CONSTRUCTION PLANS FOR THE OAKS AT OAKHURST

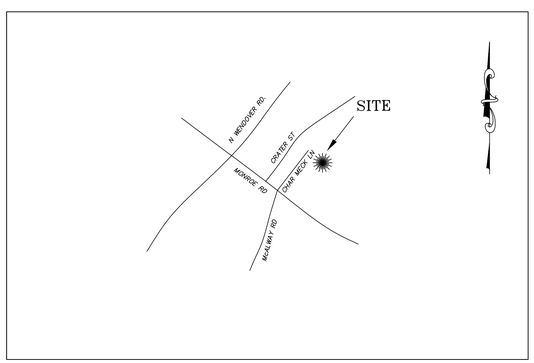
PLAN REVISION SUBMITTAL
MAY 2018

PCCO SUMMARY	
Original Parcel ID Number(s):	159-061-03,159-061-75,159-061-80
Development Type:	Single-Family
Subject to PCCO? Y/N	Yes
If NO, why?	
Watershed:	Central Catawba
Disturbed Area (ac):	3.45
Site Area (ac):	6.19
	DA#1
Total on-site Drainage Area (ac):	5.48
Existing Built-upon-area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	78,100
Proposed % BUA:	32.72
Density (High / Low)	High
Total Post-Project BUA for site:	78,100
Development or Redevelopment?	Development
Natural Area Required (ac):	0
Natural Area provided, total (ac):	0
Undisturbed Treed Natural Area Preserved (ac):	0
Total stream buffer protected on-site (ac):	0.33
Transit Station Area? Y/N	No
Distressed Business District? Y/N	Yes
Mitigation Type (if applicable)	1yr 24hr vol & 10yr 6hr peak
Natural Area mitigation? Y/N	N/A
Buffer Mitigation? Y/N	N/A
Total Phosphorous Mitigation? Y/N	N/A

DRAWING INDEX

SHEET NO.	DESCRIPTION
C1	EXISTING CONDITIONS
C1.1	SITE PLAN
C2	ROAD LAYOUT PLAN
C3	GRADING & STORM DRAINAGE PLAN
C4	STORM DRAINAGE PROFILES
C5	ROAD PROFILES
C6	EROSION CONTROL PLAN – PHASE 1
C6.1	EROSION CONTROL PLAN – PHASE 2
C7	SITE DETAILS 1
C8	SITE DETAILS 2
C9	SITE DETAILS 3
C9.1	SITE DETAILS 4
C10	DRY POND DETAILS
C11	LANDSCAPE DETAILS
C12	NOTES -- STREETS/SIDEWALKS/STORM DRAINAGE

CAROLINA LAND SOLUTIONS, PLLC
LICENSE NO. P-0904
PO BOX 49116 CHARLOTTE, NC 28277
PH 704.724.2235 FAX 704.544.3988



VICINITY MAP
NOT TO SCALE

DEVELOPER

BUCKHEAD CAPITAL, LLC.
2824 BRIARCLIFF PLACE
CHARLOTTE, NC 28207
CONTACT: KEN BROWDER
704.361.5751

ENGINEER

CAROLINA LAND SOLUTIONS, PLLC
PO BOX 49116
CHARLOTTE, NC 28277
CONTACT: JIM HELLER
704.724.2235

SURVEYOR

CAROLINA SURVEYORS, INC.
PO BOX 267
PINEVILLE, NC 28134
CONTACT: HUGH WHITE, JR.
704.889.7601

CHARLOTTE.

FINAL APPROVAL

PROJECT NUMBER: SDRSFR-2018-00019

ENGINEERING PCSO / DETENTION / DRAINAGE PLAN	*APPROVED* *By Jack Fulghum at 10:36 am, Jul 03, 2018*	
EROSION CONTROL	*APPROVED*	As Noted
URBAN FORESTRY TREE ORDINANCE	*APPROVED*	
CDOT Isaiah Washington	*APPROVED*	As Noted

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT http://charlottenc.gov/ld

REVISION
APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 7-3-2018

CALL NC ONECALL BEFORE YOU DIG
STOP
1-800-632-4949
AVOID UTILITY DAMAGE

ABBREVIATIONS

EOP	EDGE OF PAVEMENT
DE	DRAINAGE EASEMENT
EL.	ELEVATION
EXIST.	EXISTING
FIN.	FINISH
HP	HIGH POINT
LP	LOW POINT
BOC	TOP BACK OF CURB
RCP	REINFORCED CONCRETE PIPE
PVI	POINT VERTICAL INTERSECTION
BVCS	BEGIN VERTICAL CURVE STATION
BVCE	BEGIN VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EVCE	END VERTICAL CURVE ELEVATION
AD	ANGLE DEFLECTED
PC	POINT OF CURVE
PT	POINT OF TANGENT
R	RADIUS
L	LENGTH OF CURVE
C/L	CENTERLINE

NORTH CAROLINA PROFESSIONAL SEAL 016910 ENGINEER JAMES W. HELLER, JR.

