

# GLENMERE AT MALLARD CREEK

CONSTRUCTION DRAWINGS FOR:  
GLENMERE TOWNHOMES  
CHARLOTTE, NORTH CAROLINA  
EAS-15010

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 3/2/18

## CONSTRUCTION DRAWINGS MALLARD CREEK CHURCH ROAD AND SENATOR ROYALL DRIVE CHARLOTTE, NORTH CAROLINA PROJECT NUMBER: EAS-15010

DATE: DECEMBER 28, 2016  
REVISED: APRIL 24, 2017  
REVISED: JULY 07, 2017  
REVISED: NOVEMBER 09, 2017  
REVISED: JANUARY 05, 2018



FINAL APPROVAL

PROJECT NUMBER:

SDRMF-2017-00001

### ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

### EROSION CONTROL

### URBAN FORESTRY

TREE ORDINANCE

### CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING  
AT LEAST 48 HRS. PRIOR TO ANY LAND  
DISTURBING ACTIVITY USING THE ONLINE  
FORM FOUND AT <http://charlottenc.gov/ld>

#### APPROVED

By mark chapman at 10:33 am, Mar 02, 2018

#### APPROVED

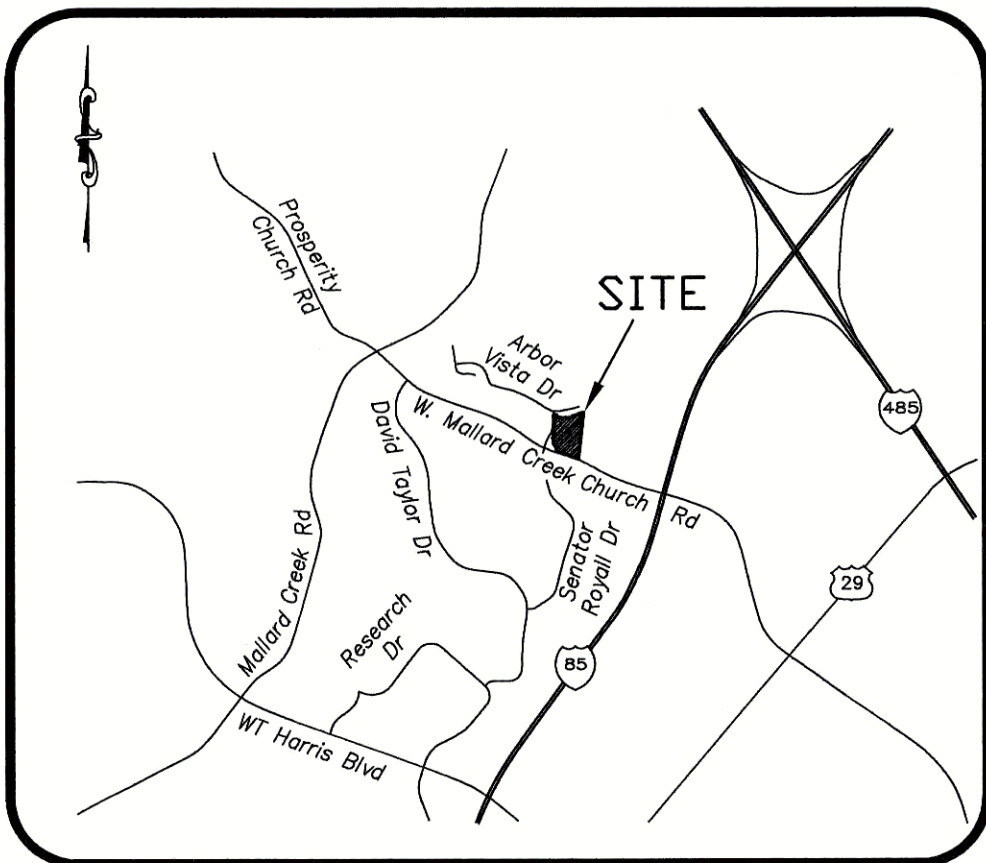
#### APPROVED

#### OWNER:

EASTWOOD CONSTRUCTION LLC  
2857 WESTPORT ROAD  
CHARLOTTE, NC 28208  
CONTACT: PATRICK QUINN  
EMAIL: [PQUINN@EASTWOODHOMES.COM](mailto:PQUINN@EASTWOODHOMES.COM)  
PHONE: 704-942-0248

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VICINITY MAP  
NTS

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT  
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION  
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.  
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE  
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".  
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Know what's below.  
Call before you dig.



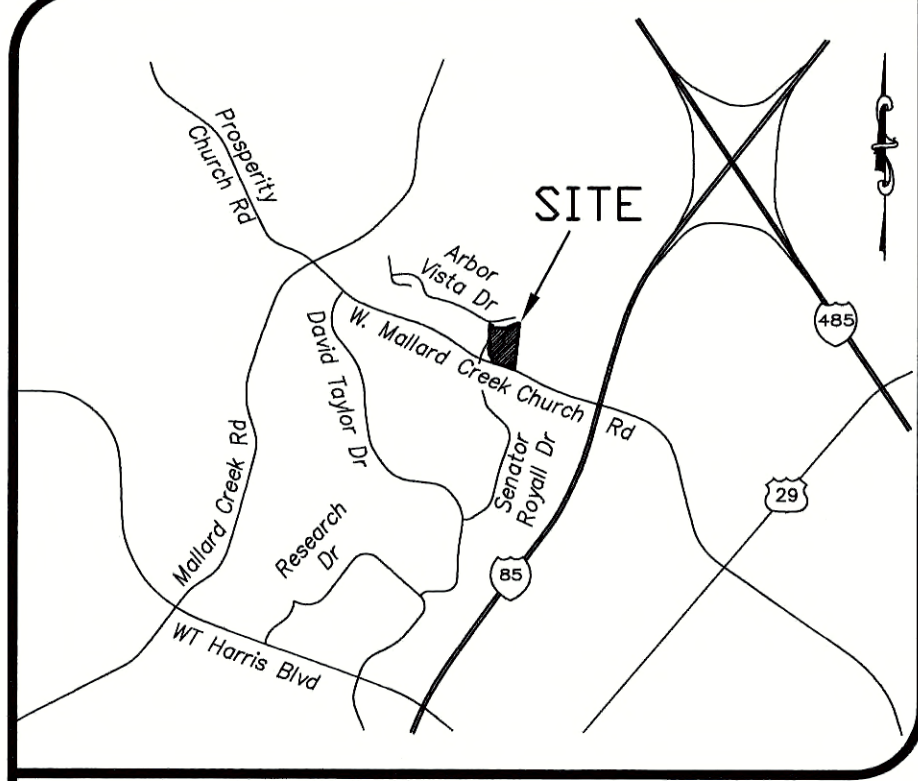
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[redrick@mcadamsco.com](mailto:redrick@mcadamsco.com)

