



FINAL
APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

SDRMF-2017-00020

APPROVED

By mark chapman at 3:04 pm, Nov 21, 2017

APPROVED

By Stan Armstrong at 9:39 pm, Dec 05, 2017

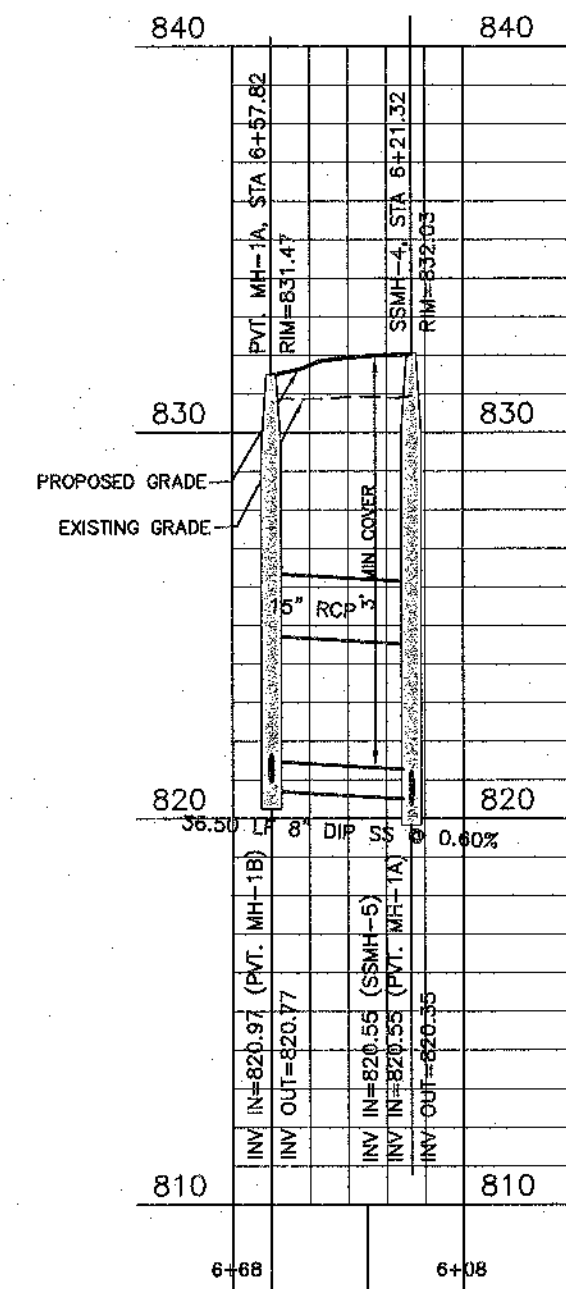
as noted
on LS-1
and SW-ALS

OK with Comments: However Curb radii must be reduced to
+/- 25'. Curb radii are way to large (i.e. 45') at David Cox and
the subdivision's main entrance. Trucks/fire trucks can straddle
travel lanes to make their turns (see sheet RW-6).

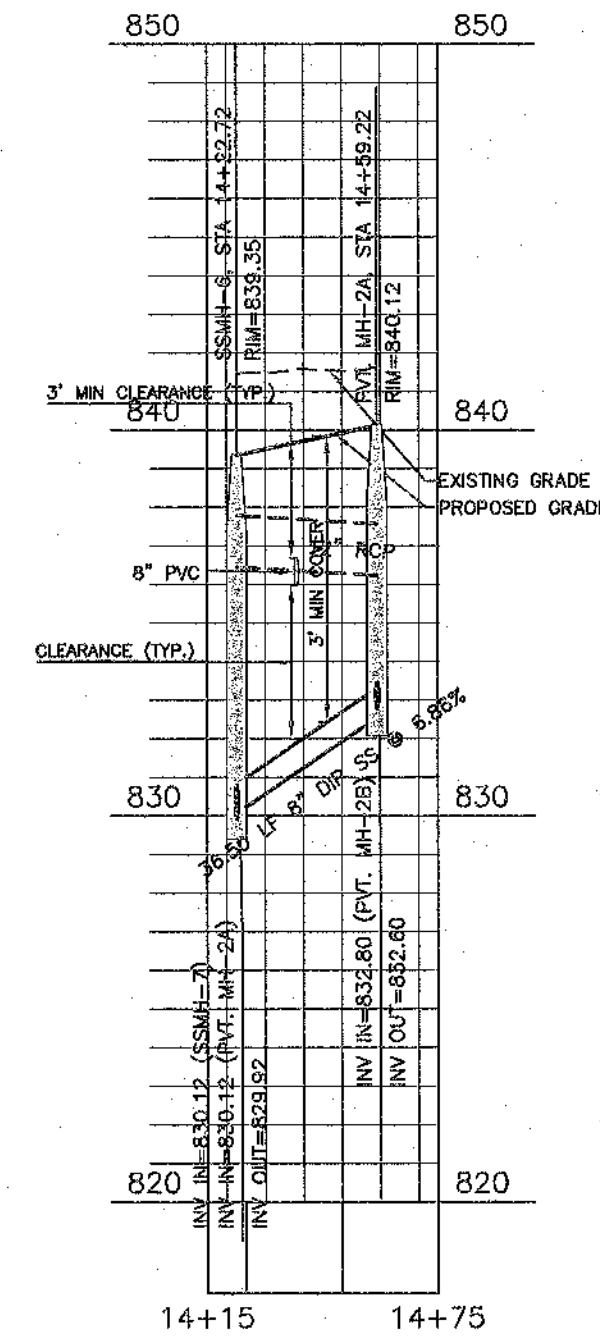
PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 1-8-2018 2 of 2