5/14/2018

12-14-2017 REV 1 – Response to cycle 1 plan review

THIS LINE IS ONE INCH LONG WHEN PLOTTED FULL SCALE

Please update your CDOT notes using the most up-to-date notes provided here:
INCLUDING PHONE NUMBERS
-Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation/North Carolina Department of Transportation before installation. For City of Charlotte maintained streets, contact CDOT at (704) 336-3888.
-Any work within the City's R/W that requires closure of a sidewalk or travel lane must be approved by CDOT and will require a R/W Use Permit or R/W Lease depending upon the proposed duration of closure. These approvals are in addition to site approvals and should be coordinated with CDOT prior to construction.
Contractor shall contact CDOT at (704) 432-1562 at least 5 business days prior to beginning work for impacts less than 30 days. Contractor shall contact CDOT at (704) 336-8348 as soon as possible for impacts greater than 30 days. Every effort shall be made to construct improvements with minimal impact to drivers and pedestrians.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jordi, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60- 90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/ developer
- Developer to contact CDOT (Anthony Mendez: 704-336-4971) during site plan preparation to discuss street lighting requirements, if any, for this project. Coordinate with Duke Energy and CDOT as necessary to determine lighting levels, lighting layout and requirements for installation.

GENERAL NOTES:

1. Parcel Identification Numbers : 159-06-103, 159-06-175, and 159-06-180
2. Total project area: 6.19± acres
3. Current zoning of this property, from Char-Meck GIS, is R-5 which has the following standards:
   Minimum Lot Width: 50' Front setback: 17' Side yard: 5' Rear yard: 35' Max. Height: 40'
   Minimum Lot Area: 6,000 sq.ft. Garage setback: 20'
4. Property line and other location information based on survey by Carolina Surveying, Inc. dated September 25, 2017.
5. Lot lines, dimensions, and lot areas shown are approximate and subject to change based on final survey
7. FEMA Flood Insurance Rate Map (FIRM) 3710456300K dated February 19, 2014 shows these parcels located in Zone X and are not located in a FEMA/Community floodplain.
8. Maintenance of the tree save area on each lot will be the responsibility of the lot owner.

IMPERVIOUS CALCULATIONS

BUILDING AREA (16X2,900)	46,400 SQ. FT.
NEW ROAD	24,400 SQ. FT.
NEW SIDEWALK	7,300 SQ. FT.
TOTAL IMPERVIOUS AREA	78,100 SQ. FT. (1.793 AC.)
TOTAL % IMPERVIOUS	1.793/5.48 = 32.72%

THE SUBDIVISION IS LOCATED IN THE CENTRAL CATAWBA DISTRICT AND IS CONSIDERED HIGH DENSITY WITH A BUA GREATER THAN 24%.

TREE CALCULATIONS

LEVY WAY ROAD FRONTAGE	1,350 FT.
STUB STREET ROAD FRONTAGE	330 FT.
LEVY WAY TREES REQUIRED	1,350/40 = 34
LEVY WAY TREES PROVIDED	= 34
STUB STREET TREES REQUIRED	330/40 = 8
STUB STREET TREES PROVIDED	= 8

