

Whitehall Johnston Lake
Multifamily Development
City of Charlotte, Mecklenburg County, North Carolina
Rule Joy Trammell + Rubio, LLC.

DEVELOPER Dominion Realty Partners, LLC
1600 Camden Rd, Suite 200
Charlotte, NC 28203
(704)877-0325

LANDSCAPE ARCHITECT LandDesign, Inc.
223 N. Graham Street
Charlotte, NC 28202
(704)333-0325
Contact: Allison Merriman, RLA
E-mail: amerriman@landdesign.com

CIVIL ENGINEER LandDesign, Inc.
223 N. Graham Street
Charlotte, NC 28202
(704)333-0325
Contact: David Gastel
E-mail: dgastel@landdesign.com

ARCHITECT Rule Joy Trammell + Rubio LLC.
300 Galleria Parkway
Suite 740
Atlanta, GA 30338
(770)661-1492

SURVEYOR LDSI, Inc.
508 W. 5th Street
Suite 125
Charlotte, NC 28202
(704)337-8329

SHEET INDEX:

CHAPTER 1		CHAPTER 5	
C-1.0	Cover Sheet	C-5.0	Code Planting Plan
C-1.2	Existing Conditions Plan	C-5.0A	Foundation and Amenity Planting Plan
C-1.3	Rezoning - Technical Data Sheet	C-5.1	Detailed Planting Plan
C-1.4	Rezoning - Schematic Site Plan	C-5.2	Detailed Planting Plan
C-1.5	Rezoning - Development Standards	C-5.3	Detailed Planting Plan
C-1.6	Rezoning - Development Standards	C-5.4	Detailed Planting Plan
		C-5.5	Foundation and Amenity Planting Schedule and Detail
		C-5.6	Planting Details
CHAPTER 2		CHAPTER 6	
C-2.0	Overall Site Plan	C-6.0	Overall Water Plan
C-2.1	Detailed Site Plan	C-6.1	Site Distance Plan & Profile
C-2.2	Detailed Site Plan	C-6.2	Site Distance Plan & Profile
C-2.3	Detailed Site Plan	C-6.3	Site Distance Plan
C-2.4	Detailed Site Plan	C-6.4	Site Distance Plan
C-2.5	Detailed Site Plan		
C-2.6	Site Details	CHAPTER 7	
C-2.7	Site Details	C-7.0	W. Arrowood Rd. Demolition Plan
C-2.8	Site Details	C-7.1	W. Arrowood Rd. Layout, Striping, and Signage Plan
C-2.9	Fire Truck Access	C-7.2	W. Arrowood Rd. Pavement Plan
C-2.10	Amenity Layout Plan	C-7.3	W. Arrowood Rd. Grading and Storm Drainage Plan
C-2.11	Amenity Details	C-7.4 - C-7.8	W. Arrowood Rd. Cross Sections
C-2.12	Amenity Details	C-7.9	W. Arrowood Rd. Sight Distance
C-2.13	Amenity Details	C-7.10	W. Arrowood Rd. Vehicle Movements
C-2.14	Amenity Details	C-7.11	W. Arrowood Rd. Traffic Control Plan
		C-7.12	Offsite Roadway Details
CHAPTER 3		CHAPTER 8	
C-3.0	Erosion Control Phase 1 Plan	C-8.0	Storm Details
C-3.1	Erosion Control Phase 2 Plan	C-8.1	Storm Details
C-3.2	Erosion Control Phase 3 Plan		
C-3.3	Erosion Control Details		
C-3.4	Erosion Control Details		
CHAPTER 4			
C-4.0	Overall Grading and Drainage Plan		
C-4.0 A	Overall Grading Plan		
C-4.1	Storm Drainage Plan		
C-4.2	Proposed Stone Grove Lane Plan & Profile		
C-4.3	Proposed Stone Grove Lane Plan & Profile		
C-4.4	Private Road B Plan & Profile		
C-4.5	CI-43 to CI-3 Plan & Profile		
C-4.6	CI-31 to CI-32 and Private Road C Plan & Profile		
C-4.7	CI-34 to CI-41 Plan & Profile		
C-4.8	MH-2 to Ex. HW Plan & Profile		
C-4.9	Johnston Lake BMP Calculations		
C-4.10	Detailed Grading Plan		
C-4.11	Detailed Grading Plan		
C-4.12	Detailed Grading Plan		
C-4.13	Detailed Grading Plan		
C-4.14	Detailed Grading Plan		



