

Survey By:

RB-PHARR & ASSOCIATES, P.A.  
DATE: 6-13-17  
704-376-2186  
"CHARLES BELL"

Water By:

Charlotte Water

Sewer By:

Charlotte Water

Site Inspector:  
CHRIS JOHNSON 704-517-7781

Urban Forester:  
STAN ARMSTRONG 704-517-7922

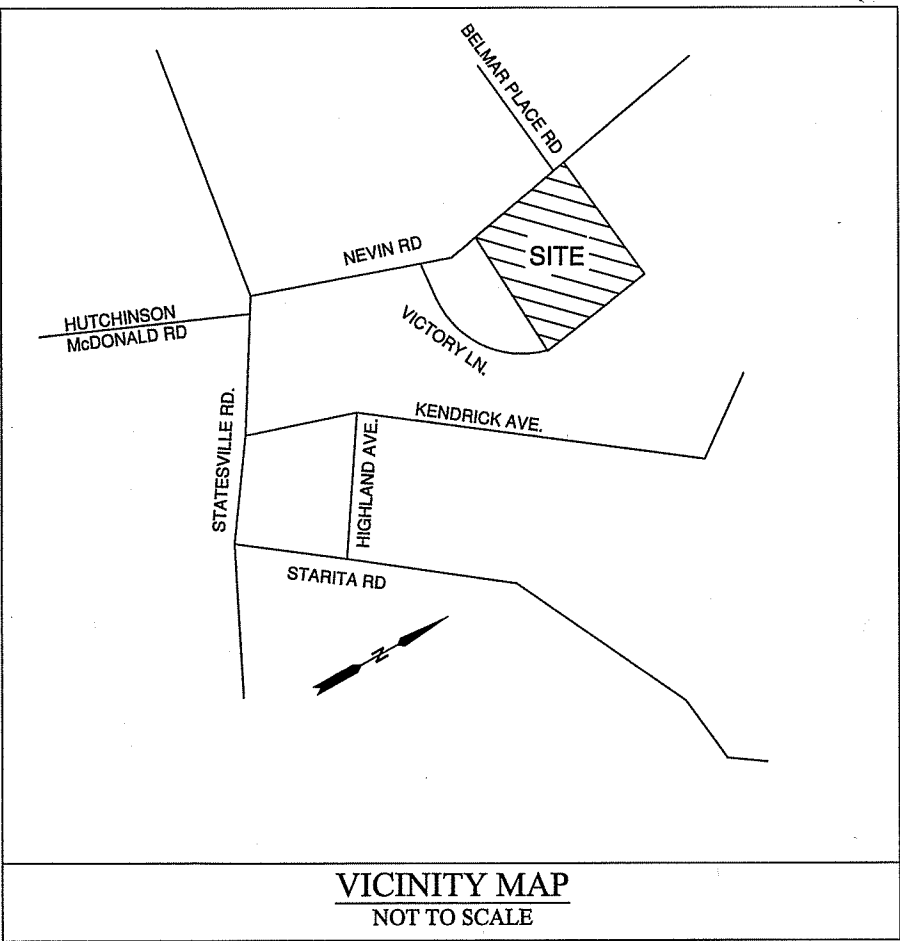
Erosion Control:  
JEFF BOCK 704-560-9798

Engineering:  
Mark Chapman 704-432-0409

Final Site Plan

Approval Application

Proposed



HAVEN RIDGE SUBDIVISION

Charlotte, Mecklenburg County,  
North Carolina

Applicant / Developer:

JSN CAPITAL, LLC  
304 PECAN RIDGE CT.  
MATTHEWS, NC 28269

OCTOBER 4TH, 2017

Plans Prepared By:



Woodbine Design, P.C.