MAX. IMPERVIOUS PER LOT

BUILDING FOOTPRINT	2,350 SQ. FT.
	450 SQ. FT.
	100 SQ. FT.
DRIVEWAY	2,900 SQ. FT.
MISC.	
TOTAL	

TREE SAVE AREA

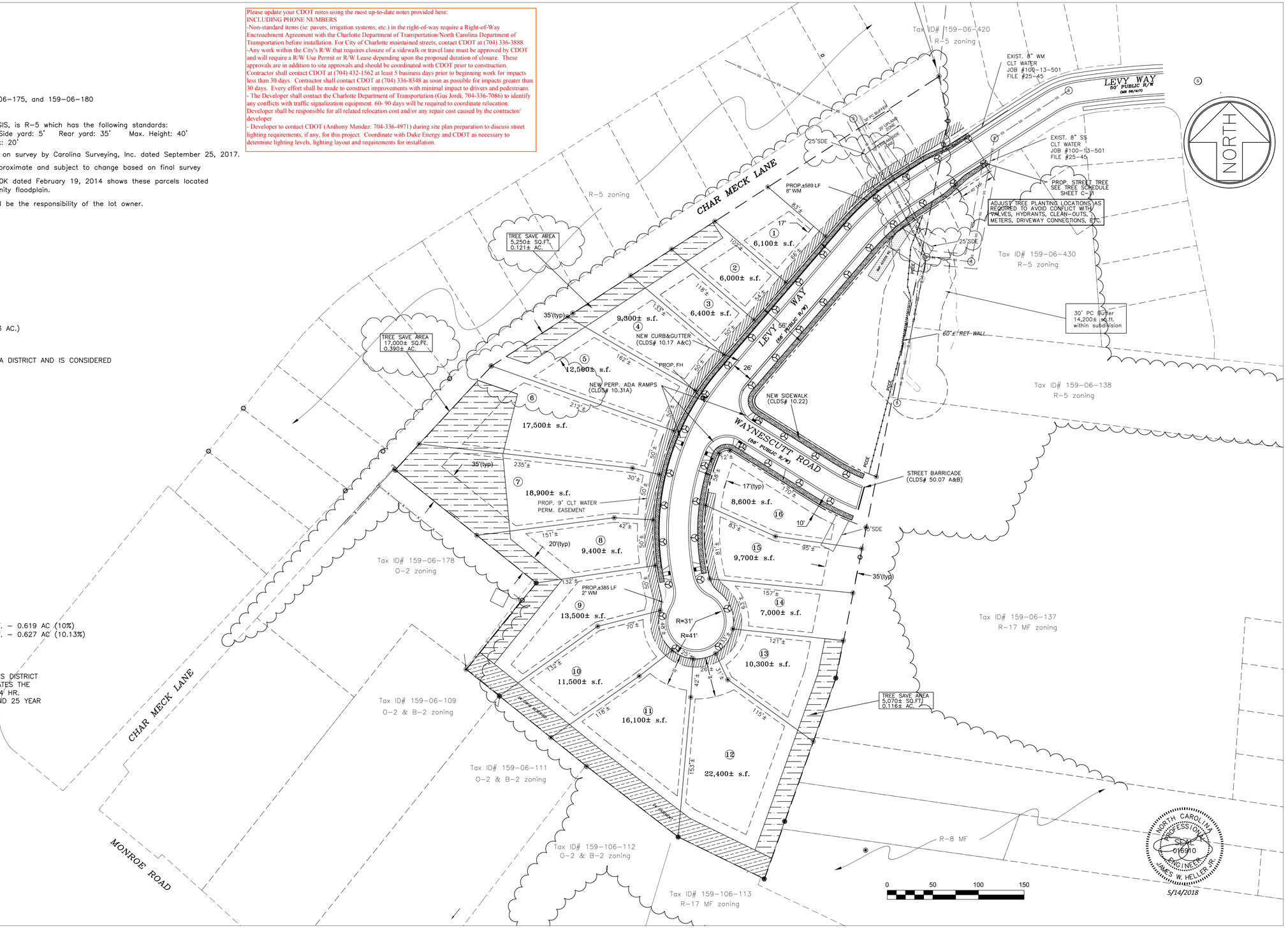
TOTAL SITE AREA	6.19 AC.
MIN. TREE SAVE AREA REQUIRED	26,964 SQ. FT. – 0.619 AC (10%)
TREE SAVE AREA PROVIDED	27,320 SQ. FT. – 0.627 AC (10.13%)

NATURAL AREA

THIS PROPERTY IS LOCATED IN A DISTRESSED BUSINESS DISTRICT AND QUALIFIES FOR A MITIGATION OPTION THAT ELIMINATES THE NATURAL AREA REQUIREMENT BY PROVIDING 1-YEAR 24 HR. VOLUME CONTROL, 10 YEAR 6-HR. PEAK CONTROL, AND 25 YEAR 6-HR. PEAK CONTROL.

DENSITY

ZONING R5
NO. UNITS ALLOWED BY ZONING: 6.19 x 5 = 30
NO. UNITS PROPOSED: 16



NORTH CAROLINA PROFESSIONAL SEAL 016910 ENGINEER JAMES W. HELLER JR.
5/14/2018

CAROLINA LAND SOLUTIONS, PLLC LICENSE NO. P-0904 PO BOX 49116 CHARLOTTE, NC 28277 704.724.2235	DATE: OCTOBER 2017 SCALE: 1" = 50' CHECKED BY: JWH DRAFTED BY: GDA	REVISIONS / DATE / BY 1ST CITY COMMENTS / 12-15-17 / GDA 2ND CITY COMMENTS / 1-30-18 / GDA APPROVED PLAN REV1 / 5-14-18 / GDA	PREPARED FOR: BUCKHEAD CAPITAL	SITE PLAN THE OAKS AT OAKHURST	SHEET C1.1