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Y:\Projects\EAS-15010\Land\Construction Drawings\Current Drawings\EAS15010-CST.dwg, 2/22/2018 4:06:36 PM, Lewis, Dylan





## VICINITY MAP NTS

- FRONT SETBACK: 30 FT ALONG MALLARD CREEK CHURCH ROAD SENATOR ROYAL DRIVE  
20 FT (FROM BACK OF CURB OR BACK OF SIDEWALK ALONG INTERIOR PRIVATE STREETS FOR GARAGE)  
15 FT FOR REMAINDER OF BUILDING FROM BACK OF CURB ALONG PRIVATE STREET  
15 FT SETBACK MEASURED FROM RIGHT OF WAY PER SECTION 9.303 (19) (F) OF THE ZONING ORDINANCE ALONG NEW PUBLIC STREETS  
20 FT GARAGE SETBACK MEASURED FROM BACK OF SIDEWALK PER APPROVED ZONING ALONG NEW PUBLIC STREET  
50 FT ABUTTING SINGLE FAMILY (NORTHERN BOUNDARY) IF BUILDING HEIGHT EXCEEDS 40 FT THEN SETBACK MUST INCREASE ONE FOOT FOR EVERY FOOT ABOVE 40 FT  
60 FT ALONG EASTERN BOUNDARY PER REZONING 40 FT ABUTTING WESTERN BOUNDARY  
EACH UNIT TO HAVE MINIMUM SUBLOT SIZE SUFFICIENT TO ACCOMMODATE THE DWELLING UNIT AND 400 SQUARE FEET OF PRIVATE OPEN SPACE

### SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- TYPE A TYPE B TYPE C
- CONCRETE SIDEWALK
- PRIVATE OPEN SPACE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- FENCE