FINAL
APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED
By Emily Chien at 4:11 pm, Sep 08, 2017

EROSION CONTROL

APPROVED

URBAN FORESTRY
TREE ORDINANCE

APPROVED

Henry Kunzig

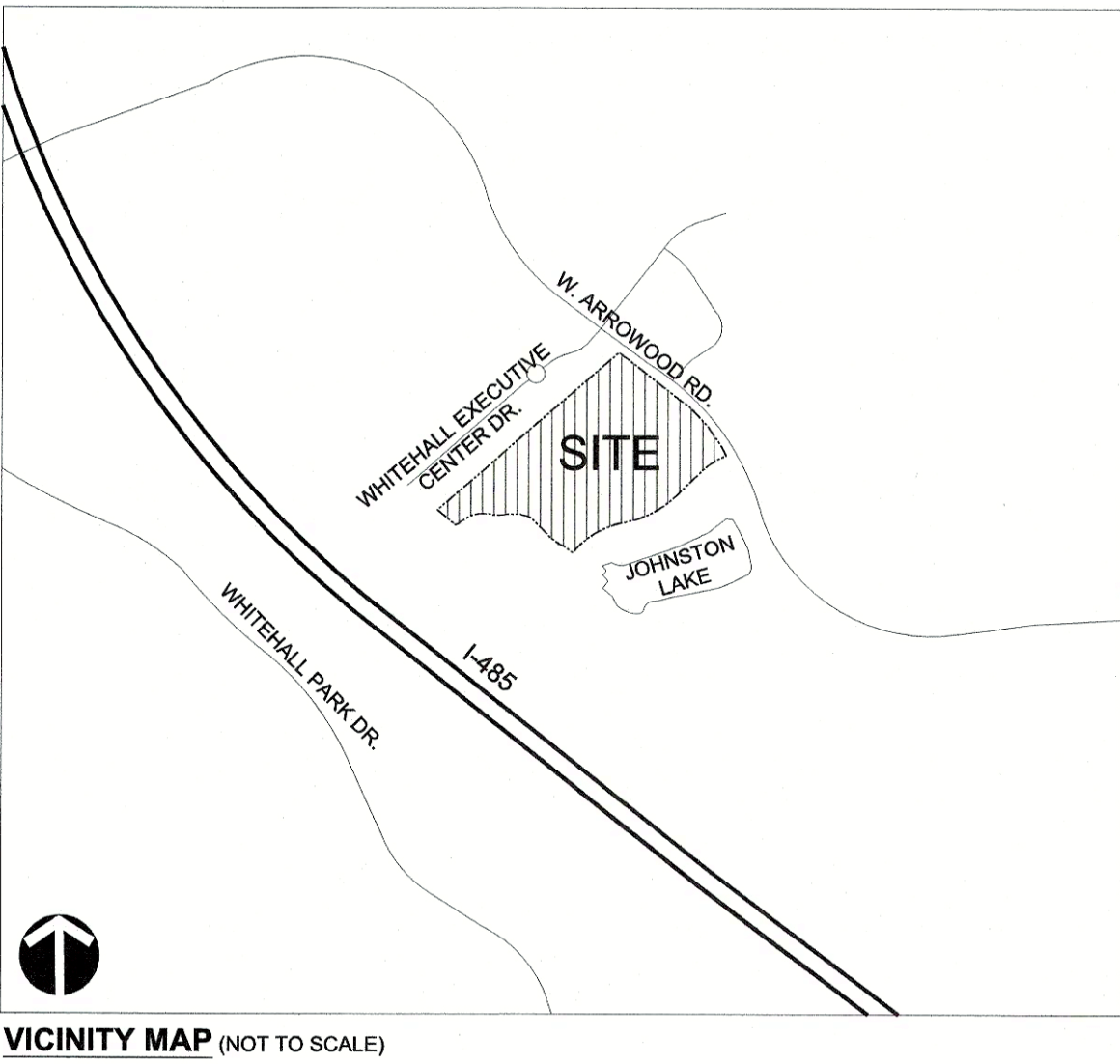
CDOT

APPROVED

Carlos Alzate

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 9-8-2017 1 of 3



North Carolina Department of Transportation (NCDOT)
Date: 9/13/17
By: [Signature]
Telephone: [Redacted]

Only North Carolina Department
of Transportation
are to be constructed in ADJUT
rights of way.

SEP 13 2017
NCDOT Div. 1000, 2

LandDesign
NC Engineering Firm License # C-0658
223 N. Graham Street Charlotte, NC 28202
V: 704.333.0325 F: 704.332.3246
www.LandDesign.com



08/11/17

WHITEHALL JOHNSTON LAKE
RULE JOY TRAMMELL + RUBIO, LLC
2919 W ARROWOOD RD. CHARLOTTE, NC 28273
COVER SHEET

REVISIONS:
4-21-17 DESIGN DEVELOPMENT
6-15-17 ISSUE FOR CONSTRUCTION
07/31/17 3RD LAND DEVELOPMENT SUBMITTAL
08/11/17 LAND DEVELOPMENT / BUILDING
STANDARDS COMMENTS

DATE: APRIL 18, 2017
DESIGNED BY: DDP
CHECKED BY: NCDOT
QC BY: [Redacted]
SCALE: N.T.S.
PROJECT #: 1017010
SHEET #:
C-1.0

DEVELOPMENT SUMMARY

PARCEL ID#: 20130119
ZONING: R-17MF(CD) - PER REZONING PETITION #1994-011C

PER REZONING #1994-011C, PARCEL IVA SHALL CONTAIN THE FOLLOWING:

OPEN SPACE: 15.88 AC MIN.
PROVIDED TO DATE: STONEGROVE: +/-8.35 AC (INCLUDES STONEGROVE PHASE II, 201-375-70, +/-3 AC)
PARCEL 201.301.08: 18.6 AC
WHITEHALL JOHNSTON LAKE: 9.24 AC (PROPOSED)
TOTAL EXISTING/PROPOSED: 36.19 AC

UNITS: 1269 MAX.
PROVIDED TO DATE: STONEGROVE - 227 BUILT/26 UNBUILT
WHITEHALL JOHNSTON LAKE - 318
TOTAL EXISTING/PROPOSED: 571

SITE ACREAGE: 18.73 AC
IMPERVIOUS AREA: 9.44 AC (407,286 SF)

OPEN SPACE PROVIDED: 9.29 AC / 18.73 AC = 49.60% (45% MIN. REQUIRED)

TREE SAVE AREA: REQUIRED - 2.81 (15%)

*THE SITE IS LOCATED IN
THE MIXED-USE CENTER AREA
PROVIDED - 2.18 AC UNDISTURBED
0.65 AC REPLANTED (25 TREES)
2.83 AC TOTAL

PROPOSED USE: RESIDENTIAL DWELLINGS (APARTMENTS)

PROPOSED BUILDING TYPES:
-TYPE 1: 2 BUILDINGS
-TYPE 2: 3 BUILDINGS
-TYPE 3: 3 BUILDINGS
-TYPE 4: 3 BUILDINGS

PROPOSED UNITS: 318 (16.98 UNITS/ACRE; 17 UNITS/AC MAX ALLOWED)

MINIMUM FRONT SETBACK:
40' SETBACK ALONG W. ARROWOOD RD.
30' SETBACK ALONG JOHNSTON LAKE DR.
15' SETBACK ALONG CERNY DR.

MINIMUM SIDE YARD:
10' (BASED ON BUILDING ORIENTATION)
16' BUILDING SEPARATION

MINIMUM REAR YARD:
40' (BASED ON BUILDING ORIENTATION)

MAXIMUM HEIGHT:
PARKING SUMMARY
REQUIRED PARKING: 1.5 PARKING SPACES/UNIT MIN. = 477 PARKING SPACES

PROVIDED PARKING: TOTAL PARKING SPACES: 481 (1.51 SPACES PER UNIT)
89 ON-STREET PARKING SPACES
374 SURFACE PARKING SPACES
18 GARAGES

ACCESSIBLE PARKING REQUIRED: 9 (FOR 401-500 TOTAL PARKING SPACES PROVIDED)
ACCESSIBLE PARKING PROVIDED: 17 TOTAL
VAN ACCESSIBLE SPACES REQUIRED: 2
VAN ACCESSIBLE SPACES PROVIDED: 15

BICYCLE PARKING:
SHORT-TERM REQUIRED: 1 PER 20 UNITS (16 PARKING SPACES)
SHORT-TERM PROVIDED: 16

LONG-TERM REQUIRED: NONE
LONG-TERM PROVIDED: NONE

BUFFER REQUIREMENTS: NONE REQUIRED

SOLID WASTE SUMMARY:

SOLID WASTE CONTAINERS

REQUIRED: 8-CU YARD COMPACTOR PER 90 UNITS (28 CY)
PROVIDED: 28-CU YARD COMPACTOR MIN.

RECYCLING CONTAINERS

REQUIRED: 4 RECYCLING STATIONS @ 144 SF EACH = 576 SF TOTAL
PROVIDED: 590 SF

NOTE:

ALL UTILITIES SHALL BE UNDERGROUND

CONTRACTOR NOTE:

- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562

AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT NOTICE:

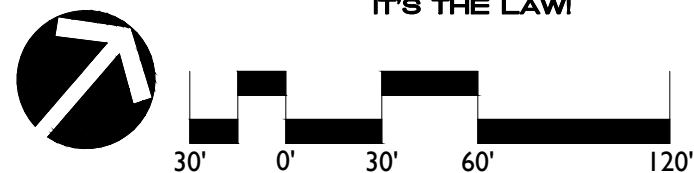
NOISE WARNING - THIS PROPERTY, EITHER PARTIALLY OR WHOLLY, IS ZONED AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT AND LIES WITHIN OR NEAR THE NOISE EXPOSURE MAP AREAS OF CHARLOTTE/DOUGLAS INTERNATIONAL AIRPORT AND MAY BE SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

LAYOUT NOTES:

- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION.
- SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- ALL PUBLIC AND PRIVATE STREET SECTIONS PER CMLDS STANDARDS.
- CONSTRUCTION SCHEDULE: GROUND BREAKING - SEPTEMBER 2017, COMPLETION - SEPTEMBER 2018
- METER BANKS ARE PROVIDED ON EACH BUILDING. SEE SHEET C-7.0 FOR LOCATIONS AND SCREENING.

LEGEND

PROPERTY BOUNDARY	---
SETBACK/YARDS	---
LIGHT DUTY ASPHALT	[Pattern]
HEAVY DUTY ASPHALT	[Pattern]
HEAVY DUTY CONCRETE	[Pattern]
SCORED CONCRETE SIDEWALK	[Pattern]
PROPOSED PEDESTRIAN LIGHT - DTL 3/C-2.8	[Symbol]
ADA PARKING SIGN DTL 8/C-2.6	[Symbol]
UNDISTURBED TREE SAVE AREA	[Pattern]
REPLANTED TREE SAVE AREA	[Pattern]



REVISIONS:

DATE: APRIL 18, 2017
DESIGNED BY: DDP
DRAWN BY: NYG
CHECKED BY: AWH
SCALE: 1"=40'
PROJECT #: 1017010
SHEET #:
06/15/17 2ND LAND DEVELOPMENT SUBMITTAL
06/30/17 GMP SET
08/01/17 3RD LAND DEVELOPMENT SUBMITTAL
08/11/17 4TH LAND DEVELOPMENT SUBMITTAL
REV/BLDG STD COMMENTS
08/15/17 URBAN FORESTRY COMMENTS

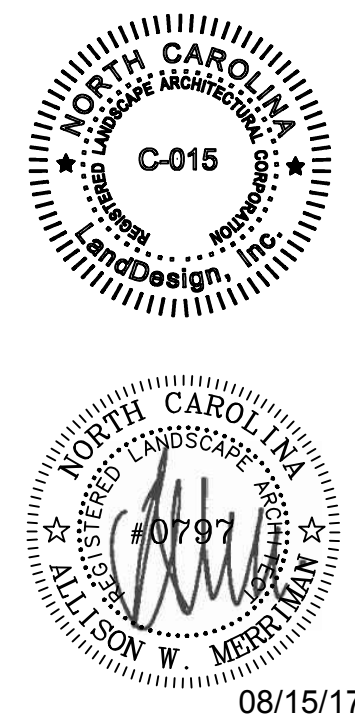
C-2.0

WHITEHALL JOHNSTON LAKE

RULE JOY TRAMMELL + RUBIO, LLC

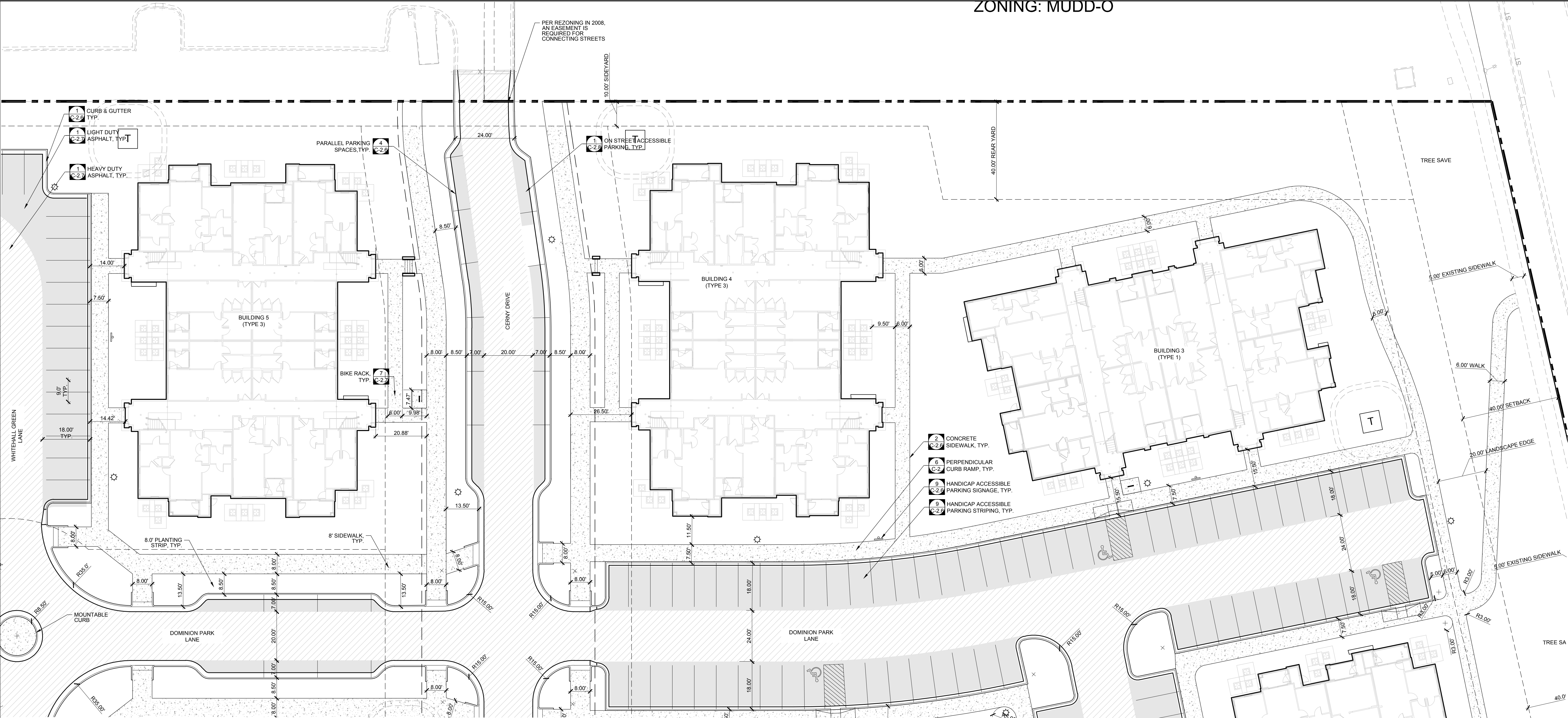
2919 W ARROWOOD RD. CHARLOTTE, NC 28273

OVERALL LAYOUT PLAN



LandDesign

NC Engineering Firm License # C-0658
223 N Graham Street Charlotte, NC 28202
V: 704-333-0225 F: 704-333-3246
www.LandDesign.com

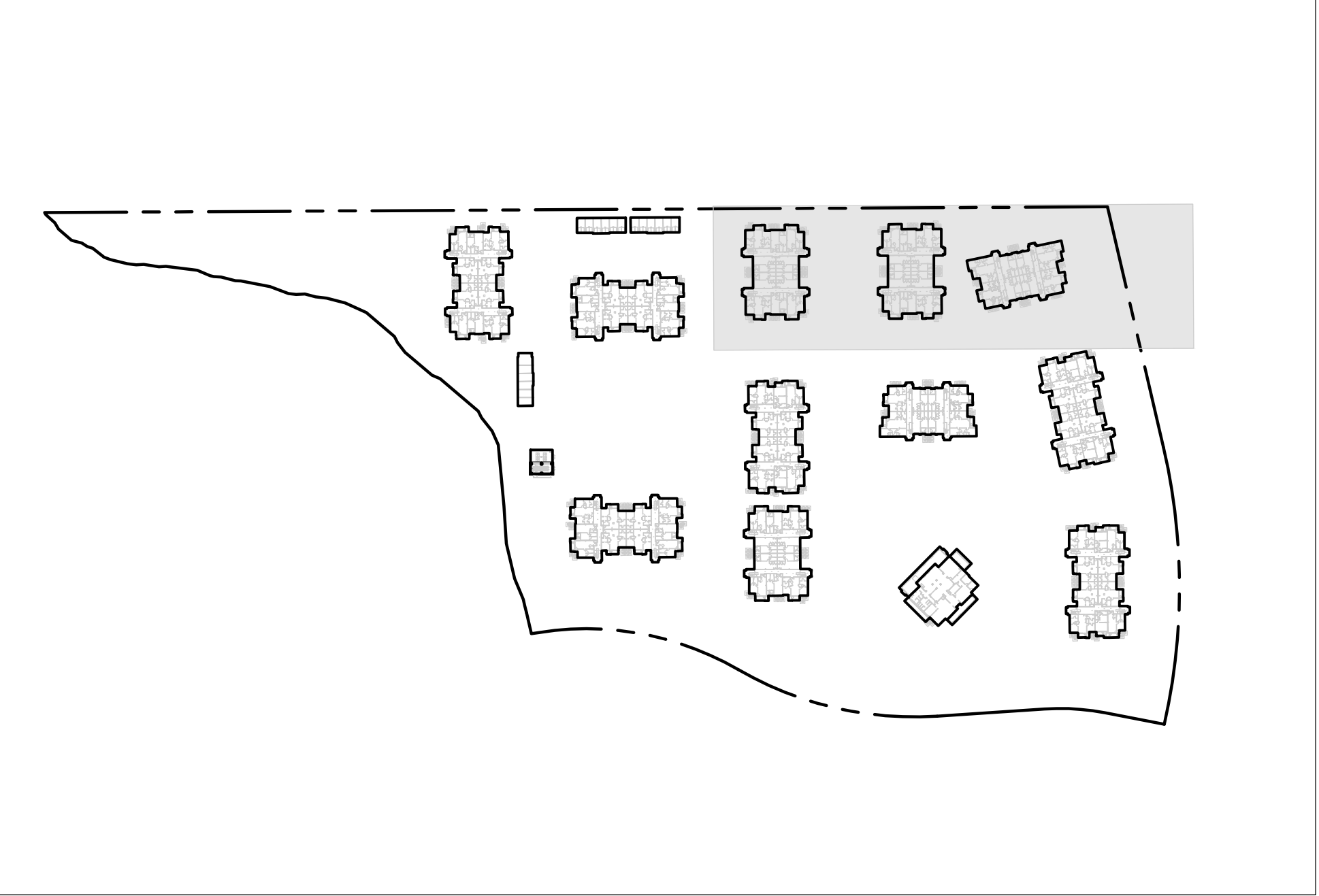


ZONING: MUDD-O

PER REZONING IN 2008, AN EASEMENT IS REQUIRED FOR CONNECTING STREETS

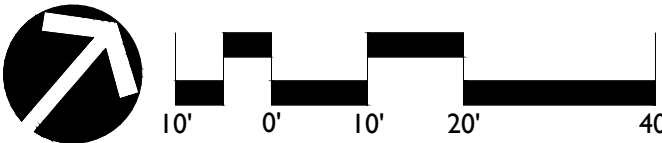
- 2 CONCRETE SIDEWALK, TYP.
- 6 PERPENDICULAR CURB RAMP, TYP.
- 9 HANDICAP ACCESSIBLE PARKING SIGNAGE, TYP.
- 9 HANDICAP ACCESSIBLE PARKING STRIPING, TYP.

SHEET INDEX



LEGEND

- PROPERTY BOUNDARY
- SETBACK/YARDS
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE
- SCORED CONCRETE SIDEWALK
- PROPOSED PEDESTRIAN LIGHT - DTL. 3/C-2.8
- ADA PARKING SIGN DTL. 8/C-2.6



BEFORE YOU DIG
CALL 1-800-632-4649
N.C. ONE-CALL CENTER
IT'S THE LAW

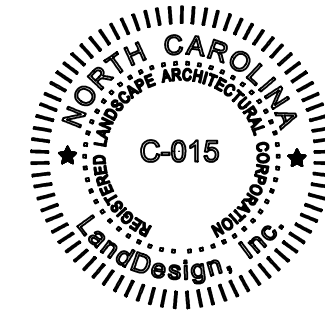
- REVISIONS:
- 06/15/17 2ND LAND DEVELOPMENT SUBMITTAL
 - 06/30/17 GMP SET
 - 08/01/17 3RD LAND DEVELOPMENT SUBMITTAL
 - 08/11/17 LAND DEVELOPMENT 3RD SUBMITTAL REV/BLDG. STD COMMENTS

DATE: APRIL 18, 2017
DESIGNED BY: DDP
DRAWN BY: NYG
CHECKED BY: AWM
SCALE: 1"=20'
PROJECT #: 1017010
SHEET #:

C-2.1

WHITEHALL JOHNSTON LAKE
RULE JOY TRAMMELL + RUBIO, LLC
2919 W ARROWOOD RD. CHARLOTTE, NC 28273
DETAILED LAYOUT PLAN

08/01/17



LandDesign
NC Engineering Firm License # C-0658
223 N Graham Street Charlotte, NC 28202
V: 704.333.0325 F: 704.332.3246
www.LandDesign.com