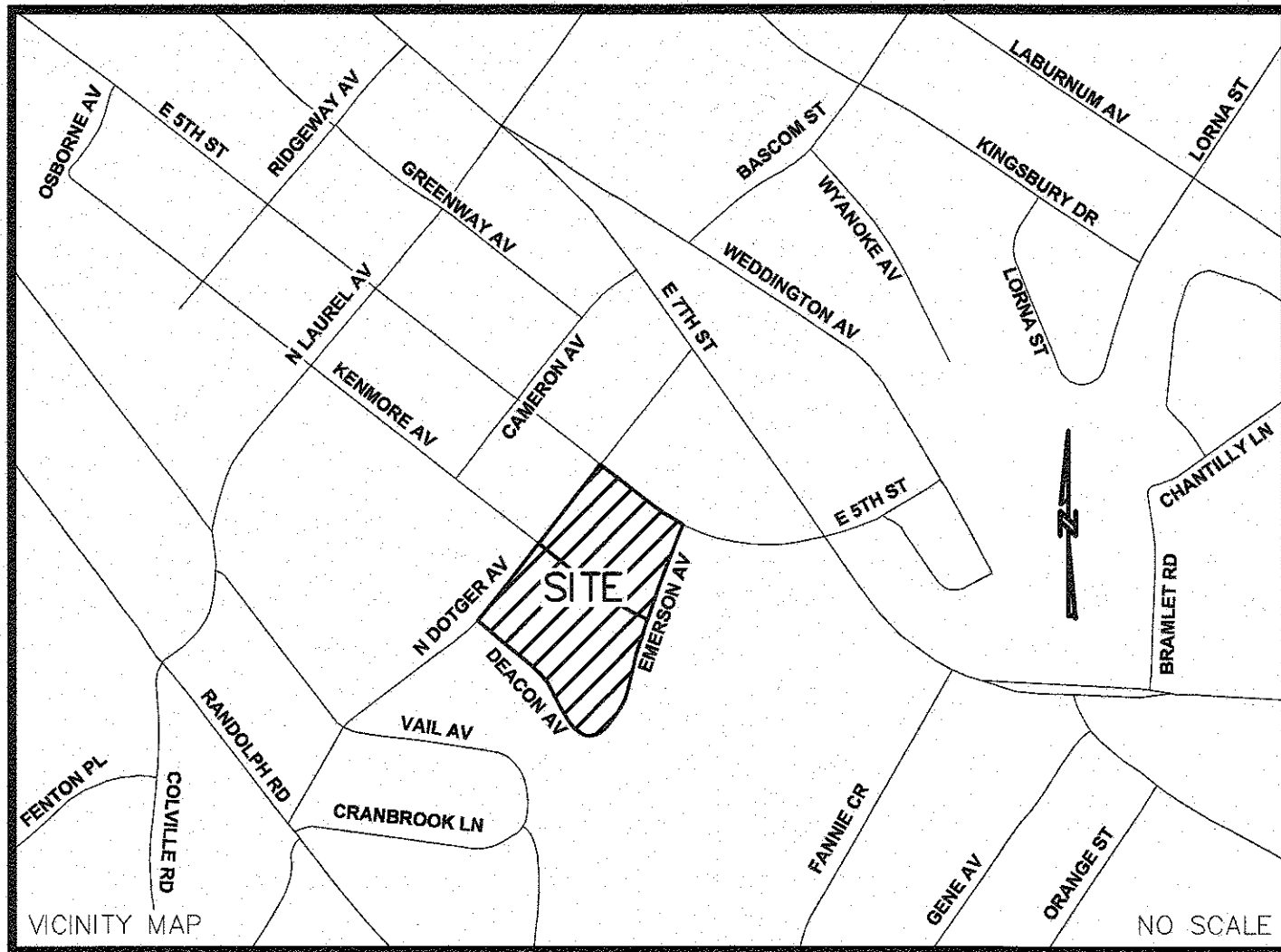


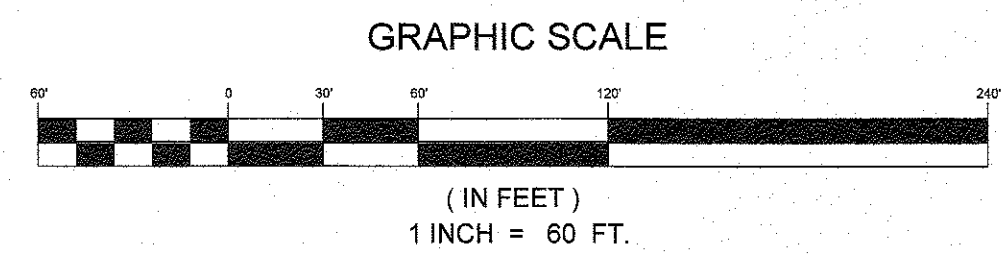
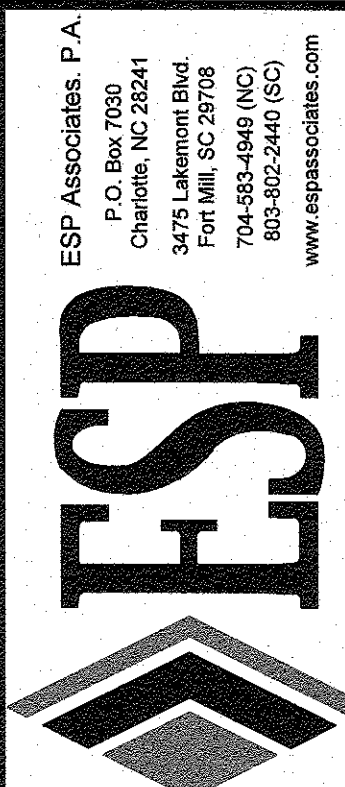


ELIZABETH GLEN

LOCATED IN CHARLOTTE, NC

ENGINEERING FIRM:
ADDRESS:
PHONE:
FAX:
CONTACT:
DEVELOPER:
ADDRESS:
PHONE:
FAX:
CONTACT:
EMAIL:

ESP ASSOCIATES, P.A.
P.O. BOX 7030
CHARLOTTE, NC 28241
(803) 802-2440
(803) 802-2515
ANDREW P. GRANT, PE
PULTE HOME COMPANY, LLC
11121 CARMEL COMMONS BLVD.
SUITE 450
CHARLOTTE, NC 28226
(704) 543-4022
(704) 414-7099
CISCO GARCIA
CISCO.GARCIA@PULTEGROUP.COM



