

# SHEET INDEX

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## REVEGETATED NATURAL AREA CRITERIA:

- ESTABLISHMENT OF A MINIMUM OF SIX INCHES OF TOP SOIL TO THE DISTURBED NATURAL AREA FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THIS MATERIAL MAY BE OBTAINED FROM ONSITE WHEN AVAILABLE.
- PLANTING OF A MINIMUM OF 36 TREES PER ACRE OF NATURAL AREA AS FOLLOWS:
  - TREES SHALL HAVE A MINIMUM CALIPER OF ONE AND ONE-HALF INCHES.
  - TREES SHALL BE OF A QUALITY SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK AND WILL BE SELECTED FROM A LIST OF ACCEPTABLE NATIVE SPECIES FOR PLANTING IN NATURAL AREA ESTABLISHED BY THE JURISDICTION.
  - PLANTED TREES SHALL CONTAIN A MIX OF AT LEAST THREE DIFFERENT SPECIES IN ROUGHLY EQUAL PROPORTIONS AND BE "LARGE MATURE SHADE TREE SPECIES" AS DEFINED BY THE CITY.
  - TREES SHALL BE PLANTED IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY.
  - TREES SHALL BE WARRANTED FOR A MINIMUM OF TWO YEARS FOLLOWING PLANTING AND ANY DEAD OR DISEASED TREES MUST BE REPLACED.
- THE AREA AROUND AND BETWEEN TREES MUST BE STABILIZED USING AN APPROVED VEGETATIVE GROUND COVER AND MULCH.
- THE SLOPE OF ANY GRADED OR DISTURBED AREA THAT IS DEDICATED FOR NATURAL AREA CANNOT EXCEED 3 TO 1.
- THE FLOW OF WATER ACROSS THE NATURAL AREA MUST BE CONTROLLED TO PREVENT SOIL EROSION OR MULCH DISTURBANCE.



FINAL APPROVAL  
PROJECT NUMBER: SDRSF-2017-00113

**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

**APPROVED**  
By mark chapman at 11:16 am, Apr 16, 2018

**APPROVED**

**APPROVED**

**APPROVED**

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 4-16-2018

**PROJECT INFORMATION**  
TOTAL SITE AREA: 9.54 AC.

C.O.S.: 114 ACRES (1195%)  
LOTS PROPOSED: 41  
PROPOSED ZONING: R-5 CD (PETITION #2017-85)  
TYPICAL LOT SIZE: 50' x 120'

LOT DENSITY:  
41 LOTS / 9.54 AC. = 4.3 D.U.A.

TAX PARCEL # 105-171-07, 105-171-89, 105-171-77

**TYPICAL LOT AND YARD DIMENSIONS**  
MIN. LOT SIZE 6,000 s.f.  
MIN. LOT WIDTH 50'  
MIN. FRONT SETBACK 23' (50' R/W)  
MIN. SIDEYARD AT R/W 13' (50' R/W)  
MIN. REAR YARD 45'  
MIN. SIDE YARD 5', 6' EXTERIOR