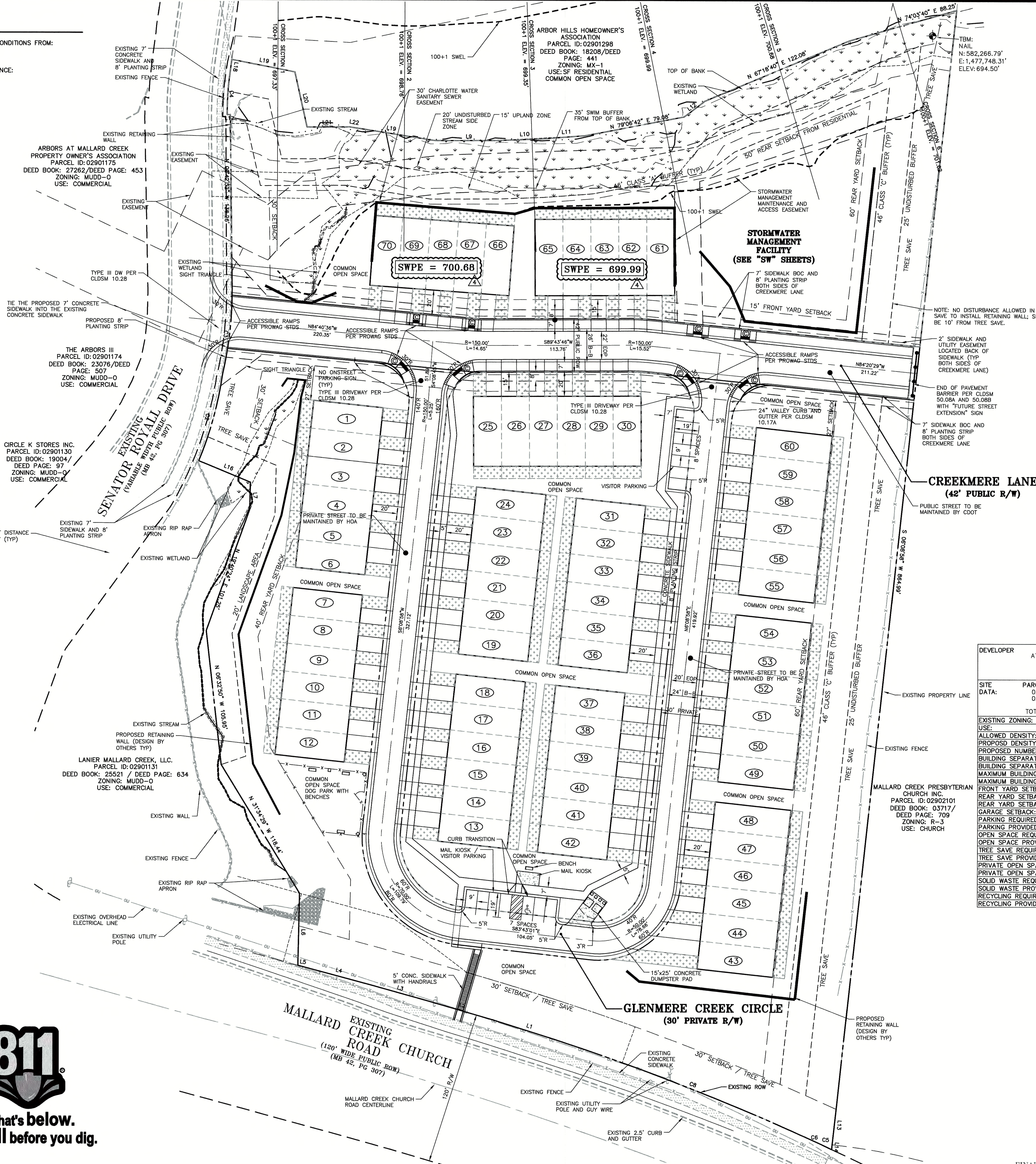
### EXISTING SITE LEGEND

- OU- OVERHEAD UTILITY
- FENCE LINE
- SIGN
- UTILITY POLE
- CURB AND GUTTER
- FENCE
- CONCRETE SIDEWALK

### SITE INFORMATION:

BOUNDARY INFORMATION AND EXISTING CONDITIONS FROM:  
BOUNDARY AND TOPOGRAPHIC SURVEY  
COMPLETED BY JOHN R. MCADAMS

FLOOD HAZARD ZONE/FEMA MAP REFERENCE:  
SITE LOCATED IN ZONE X, REFERENCE  
FEMA MAP 3710457800J  
DATED MARCH 02, 2009



LINE	BEARING	DISTANCE
L1	S 72°42'42" E	51.30'
L2	S 73°50'30" E	50.99'
L3	S 74°35'30" E	50.59'
L4	S 74°58'00" E	50.20'
L5	S 75°01'44" E	7.55'
L6	N 01°15'03" E	56.61'
L7	N 01°13'31" E	21.42'
L8	S 81°02'07" E	62.51'
L9	N 89°43'46" E	49.01'
L10	N 87°49'20" E	34.73'
L11	N 85°38'53" E	34.64'
L12	N 82°28'37" E	20.74'
L13	S 06°14'49" W	31.35'
L14	S 06°14'49" W	3.70'
L15	S 58°18'33" E	114.98'
L16	N 67°41'48" W	44.01'
L17	S 88°22'45" W	2.51'
L18	N 07°25'15" E	11.15'
L19	S 78°55'27" E	50.69'
L20	S 12°42'19" E	44.38'
L21	N 89°45'45" E	33.65'
L22	N 81°02'07" W	5.76'
L23	S 06°08'58" W	49.69'
L24	N 01°15'03" E	3.31'

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	215.82	1969.86'	N 68°58'07" W	215.71'
C2	70.70	286.31'	N 15°15'07" E	70.52'
C3	68.35	282.50'	N 06°13'46" E	68.18'
C4	32.49	220.00'	S 03°41'42" W	32.46'
C5	10.55	498.22'	N 84°47'54" W	10.55'
C6	7.53	498.22'	N 85°40'17" W	7.53'
C7	11.11	1969.86'	N 65°21'53" W	11.11'
C8	223.56	1969.86'	N 68°46'40" W	223.44'

PROJECT COMPLETION TABLE	
UNITS:	ANTICIPATED COMPLETION:
1-35	DECEMBER 2018
36-70	DECEMBER 2019

BUILDING SPECIFICATIONS	
1ST FLOOR	800 SF
2ND FLOOR	1200 SF
3RD FLOOR	1000 SF

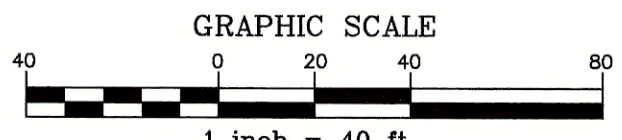
### SITE DATA

DEVELOPER	EASTWOOD HOMES
ATTN: PAT QUINN (PQUINN@EASTWOODHOMES.COM)	
2857 WESTPORT ROAD	
CHARLOTTE, NORTH CAROLINA 28208	
704.942.0248	
SITE DATA:	PARCEL NUMBERS: 029-011-27, 029-011-33
	ACREAGE: 8.381±, 0.475±
TOTAL ACREAGE:	8.856±
EXISTING ZONING:	R-12MF PETITION 2007-032
USE:	Townhomes
ALLOWED DENSITY:	7.90 DU/AC
PROPOSED DENSITY:	7.90 DU/AC
PROPOSED NUMBER OF UNITS:	70
BUILDING SEPARATION REQUIRED:	16 FT
BUILDING SEPARATION PROVIDED:	16 FT
MAXIMUM BUILDING HEIGHT ALLOWED:	50 FT/3 STORIES
MAXIMUM BUILDING HEIGHT PROVIDED:	40 FT/3 STORIES
FRONT YARD SETBACK:	SEE NOTE
REAR YARD SETBACK:	SEE NOTE
REAR YARD SETBACK ADJOINING SF:	SEE NOTE
GARAGE SETBACK:	20 FT BOC/BACK OF SIDEWALK
PARKING REQUIRED:	1.5 SPACES/UNIT (105)
PARKING PROVIDED:	1.5 SPACES/UNIT (105)
OPEN SPACE REQUIRED:	4.42 AC (50%)
OPEN SPACE PROVIDED:	4.42 AC (50%)
TREE SAVE REQUIRED:	1.33 AC (15%)
TREE SAVE PROVIDED:	1.48 AC (16.7%)
PRIVATE OPEN SPACE REQUIRED:	400 SF / UNIT **
SOLID WASTE REQUIRED:	ONE 8 CY DUMPSTER/30 UNITS
RECYCLING REQUIRED:	THREE 8 CY DUMPSTERS
RECYCLING PROVIDED:	144 SF, 144 SF