**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 4/6/18

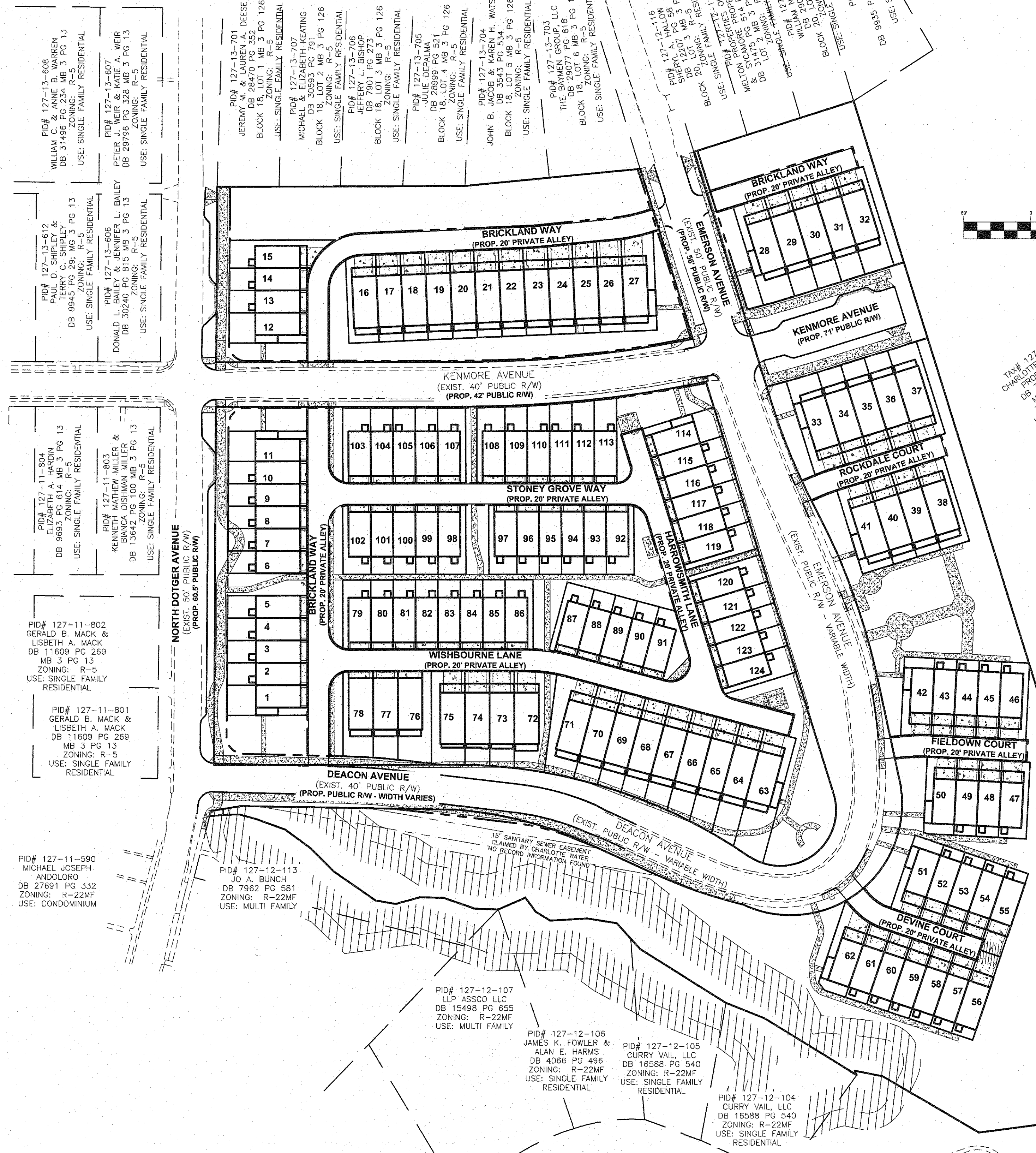


FINAL APPROVAL
PROJECT NUMBER: SDRMF-2017-00105

ENGINEERING
PCSO / DETENTION / DRAINAGE PLAN
EROSION CONTROL
URBAN FORESTRY
TREE ORDINANCE
CDOT

APPROVED
By Emily Chien at 1:08 pm, Apr 05, 2018
APPROVED
By Craig Robinson
APPROVED
By Isaiah Washington