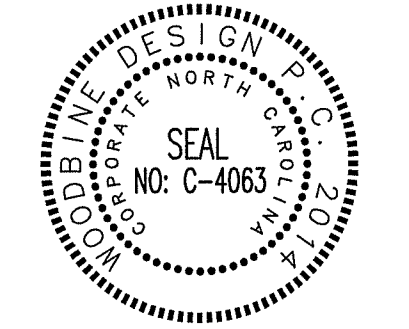
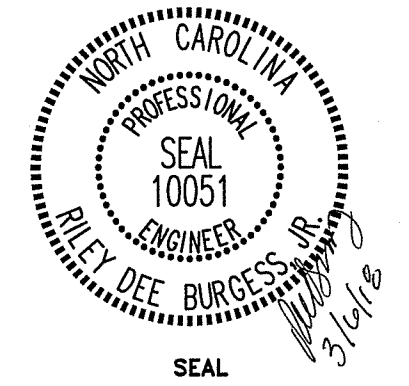
Land planning & civil engineering

blending nature & man

PCCO SUMMARY		
Original Parcel ID Number(s):		
Development Type:	Single-Family	
Subject to PCCO? Y/N	N	
If NO, why?	Below BUA/Disturbance Thresholds	
Watershed:	Central Catawba	
Disturbed Area (ac):	5.48	
Site Area (ac):	8.01	
	DA#1	DA#2
Total on-site Drainage Area (ac):	8.01	
Existing Built-upon-area (SF):	0	
Existing BUA to be removed (SF):	0	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	83635	
Proposed % BUA:	24	
Density (High / Low)	Low	
Total Post-Project BUA for site:	83635	
Development or Redevelopment?	Development	
Natural Area Required (ac):		0.8
Natural Area provided, total (ac):		1.09
Undisturbed Treed Natural Area Preserved (ac):		1.09
Total stream buffer protected on-site (ac):	0.62	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	Y	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	

SHEET LEGEND

- C1 COVER SHEET
- C2 SITE PLAN
- C3 EXISTING CONDITIONS & DEMOLITION PLAN
- C4 EROSION CONTROL PHASE-1
- C5 EROSION CONTROL PHASE-2
- C6 GRADING
- C7 ROAD PROFILE - VICTORY LANE EXTENSION
- C8 ROAD PROFILE - NEVIN RD. "SIGHT DISTANCE"
- C9 DETAILS
- C10 DETAILS
- C11 NOTES
- C12 NOTES & LEGEND



NORTH ARROW

HAVEN RIDGE SUBDIVISION

3534 NEVIN RD., CHARLOTTE, NC  
MECKLENBURG, Co.

COVER SHEET

DEVELOPER/OWNER

JSN CAPITAL, LLC  
304 PECAN RIDGE CT  
MATTHEWS, NC 28269  
201-247-0509

Designed By  
Woodbine Design

Drawn By  
PW

Date  
10/4/17

Revisions  
3/6/18: PCCO Summary

Sheet C1 of 12

Project Number 15020



FINAL APPROVAL

PROJECT NUMBER:

SDRSF-2017-00092

ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING  
AT LEAST 48 HRS. PRIOR TO ANY LAND  
DISTURBING ACTIVITY USING THE ONLINE  
FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED

By mark chapman at 4:17 pm, May 21, 2018

APPROVED

APPROVED

APPROVED

APPROVED FOR  
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 5-21-2018



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ONE-CALL CENTER INC.  
DIAL 811 or 1-800-632-4949  
2 BUSINESS DAYS BEFORE DIGGING  
[www.nc811.org](http://www.nc811.org)

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS  
ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD  
CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY  
AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES,  
OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

PLOTTED: 3/6/2018  
H:\\_WOODBINEDSIGN\_PROJECTS\15020-NEVIN RD  
SUBDIVISION\_CAD\01A-BASE-HAVENRIDGE.DWG



IMPERVIOUS AREA DATA		
EXIST IMPERV COVERAGE:	0	SQ. FT./ACRES
LOT SIZE:	348,915.6/8.01	SQ. FT./ACRES
SIDEWALK IMPERVIOUS:	10,993.0/25	"PROPOSED" SQ. FT./ACRES
ROADWAY IMPERVIOUS:	23,400.0/54	"PROPOSED" SQ. FT./ACRES
TOTAL:	34,393.0/79	"PROPOSED" SQ. FT./ACRES
PERCENT IMPERVIOUS: 24% MAX (LOW DENSITY) 0.01x24=1.92ac MAX ALLOWED		
1.92ac-0.79ac = 1.13ac ALLOWED FOR ALL LOTS OR 0.62ac PER LOT = 2700-SF		

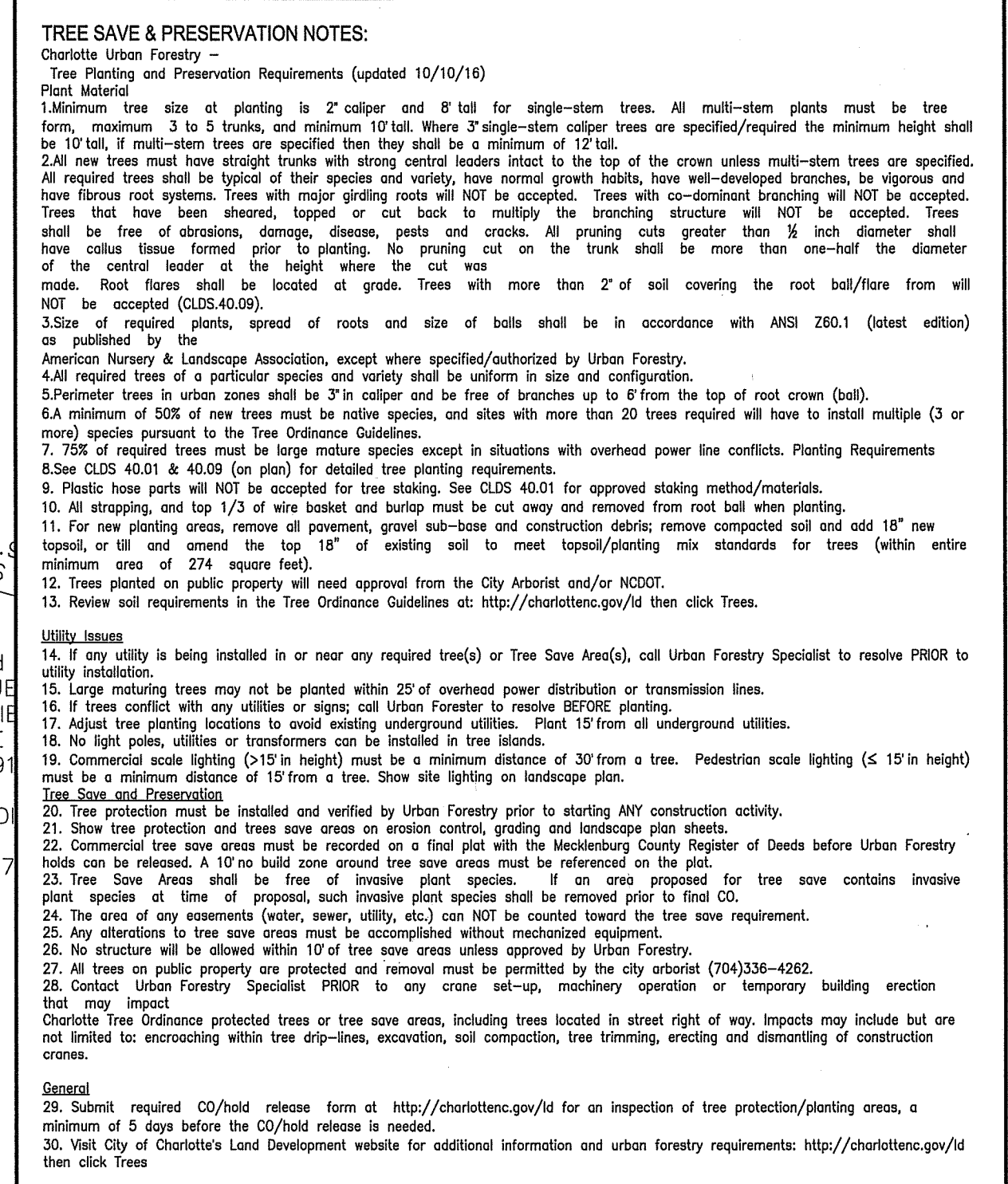
**ROADWAY INTERMEDIATE AND SURFACE COURSE**