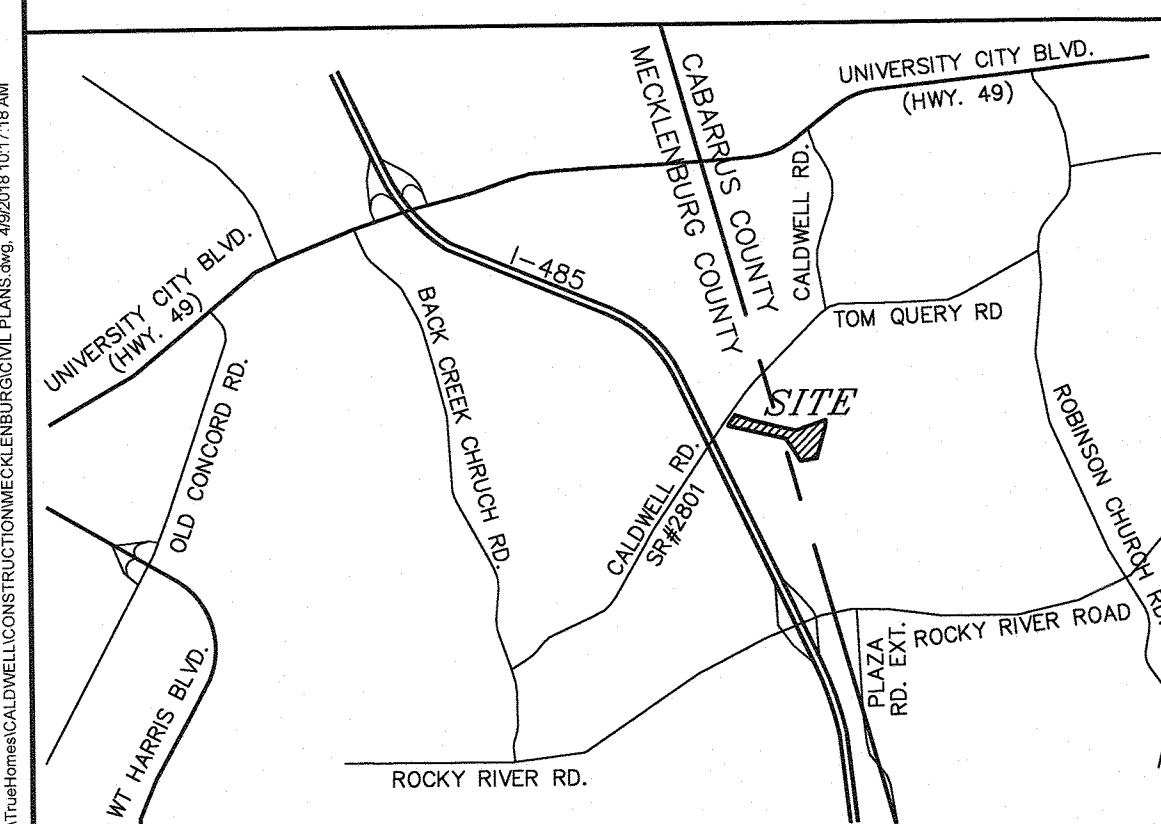
- SITE IS LOCATED IN THE YADKIN SOUTHEAST CATAWBA PC DISTRICT
- SITE IS LOCATED IN THE BACK WATERSHED BASIN

**PLANTED TREE SAVE AREAS:**  
SITE AREA: 9.54 ACRES  
EXISTING TREE CANOPY LESS THAN 5% OF THE TOTAL AREA  
REQUIRED TREE SAVE AREA TO BE PLANTED: 0.48 ACRES (5%)  
PLANTED TREE SAVE AREA PROVIDED: 0.66 ACRES (6.91%)

**REVEGETATED NATURAL AREA:**  
SITE AREA: 9.54 ACRES  
REVEGETATED NATURAL AREA REQUIRED: 167 AC. (17.5%)  
PLANTED TREE SAVE AREA: 0.66 ACRES  
REVEGETATED NATURAL AREA PROPOSED: 104 ACRES  
TOTAL REVEGETATED NATURAL AREA PROPOSED: 170 ACRES (17.82%)  
PROPOSED TREES: 104 ACRES (36 TREES/ACRE) = 38 TREES PROPOSED

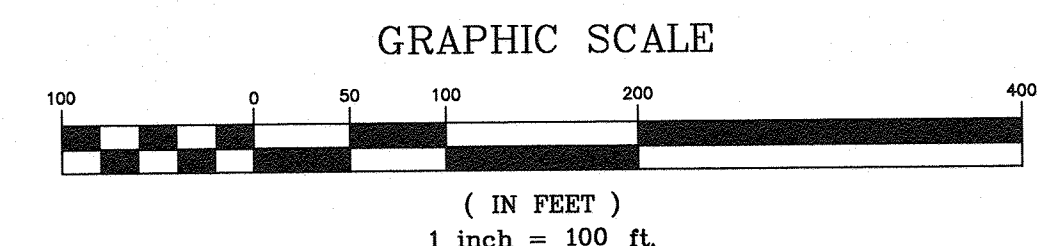


- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING PLANS, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAYMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CDD SPECIFICATIONS.
- SHIELDING WILL BE ACCORDING TO CDD TRENCHING STANDARDS PART 1008 SURFACE TO OR AS INDICED.