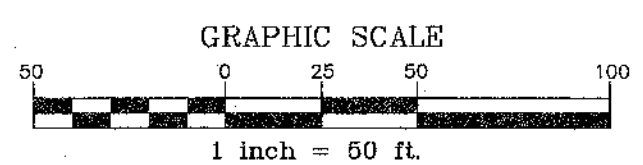
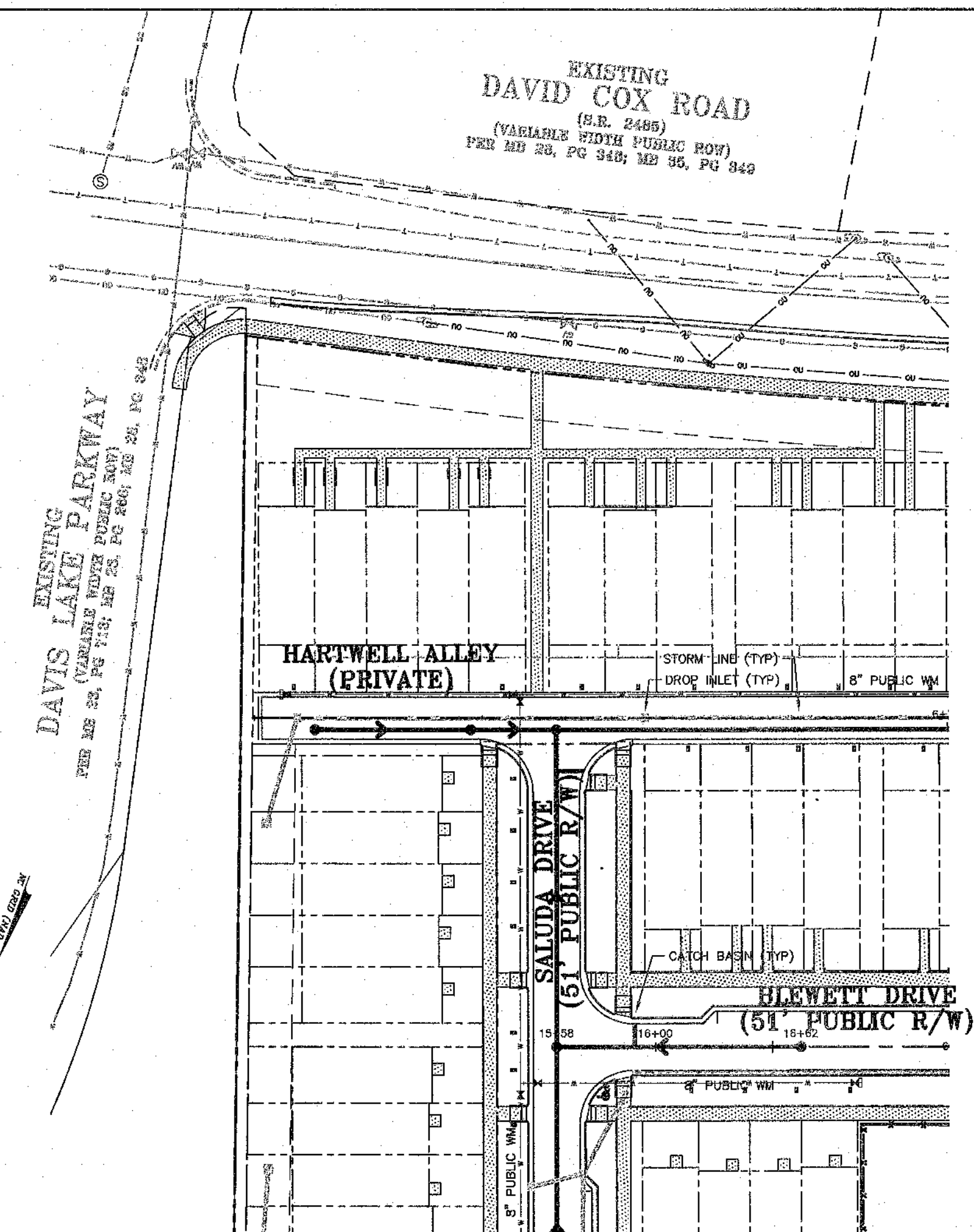