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

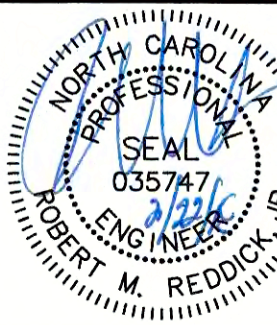


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FINAL DRAWING - FOR REVIEW PURPOSES ONLY

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REVISIONS:
2017-04-24 ADDRESS CITY COMMENTS
2017-07-07 ADDRESS CITY COMMENTS

EASTWOOD HOMES  
2857 WESTPORT ROAD  
CHARLOTTE, NC 28208

GLENMERE AT MALLARD CREEK  
MALLARD CREEK CHURCH ROAD  
CHARLOTTE, NC 28262

SITE PLAN

PROJECT NO.	EAS-15010
FILENAME:	EAS15010-S1
CHECKED BY:	RMR
DRAWN BY:	JDL
SCALE:	1"=40'
DATE:	12-28-2016
SHEET NO.	C-2

McAdams



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DEVELOPMENT STANDARDS (PETITION #07-032):

GENERAL PROVISIONS  
UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE CITY OF CHARLOTTE ZONING ORDINANCE FOR THE R-12 MF ZONING DISTRICT SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE. THE DEVELOPMENT DEPICTED ON THE TECHNICAL DATA SHEET IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE BUT THE FINAL CONSTRUCTION, PLACEMENT AND SIZE OF INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE AND THE STANDARDS ESTABLISHED BY THE TECHNICAL DATA SHEET. DURING DESIGN, DESIGN DEVELOPMENT AND CONSTRUCTION PHASES, STREET LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS.

PERMITTED USES  
THE SITE MAY BE DEVOTED TO A MAXIMUM OF 70 FOR SALE SINGLE FAMILY ATTACHED TOWNHOME DWELLING UNITS. ANY CONSTRUCTION OR USE IN CONNECTION THEREWITH WHICH IS PERMITTED BY RIGHT OR UNDER PERMISSIBLE CONDITIONS IN THE R-12 MF ZONING DISTRICT.

BUFFER

1. THE PETITIONER SHALL ESTABLISH A 46 FOOT CLASS C BUFFER ALONG THE SITE'S EASTERN BOUNDARY LINE AS MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET, WHICH BUFFER SHALL CONFORM TO THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE. THE EXTERIOR 25 FEET OF THIS 46 FOOT CLASS C BUFFER SHALL BE UNDISTURBED, PROVIDED, HOWEVER, THAT IN THE EVENT THAT THE EXISTING VEGETATION DOES NOT MEET THE TREE AND SHRUB REQUIREMENTS OF A CLASS C BUFFER, THE PETITIONER MAY INSTALL SUPPLEMENTAL PLANTINGS TO BRING THE CLASS C BUFFER INTO COMPLIANCE WITH THESE REQUIREMENTS. ADDITIONALLY, IN THE EVENT THAT A WALL, FENCE OR BERM IS INSTALLED WITHIN THIS 46 FOOT CLASS C BUFFER, IT MUST BE INSTALLED WITHIN THE INTERIOR 21 FEET OF THIS 46 FOOT CLASS C BUFFER, NOTWITHSTANDING ANYTHING CONTAINED HEREIN TO THE CONTRARY, THE WIDTH OF THIS 46 FOOT CLASS C BUFFER MAY NOT BE REDUCED.
2. THE PETITIONER SHALL ESTABLISH A 46 FOOT BUFFER THAT MEETS THE TREE AND SHRUB REQUIREMENTS OF A CLASS A BUFFER ALONG THE SITE'S NORTHERN BOUNDARY LINE AS MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET, WHICH BUFFER SHALL CONFORM TO THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE. NOTWITHSTANDING ANYTHING CONTAINED HEREIN TO THE CONTRARY, THE WIDTH OF THIS 46 FOOT BUFFER MAY NOT BE REDUCED.
3. THE PETITIONER RESERVES THE RIGHT TO INSTALL A WALL, FENCE, BERM, PEDESTRIAN SIDEWALKS AND UTILITY LINES AND FACILITIES WITHIN THE INTERIOR 21 FEET OF THE 46 FOOT CLASS C BUFFER LOCATED ALONG THE SITE'S NORTHERN BOUNDARY LINE AND WITHIN THE 46 FOOT BUFFER LOCATED ALONG THE SITE'S NORTHERN BOUNDARY LINE TO ACCOMMODATE THE INSTALLATION OF A WALL, FENCE, BERM, PEDESTRIAN SIDEWALKS OR UTILITY LINES AND FACILITIES, THE CLEARED, UNIMPROVED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
4. WHERE EXISTING TREES AND NATURAL VEGETATION HAVE BEEN CLEARED WITHIN THE INTERIOR 21 FEET OF THE 46 FOOT BUFFER LOCATED ALONG THE SITE'S EASTERN BOUNDARY LINE AND WITHIN THE 46 FOOT BUFFER LOCATED ALONG THE SITE'S NORTHERN BOUNDARY LINE TO ACCOMMODATE THE INSTALLATION OF A WALL, FENCE, BERM, PEDESTRIAN SIDEWALKS OR UTILITY LINES AND FACILITIES, THE CLEARED, UNIMPROVED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
5. NO BUILDING, UNIMPROVED AREAS OR MANEUVERING AREAS MAY BE LOCATED WITHIN THE BUFFER AREAS.
6. NO ABOVE GROUND DETENTION FACILITIES OR WATER QUALITY FACILITIES MAY BE LOCATED WITHIN THE BUFFER AREAS.
7. THE PETITIONER RESERVES THE RIGHT TO UTILIZE EXISTING TREES AND NATURAL VEGETATION TO MEET THE PLANTING REQUIREMENTS FOR ALL BUFFERS ON THE SITE.

SETBACKS, SIDE YARDS AND REAR YARDS

1. ALL PRINCIPAL STRUCTURES CONSTRUCTED ON THE SITE SHALL SATISFY OR EXCEED THE SETBACK, SIDE YARD AND REAR YARD REQUIREMENTS AS STATED IN CHAPTERS 9 AND 12 OF THE CHARLOTTE CITY CODE REGARDING SOLID WASTE DUMPSTER, COMPACTOR AND RECYCLING AREAS.
2. GARAGES SHALL BE SETBACK A MINIMUM OF 20 FEET FROM THE BACK OF THE SIDEWALK.

COMMON OPEN SPACE/ PRIVATE OPEN SPACE

1. COMMON OPEN SPACE, PROVIDED IN VARIOUS LOCATIONS AS DEPICTED ON THE TECHNICAL DATA SHEET, AT A MINIMUM, 50% OF THE SITE SHALL BE DEVOTED TO COMMON OPEN SPACE. FOR PURPOSES OF CALCULATING THE AMOUNT OF REQUIRED COMMON OPEN SPACE, THE TREE SAVE AREAS, THE BUFFER AREAS, THE LANDS AREAS AND THE DETENTION POND SHALL BE CONSIDERED TO BE COMMON OPEN SPACE.
2. THE COMMON OPEN SPACE AREAS SHALL BE MAINTAINED BY A TO-BE FORMED HOMEOWNERS' ASSOCIATION.
3. THE PETITIONER SHALL INSTALL IMPROVEMENTS OR ITEMS WITHIN THE COMMON OPEN SPACE FOR USE BY RESIDENTS SUCH AS BENCHES, SEATING, TABLES, TREES, PLANTINGS, ETC.
4. PURSUANT TO THE REQUIREMENTS OF THE ORDINANCE, IF LAND IS SOLD WITH AN INDIVIDUAL TOWNHOME DWELLING UNIT, THE MINIMUM SUBLOT SIZE SHALL BE SUFFICIENT TO ACCOMMODATE THE DWELLING UNIT AND 400 FEET OF PRIVATE OPEN SPACE.

SCREENING AND LANDSCAPE AREAS

1. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.303 OF THE ORDINANCE.
2. ANY DUMPSTERS LOCATED WITHIN THE SITE THAT ARE VISIBLE FROM A PUBLIC STREET OR FROM AN EXTERNAL ADJOINING PARCEL OF LAND WILL BE SCREENED FROM VIEW BY A SOLID-ENCLOSURE WITH GATES.
3. A 20 FOOT WIDE LANDSCAPED AREA SHALL BE ESTABLISHED AND MAINTAINED ALONG THAT PORTION OF THE SITE'S WESTERN BOUNDARY LINE MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET. THIS 20 FOOT WIDE LANDSCAPED AREA SHALL MEET THE TREE AND SHRUB REQUIREMENTS OF A CLASS A BUFFER.

TREE ORIGINANCE

1. A MINIMUM OF 10 PERCENT OF THE SITE WILL BE DEVOTED TO TREE SAVE AREAS, WHICH TREE SAVE AREAS ARE MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET.
2. THE 30 FOOT SETBACK FROM WEST MALLARD CREEK CHURCH ROAD SHALL BE A TREE SAVE AREA EXCEPT FOR THAT PORTION OF THE 30 FOOT SETBACK THAT WILL BE REQUIRED TO BE CLEARED AND GRADED IN CONNECTION WITH THE INSTALLATION OF THE 5 FOOT SIDEWALK AND STAIRS FROM THE SITE TO WEST MALLARD CREEK CHURCH ROAD.
3. DEVELOPMENT OF THE SITE WILL COMPLY WITH THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE TREE ORDINANCE AS OF THE DATE OF THE APPROVAL OF THIS REZONING PETITION.

PARKING AND BICYCLE PARKING WILL SATISFY THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.

S.W.I.M. BUFFERS/WETLANDS

1. ALL DEVELOPMENT ON THE SITE WILL COMPLY WITH THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE S.W.I.M. ORDINANCE AS OF THE DATE OF THE APPROVAL OF THIS REZONING PETITION.
2. ANY JURISDICTIONAL WETLANDS OR STREAMS, IF PRESENT, NEED TO BE PROTECTED OR PROPER ENVIRONMENTAL PERMITS OBTAINED PRIOR TO THEIR DISTURBANCE. FOR 401 PERMITS, CONTACT NCDCNR. FOR 404 PERMITS CONTACT THE ARMY CORPS OF ENGINEERS.

ARCHITECTURAL COMMITMENTS

1. ATTACHED HERETO ARE SCHEMATIC ARCHITECTURAL RENDERINGS OF THE FRONT, SIDE AND REAR ELEVATIONS OF THE SINGLE FAMILY ATTACHED TOWNHOME BUILDINGS PROPOSED TO BE CONSTRUCTED ON THE SITE THAT ARE INTENDED TO DEPICT THE GENERAL CONCEPTUAL ARCHITECTURAL STYLE, CHARACTER, AND ELEMENTS OF THESE BUILDINGS. ACCORDINGLY, THE FRONT, SIDE AND REAR ELEVATIONS OF ANY SINGLE FAMILY ATTACHED TOWNHOME BUILDING CONSTRUCTED ON THE SITE MUST BE SUBSTANTIALLY SIMILAR IN APPEARANCE TO THE RELEVANT ATTACHED SCHEMATIC ARCHITECTURAL RENDERINGS IN TERMS OF THEIR ARCHITECTURAL STYLE, CHARACTER AND ELEMENTS. CHANGES AND ALTERATIONS WHICH DO NOT MATERIALLY CHANGE THE OVERALL ARCHITECTURAL STYLE AND CHARACTER ARE PERMITTED BASED UPON FINAL DESIGN/CONSTRUCTION DRAWINGS.
2. THE MAXIMUM HEIGHT OF THE SINGLE FAMILY ATTACHED TOWNHOME BUILDINGS PROPOSED TO BE CONSTRUCTED ON THE SITE SHALL BE 50 FEET AND THREE STORIES. NOTWITHSTANDING THE FOREGOING, THE TOWNHOME DWELLING UNITS MAY HAVE HEATED AND CONDITIONED FLOOR AREA ABOVE THE THIRD FLOOR PROVIDED THAT THE FLOOR AREA IS LOCATED UNDER A PITCHED ROOF AS DEPICTED ON THE ATTACHED ARCHITECTURAL RENDERINGS AND PROVIDED THAT THE AMOUNT OF FLOOR AREA IS LESS THAN THE AMOUNT NECESSARY TO QUALIFY AS A STORY UNDER THE ORDINANCE.
3. THE PERMITTED EXTERIOR BUILDING MATERIALS FOR THE SINGLE FAMILY ATTACHED TOWNHOME BUILDINGS TO BE CONSTRUCTED ON THE SITE SHALL BE A COMBINATION OF BRICK, STONE AND SIMILAR MASONRY PRODUCTS. STUCCO, WOOD AND WOOD PRODUCTS, SHAKE AND HARD-PLANK AND FIBER CEMENT BOARDS, NOTWITHSTANDING THE FOREGOING, VINYL MAY BE UTILIZED ON THE SOFFITS OF THE SINGLE FAMILY ATTACHED TOWNHOME BUILDINGS, EXCEPT AS PROVIDED ABOVE, VINYL SHALL NOT BE A PERMITTED EXTERIOR BUILDING MATERIAL.
4. AT LEAST 25% OF THE FRONT ELEVATION (EXCLUDING DOORS, WINDOWS, ROOFTOPS AND TRIM AREAS) OF EACH SINGLE FAMILY ATTACHED TOWNHOME BUILDING CONSTRUCTED ON THE SITE SHALL HAVE BRICK, STONE OR A COMBINATION OF BRICK AND STONE.
5. THE SIDE ELEVATION OF EACH TOWNHOME DWELLING UNIT LOCATED ON AN END OF A SINGLE FAMILY ATTACHED TOWNHOME BUILDING TO BE CONSTRUCTED ON THE SITE SHALL BE SUBSTANTIALLY SIMILAR TO THE FRONT ELEVATION OF SUCH TOWNHOME DWELLING UNIT IN TERMS OF THE EXTERIOR BUILDING MATERIALS.
6. NO MORE THAN THREE (3) CONSECUTIVE INDIVIDUAL TOWNHOME UNITS LOCATED IN THE SAME BUILDING MAY HAVE THE SAME FRONT BUILDING ELEVATION IN TERMS OF PRIMARY EXTERIOR BUILDING MATERIALS.
7. FLAT PANEL GARAGE DOORS MAY NOT BE UTILIZED ON THE GARAGES.
8. VINYL FENCES SHALL BE PERMITTED ON THE SITE.

LIGHTING

1. DECORATIVE, PEDESTRIAN SCALE, FREESTANDING LIGHTING FIXTURES WILL BE INSTALLED THROUGHOUT THE SITE. THE DECORATIVE, PEDESTRIAN SCALE, FREESTANDING LIGHTING FIXTURES WILL BE UNIFORM IN DESIGN, AND THE FINAL SPACING OF SUCH LIGHTING FIXTURES SHALL BE DETERMINED BY THE PETITIONER.
2. THE MAXIMUM HEIGHT OF THE DECORATIVE, PEDESTRIAN SCALE, FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE, INCLUDING ITS BASE, SHALL NOT EXCEED 15 FEET.
3. EXTERIOR LIGHT FIXTURES (EXCEPT STREET LIGHTS ALONG PUBLIC OR PRIVATE STREETS) SHALL BE CAPPED AND FULLY SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

DEVELOPMENT STANDARDS CONTINUED:

SIGNS

ALL SIGNS PLACED ON THE SITE WILL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

ACCESS POINTS/SIDEWALKS/RIGHT OF WAY DEDICATION

1. THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THE NUMBER DEPICTED ON THE TECHNICAL DATA SHEET.
2. THE PLACEMENT AND CONFIGURATION OF EACH ACCESS POINT ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL DESIGN AND ACCESS TO CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
3. SIDEWALKS AND PLANTING STRIPS WILL BE INSTALLED IN ACCORDANCE WITH THE TECHNICAL DATA SHEET.
4. A 5 FOOT WIDE SIDEWALK WILL BE PROVIDED FROM THE SITE TO SENATOR ROYALL DRIVE. A 5 FOOT SIDEWALK AND STAIRS (AS NEEDED) WILL BE PROVIDED FROM THE SITE TO WEST MALLARD CREEK CHURCH ROAD. HOWEVER, THAT THE PETITIONER RESERVES THE RIGHT TO SEEK AND OBTAIN A VARIANCE FROM THE REQUIREMENTS OF SECTION 12.539 OF THE ORDINANCE TO ELIMINATE THE REQUIREMENT TO PROVIDE THIS SIDEWALK AND STAIRS.
6. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY BUILDING TO BE CONSTRUCTED ON THE SITE, THE PETITIONER SHALL DEDICATE AND CONVEY (BY QUITCLAIM DEED AND SUBJECT TO A RESERVATION FOR ANY NECESSARY UTILITY EASEMENTS) THOSE PORTIONS OF THE SITE IMMEDIATELY ADJACENT TO WEST MALLARD CREEK CHURCH ROAD AS REQUIRED TO PROVIDE RIGHT OF WAY MEASURING 50 FEET FROM THE EXISTING CENTERLINE OF WEST MALLARD CREEK CHURCH ROAD IF SUCH RIGHT OF WAY DOES NOT CURRENTLY EXIST.

PRIVATE STREET CONNECTION TO MALLARD CREEK PRESBYTERIAN CHURCH

1. AS MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET, THE PETITIONER SHALL CONSTRUCT AND PROVIDE A PRIVATE STUB STREET CONNECTING THE PARCEL OF LAND (THE "CHURCH PROPERTY") CURRENTLY OWNED BY MALLARD CREEK PRESBYTERIAN CHURCH (THE "CHURCH") LOCATED IMMEDIATELY TO THE EAST OF THE SITE AND SENATOR ROYALL DRIVE (THE "CONNECTING STREET"). THE CONNECTING STREET SHALL BE A PART OF THE SITE'S PRIVATE STREET SYSTEM, AND IT SHALL PROVIDE A PERPETUAL VEHICULAR ACCESS FROM THE CHURCH PROPERTY TO THE CHURCH A PERPETUAL NON-EXCLUSIVE EASEMENT APPURTENANT TO THE CHURCH PROPERTY OVER, ACROSS AND UPON THE CONNECTING STREET TO THE CHURCH PROPERTY. THE CHURCH PROPERTY SHALL BE OPEN TO ALL VEHICLES TO, FROM AND BETWEEN THE CHURCH PROPERTY AND SENATOR ROYALL DRIVE. THIS EASEMENT SHALL BE MEMORIALIZED IN AN EASEMENT AGREEMENT TO BE SIGNED BY THE PARTIES AND RECORDED IN THE MECKLENBURG COUNTY PUBLIC REGISTRY (THE "EASEMENT AGREEMENT").
2. THE CHURCH SHALL PROVIDE, AMONG OTHER THINGS THAT THE CHURCH SHALL BE RESPONSIBLE FOR SHARING IN THE COST OF MAINTAINING THE CONNECTING STREET.

DUMPSTER, COMPACTOR AND RECYCLING

THIS DEVELOPMENT SHALL MEET ALL REQUIREMENTS AS STATED IN CHAPTERS 9 AND 12 OF THE CHARLOTTE CITY CODE REGARDING SOLID WASTE DUMPSTER, COMPACTOR AND RECYCLING AREAS.

FIRE PROTECTION

ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CITY OF CHARLOTTE. THE CODE'S SPECIFICATIONS, PLANS FOR EACH TOWNHOME BUILDING WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION OF THE DEVELOPMENT.

STORM WATER MANAGEMENT

1. IF THE PETITIONER TIES INTO AN EXISTING PUBLIC STORM WATER SYSTEM(S), THE PETITIONER SHALL HAVE THE RECEIVING PUBLIC DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE PROPOSED DEVELOPMENT. IF IT IS FOUND THAT THE PROPOSED DEVELOPMENT WILL CAUSE THE PUBLIC STORM DRAINAGE SYSTEM(S) TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ALTERNATE METHODS TO PREVENT THIS FROM OCCURRING. IF THE RECEIVING PUBLIC DRAINAGE SYSTEM(S) IS ALREADY OUT OF STANDARD, THE PETITIONER'S PROPOSED DEVELOPMENT WILL BE DESIGNED SO AS TO NOT PLACE THE DOWNSTREAM PUBLIC SYSTEM(S) FURTHER OUT OF STANDARD.
2. THE PETITIONER SHALL NOT BE REQUIRED TO PROVIDE STORM WATER QUALITY TREATMENT MEASURES FOR THE STORM WATER GENERATED FROM THOSE PORTIONS OF THE SITE DESIGNATED AS AREA B AND AREA C ON THE STORM WATER DRAINAGE AREA PLAN ATTACHED HERETO.
3. WATER QUALITY BEST MANAGEMENT PRACTICES (BMPs) WILL BE INCORPORATED INTO THE SITE TO ACHIEVE 85% TOTAL SUSPENDED SOLID REMOVAL FOR THE POST-DEVELOPMENT RUNOFF VOLUME FOR THE RUNOFF GENERATED FROM THE RAINFALL FOR THAT PORTION OF THE SITE DESIGNATED AS AREA A ON THE STORM WATER DRAINAGE AREA PLAN ATTACHED HERETO. BMPs MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE N.C. DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCDCNR) BEST MANAGEMENT PRACTICES MANUAL, APRIL 1999, SECTION 4.0 (DESIGN STANDARDS SHALL BE MET ACCORDING TO THE CITY OF CHARLOTTE BEST MANAGEMENT PRACTICES MANUAL WHEN AVAILABLE). USE OF LOW IMPACT DEVELOPMENT (LID) TECHNIQUES IS OPTIONAL.
4. WITH RESPECT TO THAT PORTION OF THE SITE DESIGNATED AS AREA A ON THE STORM WATER DRAINAGE AREA PLAN ATTACHED HERETO, THE PETITIONER SHALL CONTROL THE VOLUME FOR THE 1-YEAR, 24 HOUR STORM, RUNOFF VOLUME DRAW DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS.
5. THE PETITIONER SHALL CONTROL THE PEAK TO MATCH THE PREDEVELOPMENT RUNOFF RATES FOR THE 10 YEAR, 6 HOUR STORM AND PERFORM A DOWNSTREAM FLOOD ANALYSIS TO DETERMINE WHETHER ADDITIONAL PEAK CONTROL IS NEEDED AND IF SO, FOR WHAT LEVEL OF STORM FREQUENCY, OR IF A DOWNSTREAM ANALYSIS IS NOT PERFORMED, CONTROL THE PEAK FOR THE 10 YEAR AND 25 YEAR, 6 HOUR STORMS.