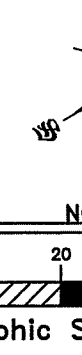

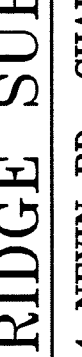
- a. All public roadways shall be constructed with an intermediate and surface course as described on the appropriate City of Charlotte Land Development Standard Detail Drawing.
- b. Plant mixed asphalt shall conform in all respects to Section 610 of the North Carolina Department of Transportation Standard Specifications for Roads and Structures.
- c. The final (1) one inch lift of asphalt surface course for Residential Subdivision Streets shall be withheld until a minimum of (75%) Seventy-Five Percent of the Development is occupied (occupied means a certificate of occupancy has been issued) or at least (1) one year has lapsed from the application of the intermediate course layer (All documentation to be provided by the developer and approved by the City Inspector). All known base failures shall be repaired prior to application of the final lift of asphalt surface course.
- d. The City Inspector shall be given a (24) twenty-four hour notification to inspect the intermediate course deficiencies. All deficiency repairs are to be monitored by a City Inspector and accepted prior to application of final layer.
- e. City of Charlotte shall be responsible for using recycled plant mix.
- f. Failure to meet the above requirements may result in the delay or prevention of street acceptance by the City of Charlotte or NCDOT.

**Design, P.C.**  
Planning & civil engineering  
standing nature & man  
20816 N. Main Street, Suite 204  
Cornelius, NC 28031

STREAM DELINEATION AND REQUIRED FORMS HAVE BEEN SUBMITTED TO ENGINEERING SERVICES FOR REVIEW OF THE 30-FT PC BUFFER THAT BISECTS THE PROPERTY. BASED ON EXISTING CONDITIONS AND DELINEATION, THE 30-FT BUFFER IS PROPOSED TO BE REMOVED.

JORDAN MILLER HAS APPROVED THE STREAM DELINEATION FORMS AND AGREES TO REMOVE THE PCO BUFFER. CONTACT JORDAN MILLER FOR ADDITIONAL INFORMATION.



	<div style="display: flex; justify-content: space-between;"> <div> <p>www.woodbinedesign.com rburgess@woodbinedesign.com 704.315.1550 pwoody@woodbinedesign.com</p> </div> <div style="text-align: right;"> <p>980.722.2660 rburgess@woodbinedesign.com 704.315.1550 pwoody@woodbinedesign.com</p> </div> </div>	
		
		
 <p style="text-align: center;">NORTH ARROW</p>		
		
<b>Project</b> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center; font-weight: bold; margin: 0;">HAVEN RIDGE SUBDIVISION</p> </div>	<div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center; margin: 0;">3534 NEVIN RD., CHARLOTTE, NC MECKLENBURG, Co.</p> </div>	<b>Sheet Title</b> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> <p style="text-align: center; font-weight: bold; margin: 0;">SITE - LANDSCAPE PLAN</p> </div>
<p style="text-align: center; font-weight: bold;">DEVELOPER/OWNER</p> <div style="border: 1px solid black; padding: 5px; text-align: center;"> <p>JSN CAPITAL, LLC 304 PECAN RIDGE CT MATTHEWS, NC 28269 201-247-0509</p> </div>		
<p><b>Designed By</b> <span style="float: right;">PW</span></p> <p style="text-align: right;">Woodbine Design</p>		
<p><b>Date</b> <span style="float: right;">10/4/17</span></p>		
<p><b>Revisions</b></p> <p>△ 2/1/18-1st Review</p> <p>△ 3/6/18:100+1, HC RAMP</p> <p>△ 4/24/18:100+1 ELEV.</p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p>		
<p style="text-align: center; font-weight: bold;">Sheet C2 of 12</p> <p style="text-align: center;">Project Number 15020</p>		