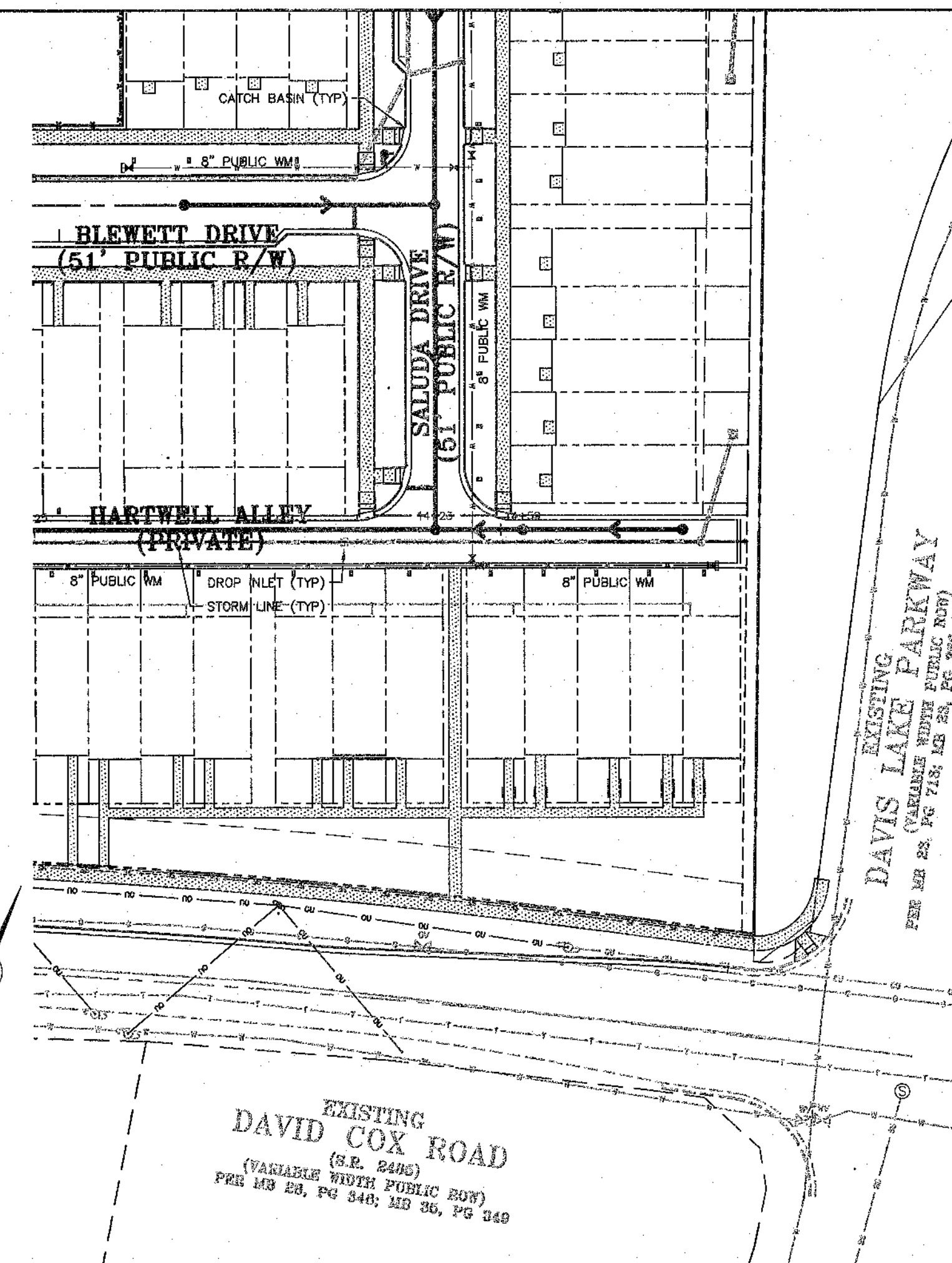
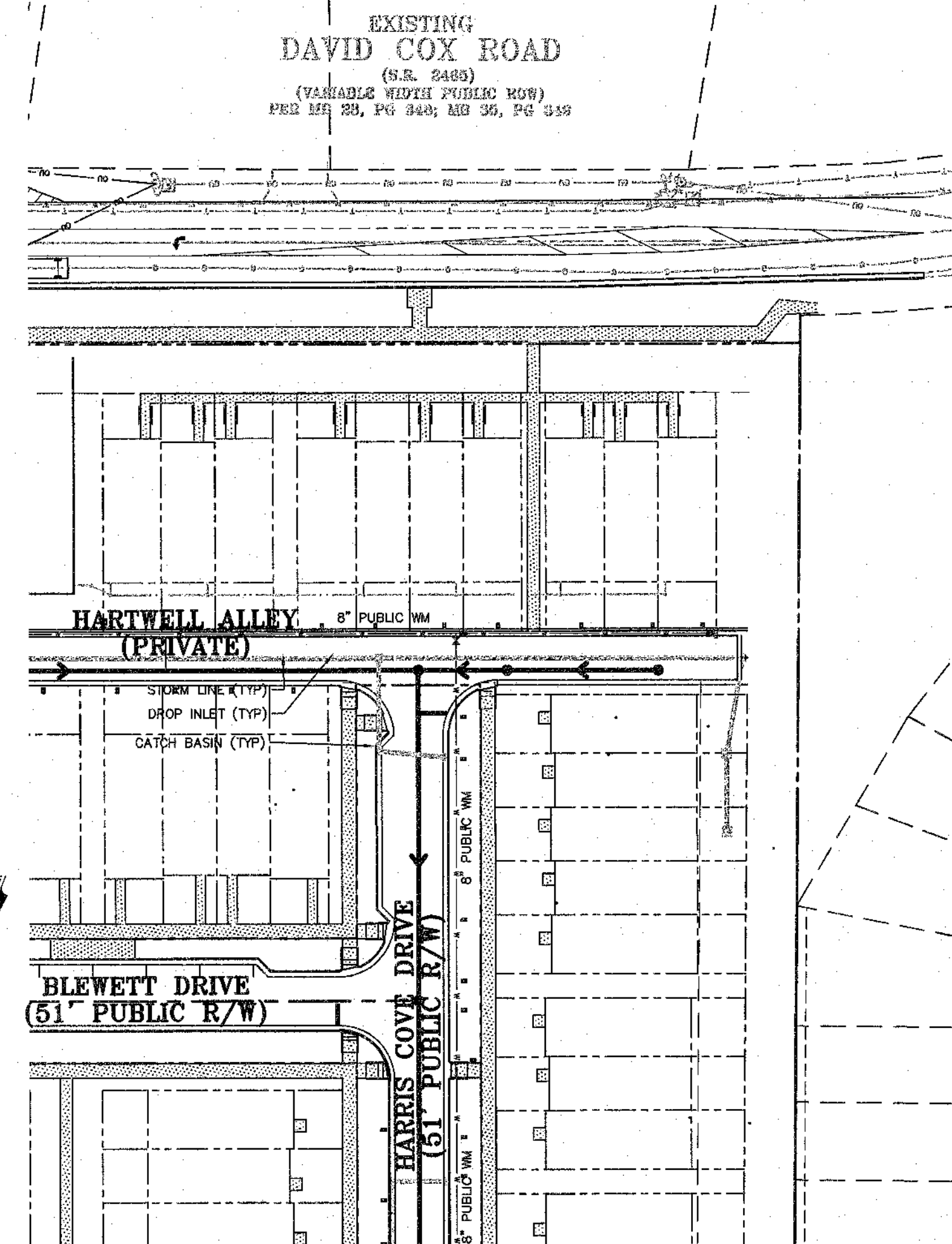