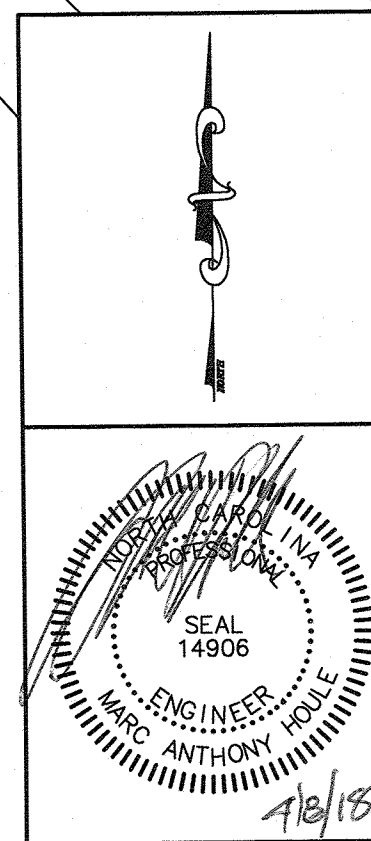


## GENERAL NOTES

- A preliminary plan approved under the provisions of the subdivision ordinance will be valid for a period of three years. For such approval to remain valid beyond three years, work on the site in furtherance of the plan is required.
- The owner wishes to save certain trees on the site. Place tree barricades as shown on the plan or as specified by the owner before construction activity begins.
- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements are to be coordinated with NCDOT/The City of Charlotte Engineering Department prior to construction in order to be dedicated as Public Roadways.
- Developer will provide street signs per CLDSM# 50.05 (8" signs only)
- Sight triangles shown are the minimum required.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- All construction shall conform to NCDOT/The City of Charlotte standards. In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector
- Curb and gutter shown on plans may be adjusted based upon field staking by NCDOT/City Engineering. Associated storm drainage may also require modification based upon field conditions.
- All storm pipe to be Class III RCP unless otherwise noted.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public street right-of-way must be approved by NCDOT/The City's Inspector prior to any backfill being placed. Backfill material must be approved by NCDOT/The City Inspector prior to placement of the material within the public street right-of-way.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- PE sealed shop drawings for retaining wall must be submitted to City Engineer prior to construction
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with th City/County Subdivision Ordinance.
- Prior to installation, PE sealed shop drawings for underground detention systems must be furnished to City of Charlotte Engineering for approval.
- Prior to CO, surveyor sealed as-built drawings of all water quality BMP's and detention systems must be provided.
- Prior to plat recordation, Offsite RW and/or construction easements are required to be obtained according to the guidelines of the "Offsite RW Acquisition Process". These needed RW and construction limits are clearly shown on the roadway improvement plan.
- Per Section 18-175(e) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Area and/or Post Construction Controls easements (PCCs) must be recorded prior to the issuance of the Certificate of Occupancy.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jodi, 704-336-7088) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer.
- Developer to contact the CDD/Transportation (Anthony Mendez: 704-336-4971) during site plan preparation to discuss street lighting requirements, if any, for this project. Coordinate with Duke Energy and CDOT as necessary to determine lighting levels, lighting layout and requirements for installation.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing to permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit <http://charmeck.org/Department/Transportation/Street/Maintenance/Home.htm>
- Non-standard items (ie. pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation/North Carolina Department of Transportation before installation. For City of Charlotte maintained streets, contact CDOT at (704) 336-3888.
