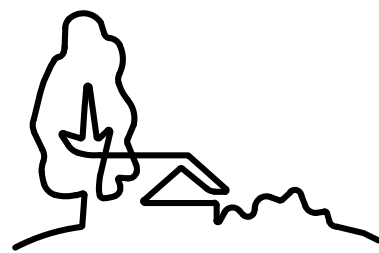


ENLARGEMENT C

PARKING SUMMARY

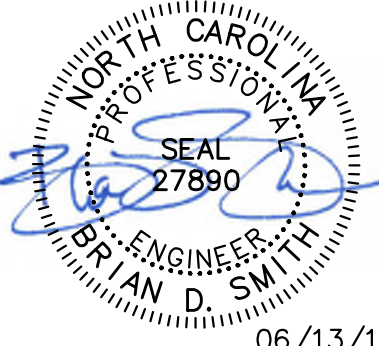
PARKING PROVIDED ON SITE PLAN: 135 SPACES

URBAN DESIGN TO PROVIDE SITE CONDITION SPECIFIC ACCESSIBLE RAMP DRAWINGS FOR NON CLDSM STANDARD RAMP AREAS PRIOR TO CONSTRUCTION



URBAN  
DESIGN  
PARTNERS

1318-e6 central ave. p. 704.334.3303  
charlotte, nc 28205 f. 704.334.3305  
urbanpartners.com  
nc firm no: P-0418  
sc coa no: C-03044



06/13/18

White Point  
Partners, LLC

Attn: Jay Level  
4064 Colony Road, Suite 430  
Charlotte, NC 28211

Tompkins Hall  
Phase 2  
Site Plan  
Enlargements B & C  
340 E. 16th Street Charlotte, NC 28205

NO.	DATE:	BY:	REVISIONS:
1	02/19/18	UDP	PER CITY COMMENTS
2	03/15/18	UDP	PER DEVELOPERS AGREEMENT
3	04/11/18	UDP	PER CDOT COMMENTS
4	06/13/18	UDP	PER CITY COMMENTS

Project No: 15-077  
Date: October 13, 2017  
Designed by: UDP  
Drawn by: UDP  
Scale: Value  
Sheet No:

C-3.2