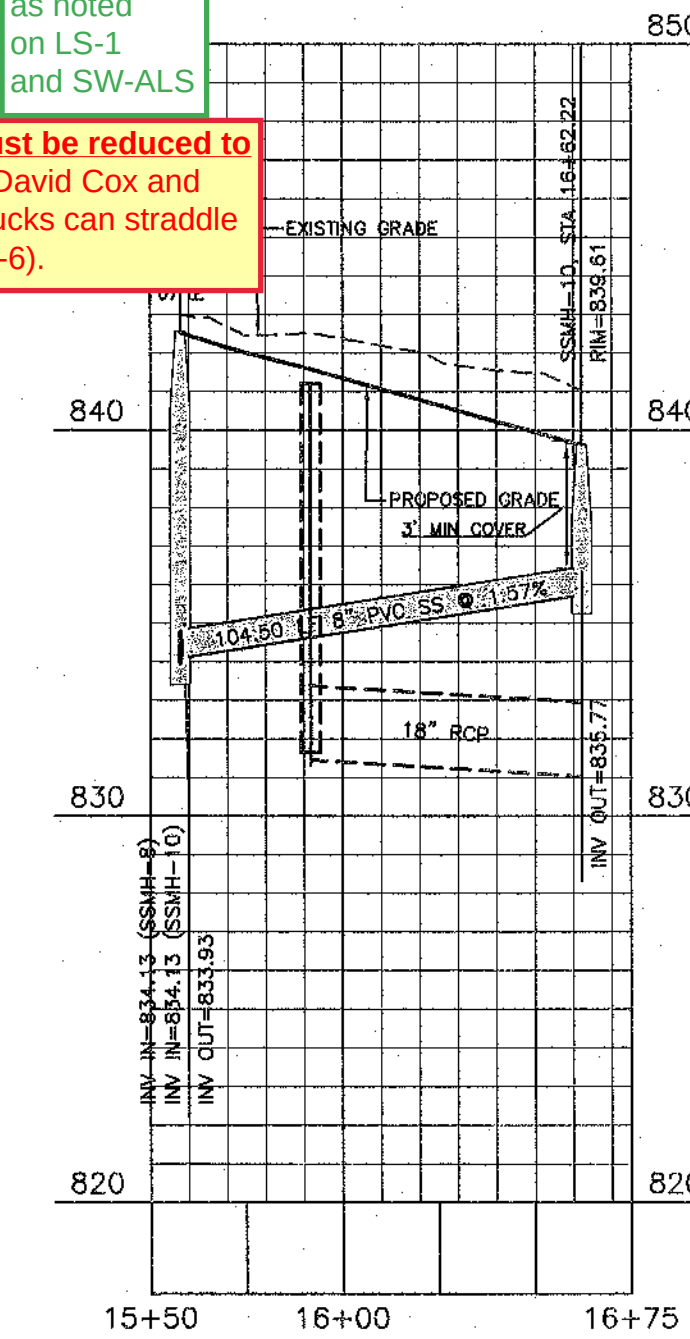
SSMH-4 - PVT. MH-1B