- Sidewalk within the City's RW that requires replacement as part of the development and/or street improvements should be phased in such a way as to minimize the duration of the sidewalk closure to the extent feasible. The developer should make every attempt to have sidewalk repaired and reopened for public use within 30 days of removal.
- Any work within the City's RW that requires closure of the sidewalk or travel lane must be approved by CDOT and will require a RW use permit or RW Lease depending upon the proposed duration of closure. These approvals are in addition to site approvals and should be coordinated with CDOT prior to construction. Contractor shall contact CDOT at (704)336-1562 at least 5 business days prior to beginning work for impacts less than 30 days. Contractor shall contact CDOT at (704)336-8348 as soon as possible for impacts greater than 30 days. Every effort shall be made to construct improvements with minimal impact to drivers and pedestrians.
- Right-of-way closures longer than 30 days require a RW Lease agreement which will include the submitted a traffic control plan. Traffic control plans required through a lease agreement may be different from the on required during the Land Development plan review and are subject to revisions. The revised traffic control plans must be submitted as part of the lease agreement process for approval prior to start of RW closures. Contractor shall contact CDOT at (704) 336-6348.
- Construction staging within City RW lasting more than 30 days requires a RW Lease agreement. Contractor shall contact CDOT at (704) 336-8348.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- C.O.S. - COMMON OPEN SPACE
- C.M. - CONCRETE MONUMENT
- ALL CURB AND RW RADIUS DIMENSIONS ARE 25' UNLESS SHOWN OTHERWISE.
- COMMON OPEN SPACE TO BE MAINTAINED BY CALDWELL ROAD HOMEOWNERS ASSOCIATION.
- SIDEWALKS ARE TO MEET ALL A.D.A. REQUIREMENTS FOR SLOPE AND SPACING BETWEEN TURNAROUND AREA.
- BEGIN CONSTRUCTION IN 2018. APPROXIMATELY 5 YEARS TO FULL BUILD OUT.
- ALL RIGHT-OF-WAY AND CURB TAPERS ARE 20:1 UNLESS OTHERWISE NOTED.
- ALL ON SITE TOPOGRAPHY IS FROM FIELD SURVEY.
- ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS PER NCDOT/CLOS #10.31 THRU 10.35.
- SANITARY SEWER WILL BE PROVIDED BY CHARLOTTE WATER.
- ALL ROAD IMPROVEMENTS AT CALDWELL ROAD ARE TO BE COORDINATED WITH NCDOT DISTRICT OFFICE PRIOR TO CONSTRUCTION.
- DIRECT VEHICULAR ACCESS TO CALDWELL ROAD FROM LOT 1 IS PROHIBITED.
- DIRECT VEHICULAR ACCESS TO FARMINGTON RIDGE PARKWAY FROM LOT 23 IS PROHIBITED.



**THIS PLAN IS A FINAL DRAWING-NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED:**  
APPROVED: *[Signature]* / 4/16/18  
INITIALS DATE



NO.	DATE	REVISION	BY
1	4/9/18	UPDATED SHEET INDEX	BTG
2	3/12/18	PER NCDOT COMMENTS	BTG
3	3/12/18	PER CITY ENGINEERING COMMENTS	BTG
4	3/12/18	PER CMPD AND NCDOT COMMENTS	BTG
5	2/06/18	REVISION	BTG

SHEET TITLE		PROJECT NO.
<b>COVER SHEET</b>		SCALE: 1"=100'
PROJECT		DATE: 9/22/17
<b>LONGFIELD COMMONS</b>		DRAWN BY: BTG
CRAB ORCHARD TWSP., MECK. CO. N.C.(CHARLOTTE ETJ)		CHECKED BY: MAH
FOR: TRUE HOMES		DRAWING NO.
		<b>260-35</b>
		SHT 1 OF 19 SHTS



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