UTILITIES

1. ALL UTILITIES SHALL BE UNDERGROUND.

BINDING EFFECT OF THE REZONING PETITION

FUTURE AMENDMENTS TO THIS TECHNICAL DATA SHEET AND THESE DEVELOPMENT STANDARDS OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THIS TECHNICAL DATA SHEET WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

AMENDMENTS TO REZONING PLAN

FUTURE AMENDMENTS TO THIS TECHNICAL DATA SHEET AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED IN THIS MANUAL.
2. ONLY REINFORCED CONCRETE PIPE IS ALLOWED WITH THE STREET PAVEMENT EXCEPT FOR CULVERTS EQUAL TO OR GREATER THAN (60) SIXTY INCHES IN DIAMETER. FOR CULVERTS EQUAL TO OR GREATER THAN (60) SIXTY INCHES, CORRUGATED STEEL OR ALUMINUM PIPE IS ALLOWED IF IT HAS A CONCRETE POURED INVERT. MINIMUM GAUGE FOR METAL PIPE SHALL BE 14 GAUGE.
3. ALL STORM DRAINAGE PIPE OUTSIDE THE STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE, CORRUGATED METAL PIPE OR HIGH DENSITY POLYETHYLENE (HDPE) PIPE, AS APPROVED BY THE CITY/COUNTY ENGINEER. NO OTHER TYPE OF PIPE SHALL BE USED WITHOUT PRIOR APPROVAL FROM THE CITY/COUNTY ENGINEER. ALL PIPES SHALL BE LAID WITH THE BELL OR GROOVE UPGRADE AND THE JOINT ENTIRELY INTERLOCKING.
4. ALL CONCRETE SHALL BE 3600 PSI. IN ORDER TO USE PRE-CAST STORM DRAINAGE STRUCTURES IN ANY STREET RIGHTS-OF-WAY, PRIOR APPROVAL SHALL BE OBTAINED FROM THE CITY/COUNTY ENGINEER.
5. ALL HIGH-DENSITY POLYETHYLENE PIPE SHALL BE CORRUGATED EXTERIOR/SMOOTH INTERIOR, CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M294 FOR CORRUGATED POLYETHYLENE PIPE AND SHALL REQUIRE COUPLING BANDS AND FITTINGS.
6. CONCRETE PIPE USED WITHIN THE STREET RIGHT-OF-WAY SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE, WITH A MINIMUM DIAMETER OF FIFTEEN (15) INCHES (EIGHTEEN (18) INCHES MINIMUM ON CROSS DRAIN CULVERTS WITHIN THE COUNTY).
7. THE MINIMUM COVER FOR ALL PIPE IS TWO (2) FEET. SPECIAL APPLICATIONS FOR LESS THAN TWO (2) FEET OF COVER WILL BE REVIEWED INDIVIDUALLY.
8. CONCRETE MORTAR JOINTS SHALL BE USED FOR JOINING ALL CONCRETE PIPES. THE PIPE SHALL BE CLEAN AND MOIST WHEN MORTAR IS APPLIED. THE LOWER PORTIONS OF THE BELL OR GROOVE SHALL BE FILLED WITH MORTAR SUFFICIENT TO BRING THE INNER SURFACE FLUSH AND EVEN WHEN THE NEXT JOINT IS FITTED INTO PLACE. THE REMAINDER OF THE JOINT SHALL THEN BE FILLED WITH MORTAR AND A BEAD OR RING OF MORTAR FORMED AROUND THE OUTSIDE OF THE JOINT. THE APPLICATION OF MORTAR MAY BE DELAYED UNTIL FILL IS COMPLETED WHEN THE PIPE IS LARGER THAN THIRTY (30) INCHES.
9. PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS, MAY BE USED IN LIEU OF THE MORTAR JOINTING METHOD.
10. COUPLING BANDS AND FITTINGS SHALL BE USED FOR JOINING ALL HDPE PIPE. COUPLING BANDS SHALL COVER AT LEAST ONE FULL CORRUGATION ON EACH SECTION OF PIPE. GASKET COUPLING BANDS ARE

GENERAL NOTES:

1. WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 30" AND 72" IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF CHARLOTTE AND NCDOT STANDARDS AND SPECIFICATIONS.
3. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 290CR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
5. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
6. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
7. EXISTING IMPROVEMENTS SLATED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
8. SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE COMPACTED TO STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
10. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
12. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
13. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE.
14. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
15. PAVEMENT SECTIONS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
16. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
17. SOLID WASTE CARTS ARE TO BE STORED INSIDE UNITS' GARAGES. CARTS ARE TO BE MOVED BY OWNERS TO CURBSIDE FOR WASTE COLLECTION.
18. NO ON STREET PARKING WILL BE PERMITTED. STREET SIGNS ARE PROVIDED PER THE SITE PLAN, SHEET C-2.

CITY OF CHARLOTTE NOTES:

1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSM#50.05 (9" SIGNS ONLY)
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
4. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTION. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
5. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
6. IN ORDER TO ENSURE DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
8. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER IS PROHIBITED.
9. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOSS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
10. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
11. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
12. ALL OPENINGS (e.g., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE.
13. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
14. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
15. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
16. NON-STANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
17. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
19. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-436-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
20. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREET. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025)OR VISIT <http://WWW.charmeck.org/departments/transportation/street-maintenance/home.htm>
21. SIDEWALK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
22. ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A RIGHT-OF-WAY USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE RIGHT-OF-WAY USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
23. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W/ LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDDOT AT (704) 336-8348.
24. CONSTRUCTION STAGING WITHIN THE CITY RIGHT-OF-WAY LASTING MORE THAN 30 DAYS REQUIRES A RIGHT-OF-WAY LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDDOT AT (704) 336-8348.
25. DEVELOPER TO CONTACT CDDOT (STEPHEN BOLT, 704-432-5561) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

OWNER:

GLENMERE AT MALLARD CREEK  
MALLARD CREEK CHURCH ROAD  
CHARLOTTE, NC 28262

EASTWOOD HOMES  
2857 WESTPORT ROAD  
CHARLOTTE, NC 28208

REZONING AND GENERAL NOTES

PROJECT NO.	EAS-15010
FILENAME:	EAS15010-S2
CHECKED BY:	RMR
DRAWN BY:	JDJ
SCALE:	1"=40'
DATE:	12-28-2016
SHEET NO.	C-3