TAX# 127-12-174
EASTOVER ODYSSEY, LLC
DB 10368 PG 902
MB 4 PG 253
ZONING: OC-2(CD)
USE: COMMERCIAL



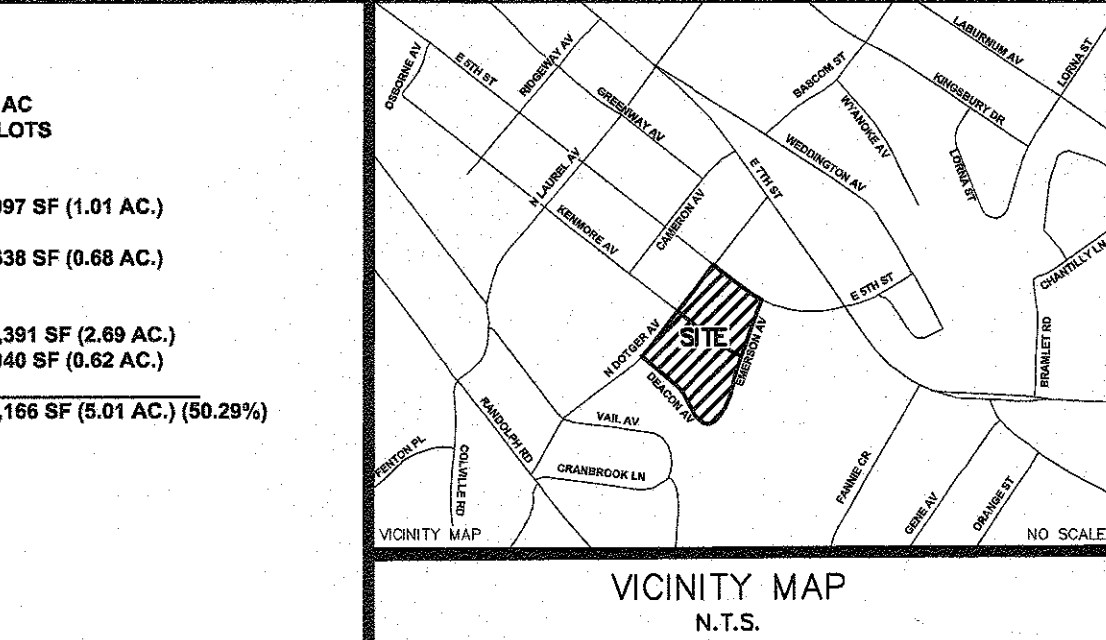
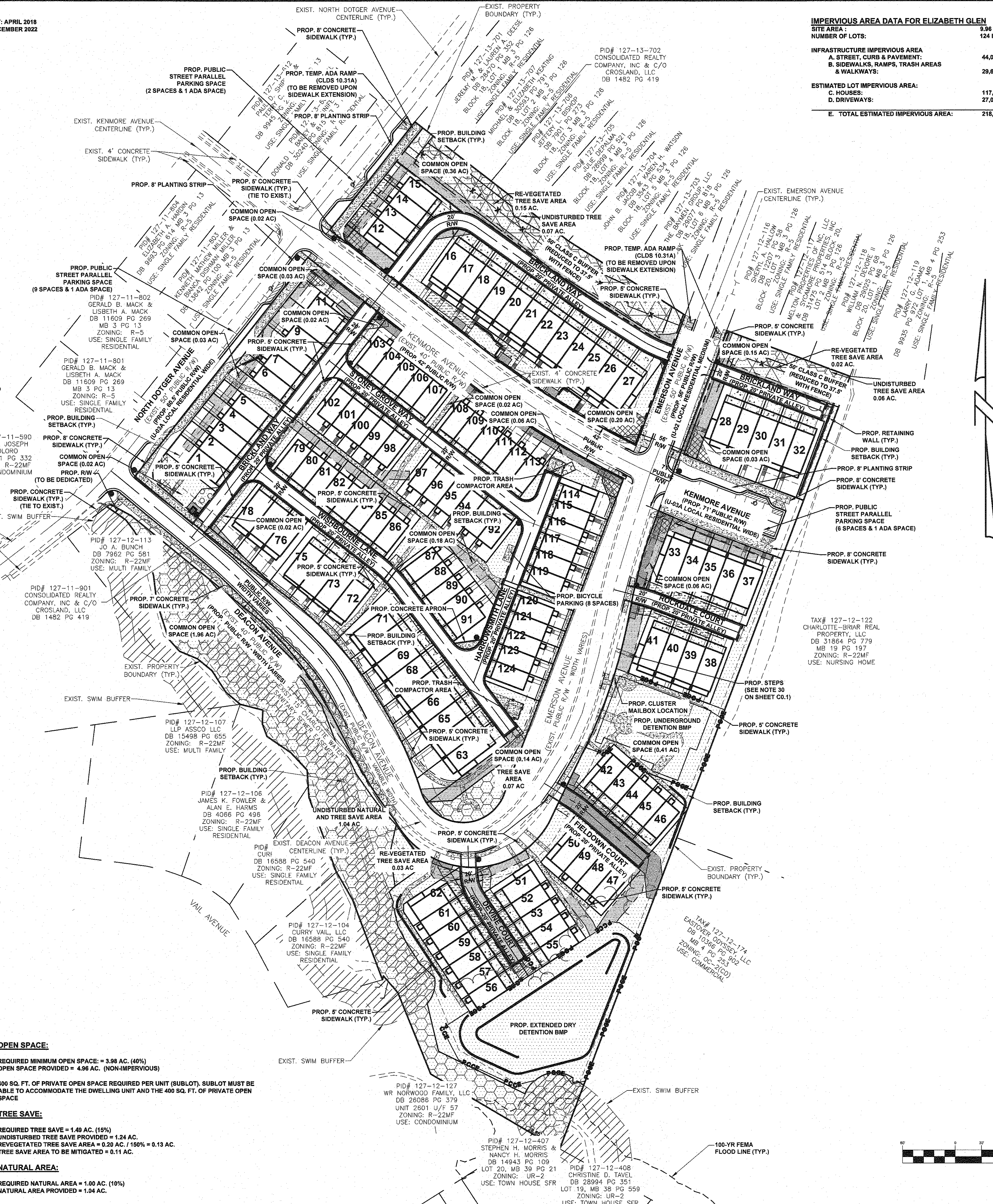
THIS SET IS CURRENT THROUGH SHEET DATE 04/04/2018

INDEX OF SHEETS			
SHEET NO.	SHEET TITLE	ORIGINAL DATE	REVISED DATE
C0.0	COVER SHEET	11/03/2017	04/04/2018
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-	TOPOGRAPHIC SURVEY (SHEET 2 OF 2)	11/03/2017	01/10/2018
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C0.2	DEVELOPMENT NOTES (SHEET 2 OF 2)	11/03/2017	03/06/2018
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C1.1	DEVELOPMENT DETAILS (SHEET 2 OF 4)	11/03/2017	-
C1.2	DEVELOPMENT DETAILS (SHEET 3 OF 4)	11/03/2017	04/04/2018
C1.3	DEVELOPMENT DETAILS (SHEET 4 OF 4)	02/02/2018	04/04/2018
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C2.1	EXISTING CONDITIONS & DEMOLITION PLAN (SHEET 2 OF 2)	11/03/2017	03/06/2018
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C3.3	TURNING MOVEMENTS PLAN	11/03/2017	03/06/2018
C3.4	DEVINE COURT SIGHT DISTANCE PROFILE	02/02/2018	03/06/2018
C4.0	OVERALL GRADING PLAN	11/03/2017	04/04/2018
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C4.5	STORM DRAINAGE PROFILES (SHEET 3 OF 7)	11/03/2017	03/06/2018
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C4.11	ADA RAMP DETAILED GRADING PLAN	03/06/2018	-
C5.0	BRICKLAND WAY ROAD PLAN & PROFILE	11/03/2017	03/06/2018
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C5.2	DEVINE COURT, FIELDOWN COURT AND ROCKDALE COURT ROAD PLAN & PROFILE	11/03/2017	03/06/2018
C5.3	KENMORE AVENUE ROAD PLAN & PROFILE	11/03/2017	03/06/2018
C5.4	TRAFFIC CONTROL PLAN	11/03/2017	03/06/2018
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C5.6	NORTH DOTGER AVENUE ROAD IMPROVEMENT PLAN	11/03/2017	03/06/2018
C5.7	DEACON AVENUE ROAD IMPROVEMENT PLAN	11/03/2017	04/04/2018
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C5.20	EMERSON AVENUE ROAD CROSS SECTIONS (SHEET 4 OF 4)	11/03/2017	03/06/2018
C6.0	BMP AND STORMWATER MANAGEMENT PLAN	11/03/2017	04/04/2018
C6.1	EXTENDED DRY DETENTION & SAND FILTER BMP	11/03/2017	03/06/2018
C6.2	UNDERGROUND DETENTION BMP	11/03/2017	04/04/2018
C6.3	PRE-DEVELOPMENT DRAINAGE AREA MAP	11/03/2017	02/02/2018
C7.0	OVERALL EROSION CONTROL PHASE 1 PLAN	11/03/2017	03/06/2018
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C7.5	EROSION CONTROL PLAN PHASE 2 (SHEET 2 OF 2)	11/03/2017	03/06/2018
C7.6	EROSION CONTROL DETAILS (SHEET 1 OF 3)	11/03/2017	-
C7.7	EROSION CONTROL DETAILS (SHEET 2 OF 3)	11/03/2017	-
C7.8	EROSION CONTROL DETAILS (SHEET 3 OF 3)	11/03/2017	03/06/2018
C8.0	CROSS SECTIONS	02/02/2018	-
L1.0	LANDSCAPING PLAN	11/03/2017	04/04/2018
L1.1	PLANTING DETAILS	11/03/2017	03/06/2018

COVER SHEET			
NO.	DATE	REVISION	BY
1	02/02/2018	REVISED PER AGENCY COMMENTS	KGL
2	03/06/2018	REVISED PER AGENCY COMMENTS	KGL
3	03/22/2018	REVISED PER AGENCY COMMENTS	MUS
4	04/04/2018	REVISED PER AGENCY COMMENTS	KGL
PROJECT INFORMATION			
PROJECT MANAGER:	APG	DESIGNED BY:	CRW
DRAWN BY:	CRW	PROJECT NUMBER:	EV19.400
ORIGINAL DATE:	11/03/2017	SHEET:	C0.0

SITE DATA:
SITE ADDRESS: 2500 KENMORE AVENUE
CHARLOTTE, NC 28204
PROPOSED START: APRIL 2018
COMPLETION: DECEMBER 2022
TAX PARCELS: 127-11-001
127-12-114
127-13-702
127-12-115
DEED BOOK PAGE: DB 1482 PG 419, DB 884 PG 481, MB 3 PG 126,
DB 30462 PG 591
JURISDICTION: CITY OF CHARLOTTE, NC
ZONING: R-22MF
WATERSHED: CENTRAL CATAWBA
EXIST. AREA: 9.96 AC.
EXIST. RW: N/A
PROP. PUBLIC RW: 4.20 AC.
IMPERVIOUS AREA: 4.99 AC.
EXIST. USE: MULTI-FAMILY
PROP. USE: SINGLE FAMILY ATTACHED (TOWNHOMES) LAND FOR SALE
PROPOSED UNITS: 124
PROP. AREA IN LOTS: 4.77 AC.
1.46 AC. (INCLUDING PRIVATE ALLEYS)
PROP. COMMON OPEN SPACE: 3.72 AC. (AREA NOT IN LOTS, PRIVATE ALLEYS, OR PUBLIC RIGHT OF WAY)
PRIVATE OPEN SPACE: 400 SQ. FT. REQUIRED PER UNIT; SUBLOT MUST BE ABLE TO ACCOMMODATE
THE DWELLING UNIT AND THE 400 SQ. FT. OF PRIVATE OPEN SPACE
LENGTH OF ALLEYS: 2.387 FT.
PARKING SPACES REQUIRED: 1.5 SPACES PER UNIT X 124 UNITS = 186 SPACES
ON STREET PARKING PROVIDED: 20 SPACES (INCLUDING 3 ADA SPACES)
GARAGE PARKING PROVIDED: 2 SPACES PER UNIT X 124 UNITS = 248 SPACES
BICYCLE PARKING REQUIRED: 1 SPACES PER 20 UNITS X 124 UNITS = 7 SPACES
BICYCLE PARKING PROVIDED: 8 SPACES
DENSITY ALLOWED: 22 DU/AC (215 UNITS)
DENSITY PROPOSED: 12.45 DU/AC (124 UNITS)
SOLID WASTE REQUIRED: ONE (1) - 8 CU.YD. DUMPSTER PER 30 UNITS OR
ONE (1) - 8 CU.YD. COMPACTOR PER 90 UNITS
SOLID WASTE PROPOSED: TWO (2) - 8 CU. YD. COMPACTORS
RECYCLING REQUIRED: ONE (1) - 144 SQ.FT. STATION PER 80 UNITS
RECYCLING PROPOSED: TWO (2) - 144 SQ.FT. STATIONS
SETBACKS:
MIN. SETBACK (STREET): 27 FEET (REDUCED TO 15' PER CHARLOTTE ZONING SEC. 9.303 (19) (f)
MIN. SIDE YARD: 5 FEET OR 10 FEET ADJOINING SINGLE FAMILY DEVELOPED OR ZONED LAND
MIN. REAR YARD: 40 FEET (SEE NOTE 12 BELOW)
GARAGE SETBACK: LESS THAN OR EQUAL TO 7 FEET / GREATER THAN OR EQUAL TO 20 FEET
FROM BACK OF CURB OR BACK OF SIDEWALK, WHICHEVER IS GREATER
BUILDING HEIGHT:
BUILDING HEIGHT ALLOWED: 1. 100 FEET MAX. ADJACENT TO NON-RESIDENTIAL OR R-22 MF
2. 40' + 1" VERTICALLY FOR EVERY 2' HORIZONTAL BEHIND
SETBACK AND YARDS ADJACENT TO R-5 WITH
RESIDENTIAL USE (ZONING SEC. 9.305 (1) (i) (B))
BUILDING HEIGHT PROPOSED: MAX HEIGHT FOR 20' - CRESTWIND/BROXTON IS 47 FEET
MAX HEIGHT FOR 22' - BAINBRIDGE/CAINBRIDGE IS 49 FEET
16 FEET MIN.
BUILDING SEPARATION: (TO BE DEDICATED)
DEVELOPMENT INFORMATION:
NAME: ELIZABETH GLEN
USE: MULTI-FAMILY RESIDENTIAL (TOWNHOMES)
ZONING: R-22MF
PROPERTY OWNER: CONSOLIDATED REALTY COMPANY, INC.
201 S. COLLEGE ST #1300
CHARLOTTE, NC 28204
EASTERN FEDERAL CORPORATION
122 15TH ST. SUITE U
DEL MAR, CA 92014
DEVELOPER: PULTE HOME COMPANY, LLC.
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226
CISCO GARCIA
EMAIL: CISCO.GARCIA@PULTEGROUP.COM
PHONE: (704) 543-4922
ENGINEER: ESP ASSOCIATES, P.A.
P.O. BOX 7030
CHARLOTTE, NC 28241
ANDREW P. GRANT, PE
EMAIL: AGRANT@ESPASSOCIATES.COM
PHONE: (803) 862-2515
SERVICE PROVIDERS:
SCHOOL DISTRICT: CHARLOTTE - DISTRICT 5
FIRE DISTRICT: CITY OF CHARLOTTE
ELECTRIC: DUKE ENERGY
TELEPHONE: SPECTRUM
CABLE TV / INTERNET: SPECTRUM
NATURAL GAS: PIEDMONT NATURAL GAS COMPANY
WATER & SEWER: CHARLOTTE WATER & PRIVATELY MAINTAINED

SITE NOTES
1. ALL RADI DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
2. SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
3. MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 0.50%, UNLESS SPILL CURB IS INDICATED.
4. ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
5. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
6. NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
7. ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3600 PSI STRENGTH AT 28 DAYS.
8. LIGHTING PLAN TO BE DESIGNED BY OTHERS.
9. IRRIGATION PLAN TO BE DESIGNED BY OTHERS.
10. SIGNAGE PLAN TO BE PERMITTED BY OTHERS.
11. MONUMENT AND LANDSCAPE PLAN TO BE DESIGNED BY OTHERS.
12. ARCHITECTURAL FEATURES SUCH AS CORNICES, EAVES, STEPS, GUTTER, AND FIRE ESCAPES MAY PROJECT UP TO THREE (3) FEET INTO 15-FOOT SETBACK AREA. (ZONING SEC. 9.303.19 (f) (ii))
13. ALL SIDES OF DWELLING UNITS ALONG PUBLIC STREETS USING THE 15 FOOT SETBACK (PER SECTION 9.303 (19)(f) OF THE ZONING ORDINANCE) MUST HAVE BUILDING ELEVATIONS FACING THE STREET AS A FRONT ARCHITECTURAL FACADE WITH AN ENTRANCE DOORWAY.
14. PER CITY ORDINANCE, MULTIFAMILY PROPERTIES WITH OVER 28 UNITS ARE NOT ELIGIBLE FOR CITY-ISSUED INDIVIDUAL ROLL OUT CART GARBAGE / RECYCLE SERVICE. THE CITY PROVIDES SERVICE TO MULTIFAMILY PROPERTIES ON THE CITY'S CONTRACT, THE PROPERTY MUST PROVIDE ITS OWN DUMPSTER / COMPACTOR FOR SERVICE.
15. THIS PROJECT WILL NOT USE CITY OF CHARLOTTE WASTE OR RECYCLING SERVICES. THESE SERVICES WILL BE PROVIDED THROUGH THE ELIZABETH GLEN HOME OWNERS ASSOCIATION.
16. ALL UTILITIES WILL BE UNDERGROUND
17. PRIVATE STREETS AND SURFACE PARKING AREAS WILL BE NO CLOSER THAN 15 FEET TO ANY SIDE OF A RESIDENTIAL BUILDING USED FOR ENTRY INTO THE BUILDING AND WILL BE NO CLOSER THAN 5 FEET TO ANY OTHER FACE OF A BUILDING.
18. ALL NEW SIDEWALKS THAT WILL BE INSTALLED UNDER EXISTING TREE CANOPY WILL NEED TO USE CLDS 40.11.
19. ALL STEPS THAT EXTEND MORE THAN 3" INTO SETBACK SHALL BE PART OF CONCRETE LEAD WALK AND NOT AN ARCHITECTURAL FEATURE OF THE HOUSE.



LEGEND

PROP. CONCRETE SIDEWALK	
PROP. STORM DRAINAGE EASEMENT (SDE)	
PROP. SAN. SWR. EASEMENT	
PROP. WATER EASEMENT	
PROP. SIGHT TRIANGLE	
PROP. COMMON OPEN SPACE	
PROP. UNDISTURBED NATURAL AREA	
PROP. TREE SAVE AREA	
PROP. REVEGETATED TREE SAVE AREA	
PROP. CLASS 'C' BUFFER	
PROP. POST CONSTRUCTION CONTROL EASEMENT	
EXIST. SWIM & POCO BUFFER	
EXIST. CONCRETE SIDEWALK	

GRAPHIC SCALE

(IN FEET)
1 INCH = 60 FT.

100-YR FEMA FLOOD LINE (TYP.)

ESP ASSOCIATES, P.A.
P.O. Box 7030
Charlotte, NC 28241
3475 Lakemont Blvd.
Fort Mill, SC 29708
704-563-4949 (NC)
803-562-2440 (SC)
www.espassociates.com

ESP

REVISION

NO.	DATE	REVISION
1	02/02/2018	REVISED PER AGENCY COMMENTS
2	03/06/2018	REVISED PER AGENCY COMMENTS
3	04/04/2018	REVISED PER AGENCY COMMENTS

OVERALL SITE PLAN

ELIZABETH GLEN

PULTE HOME COMPANY, LLC.

PROJECT INFORMATION

PROJECT MANAGER:	APG
DESIGNED BY:	CRW
DRAWN BY:	CRW
PROJECT NUMBER:	EV19.400
ORIGINAL DATE:	11/03/2017
SHEET:	C3.0