SMH-6 - PVT. MH-2A



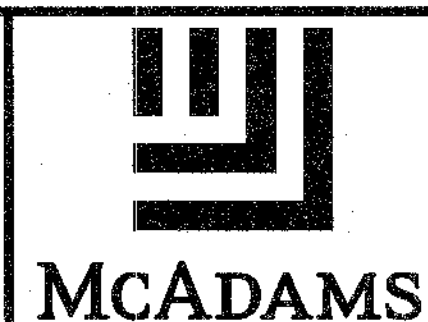
SSMH-7 - SSMH-10



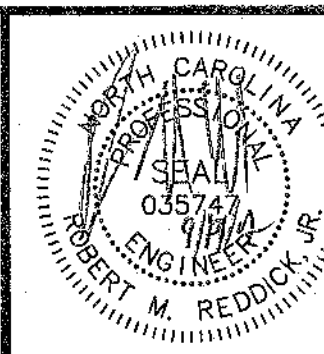
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

NO.	REVISIONS	DATE
6		
5		
4		
3		
2	CITY, CLT. WTR. AND NCDOT COMMENTS	2017-09-19
1	CITY, CLT. WTR. AND NCDOT COMMENTS	2017-06-07

OWNER:
DEMETER PROPERTIES, LLC
19421 LIVERPOOL PARKWAY
CORNELIUS, NORTH CAROLINA 28031



THE JOHN R. McADAMS
COMPANY, INC.
3436 Toringdon Way
Suite 110
Charlotte, North Carolina 28277
License No.: C-0293
(800) 733-5646 • McAdamsCo.com



PROJECT NO. EAS-16000
FILENAME: EAS16000-P23
CHECKED BY: BGP
DRAWN BY: JBW
HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'
DATE: 02-28-2017

PLAN & PROFILE
SSMH-103 - SSMH-103A
SSMH-105 - SSMH-105A
SSMH-106 - SSMH-106A

THE ENCLAVE AT DAVIS LAKE
CONSTRUCTION DRAWINGS
DAVID COX ROAD
CHARLOTTE, NORTH CAROLINA

SHEET NO.
P-23
McADAMS
PRINT DATE: