

REA FARMS SINGLE FAMILY AND TOWNHOMES - PHASE II

SUBDIVISION PERMIT SET / CONSTRUCTION DOCUMENTS

GOLF LINKS DRIVE & RED RUST LANE
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC

REVISION
PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 12-15-2017



FINAL
APPROVAL

SDRMUR-2017-00045

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED
By Brendan M. Smith at 10:06 am, Dec 15, 2017

EROSION CONTROL

APPROVED

URBAN FORESTRY
TREE ORDINANCE

APPROVED

CDOT

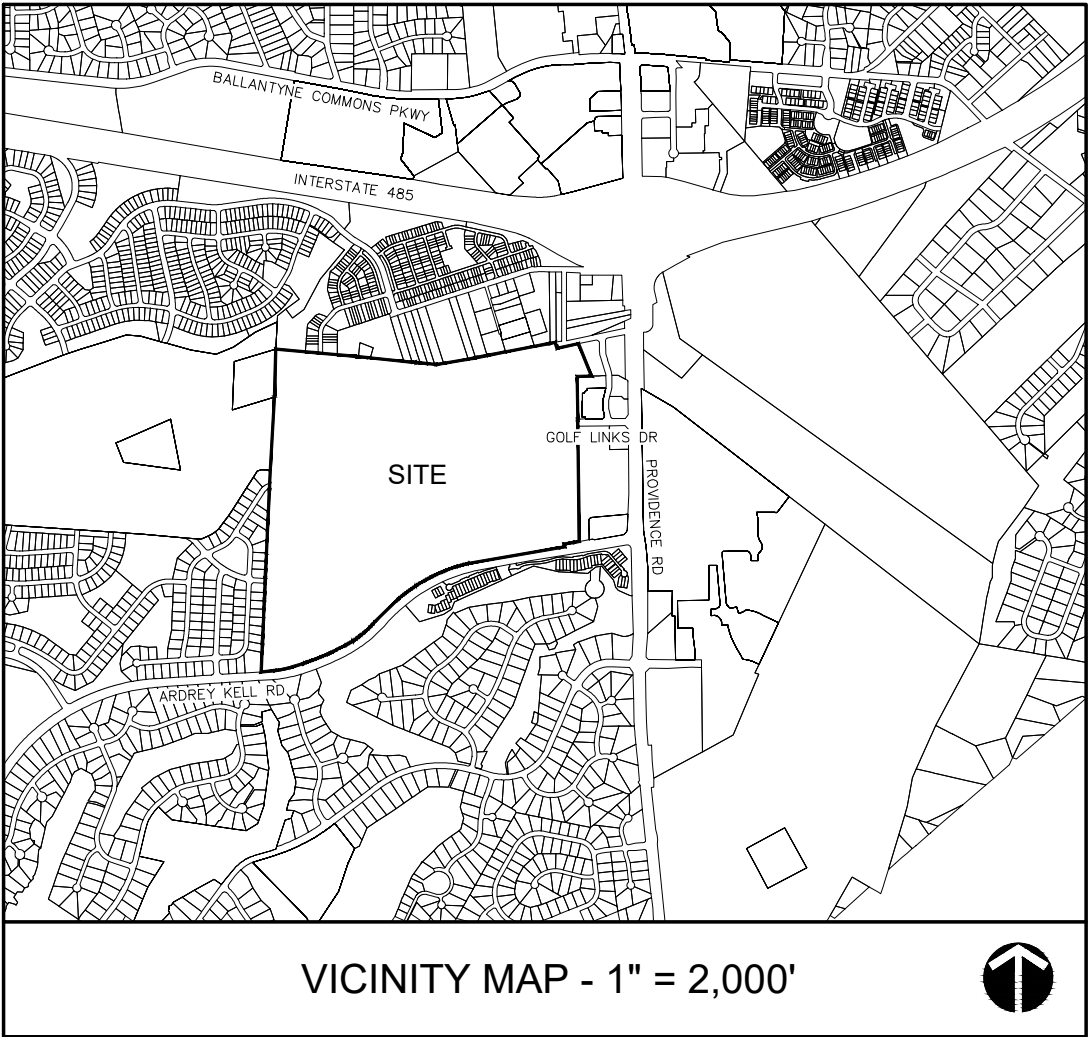
APPROVED

PLANNING
UMUDD / MUDD / PED / TOD

APPROVED

NOTE: THIS PLAN APPROVAL DOES NOT
INCLUDE COMMERCIAL ZONING. ALL BUILDING
PERMITS AND ZONING APPROVALS CAN BE
OBTAINED AT MECKLENBURG COUNTY CODE
ENFORCEMENT. PLEASE CALL CTAC AT
704-314-CODE(2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM FOUND AT <http://charlottenc.gov/ld>



VICINITY MAP - 1" = 2,000'

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DEVELOPER

Standard Pacific of the Carolinas, LLC
6701 Carmel Road
Suite 425
Charlotte, NC 28226
704.759.6000
Contact: Fred Matrulli

LANDSCAPE ARCHITECT/ CIVIL ENGINEER

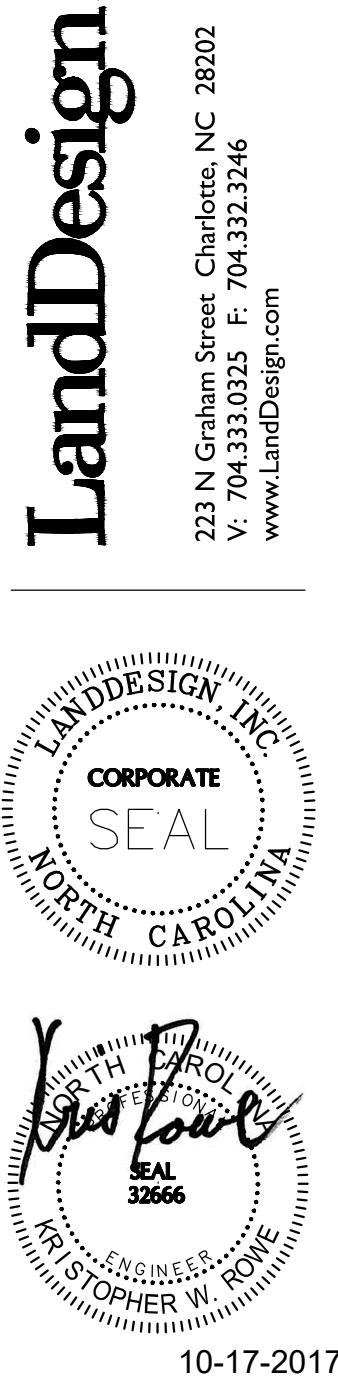
LandDesign, Inc.
223 North Graham St.
Charlotte, NC 28202
704.333.0325
Contact: Kris Rowe

SURVEY

LDSI, Inc.
508 W. 5th Street
Suite 125
Charlotte, NC 28202
704.337.8329
Contact: David Boyles

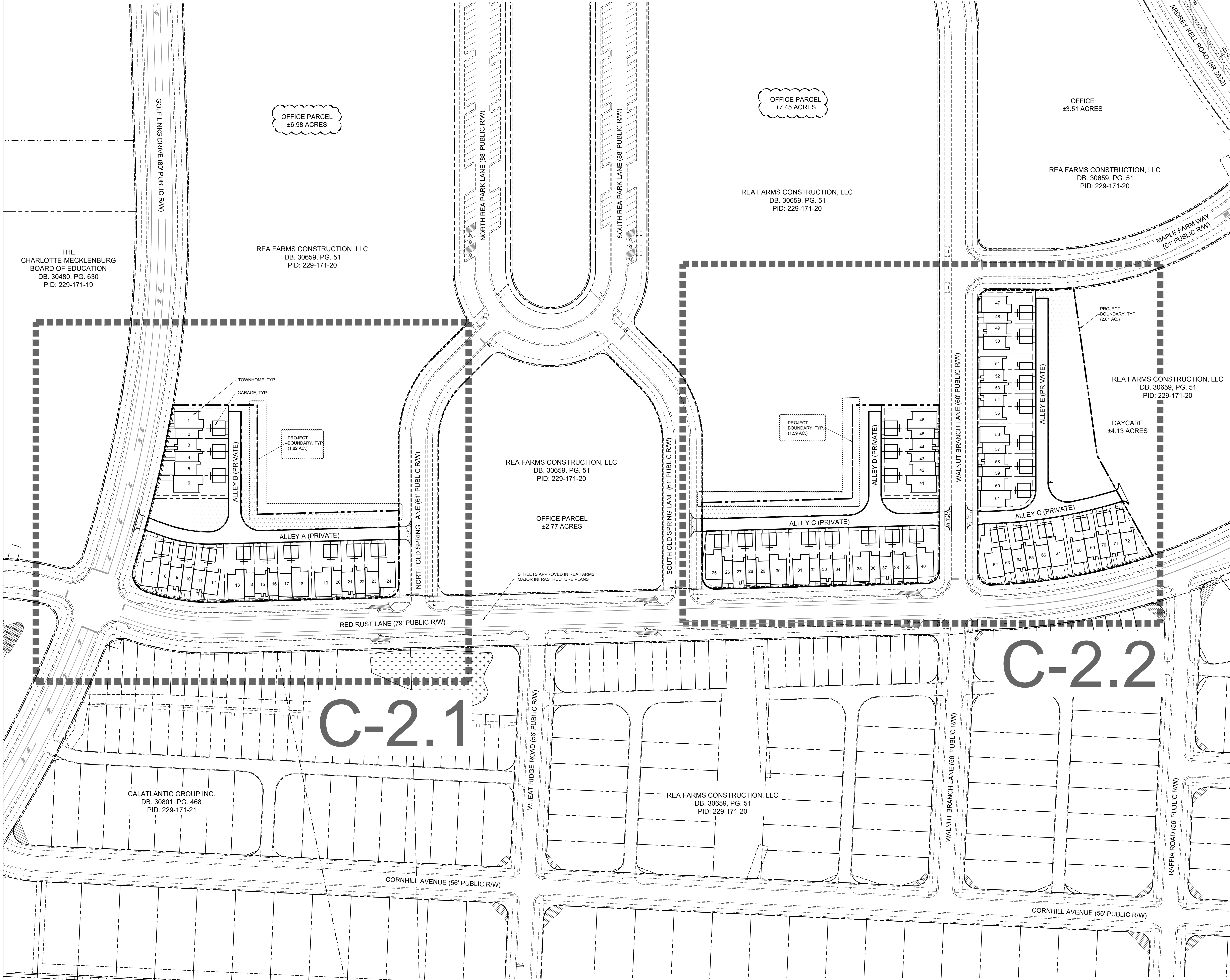
TRANSPORTATION CONSULTANT

Design Resource Group, P.A.
2459 Wilkinson Boulevard
Suite 200
Charlotte, NC 28208
704.343.0608
Contact: Randy E. Goddard



REA FARMS SINGLE FAMILY AND TOWNHOMES - PHASE II
City of Charlotte, Mecklenburg County, North Carolina
STANDARD PACIFIC OF THE CAROLINAS, LLC
COVER

REVISIONS:
DATE: DECEMBER 13, 2016
DESIGNED BY: MCK
CHECKED BY: KST
Q.C. BY: MWR
PROJECT #: 1016387
SHEET #:
C-1.0



- LAYOUT NOTES:**
1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
 2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
 3. ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 5. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 6. ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 7. ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
 8. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED, SHALL BE COORDINATED WITH DUKE POWER, AT&T, AND TIME WARNER.
 9. ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY CURRENT CLOSM AND MUTCD STANDARDS AND SPECIFICATIONS.
 10. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 11. RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVES, ETC.) WITHIN A PROPOSED EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION.
 12. PER SECTION 18-175(a) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 13. REFER TO ELECTRICAL PLANS FOR FINAL SITE LIGHTING LOCATIONS.
 14. DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSM# 50.05 (7' SIGNS ONLY).
 15. THE GARAGE SETBACK FOR ALL FRONT-LOADED SINGLE-FAMILY DETACHED HOMES SHALL BE 20 FEET FROM THE BACK OF SIDEWALK TO ENSURE VEHICLES DO NOT OVERHANG AND OBSTRUCT THE USE OF THE SIDEWALK.
 16. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDDT AT (704) 336-3888.
 17. SIDEWALK WITHIN THE CITY'S RW THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
 18. ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A RW USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE RW USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDDT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDDT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1552.
 19. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A RW LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF RW CLOSURES. CONTRACTOR SHALL CONTACT CDDT AT (704) 336-8348.
 20. CONSTRUCTION STAGING WITHIN CITY RW LASTING MORE THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDDT AT (704) 336-8348.
 21. NO DEMOLITION LANDFILLS SHALL BE PERMITTED ON SITE.
 22. THE STREET CONNECTION TO RAFFIA ROAD SHALL NOT BE COMPLETED UNTIL CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED FOR HOMES ON AT LEAST 50% OF THE SINGLE-FAMILY LOTS PROPOSED WITHIN THE DEVELOPMENT OR UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED FOR A PUBLIC SCHOOL WITHIN THE SITE.
 23. THE STREET CONNECTION TO WHEAT RIDGE ROAD SHALL NOT BE COMPLETED UNTIL CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED FOR HOMES ON AT LEAST 50% OF THE SINGLE-FAMILY LOTS PROPOSED WITHIN THE DEVELOPMENT.

DEVELOPMENT SUMMARY:

PARCEL ID:	22917101
REZONING PETITION:	2015-022
DEVELOPER:	CALATLANTIC HOMES 6701 CARMEL ROAD SUITE 425 CHARLOTTE, NC 28226 CONTACT: FRED MATRULLI (704) 759-6040 fred.matrulli@calaf.com
OWNER:	REA FARMS DEVELOPMENT LLC 4753 REDMONT ROW DRIVE SUITE 800 CHARLOTTE, NC 28210
TOTAL SITE RESIDENTIAL ACREAGE:	44.42 ACRES
ZONING TYPE:	W0020-3
70% UNITS ALLOWED PER AMENDED REZONING PLAN FOR REA FARMS	
WOODFIELD MULTI-FAMILY PROJECT:	455 UNITS
CALATLANTIC HOMES PHASE I DEVELOPMENT:	176 UNITS
CALATLANTIC HOMES PHASE II DEVELOPMENT:	72 UNITS
TOTAL UNITS PROPOSED:	703 UNITS
ESTIMATED CONSTRUCTION COMPLETION TIMEFRAME:	DECEMBER, 2017

MUDD-O SUPPLEMENTAL REGULATIONS:

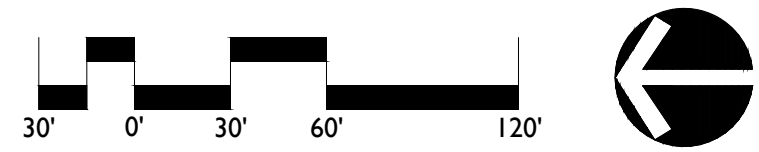
MINIMUM LOT SIZE:	N/A
MINIMUM LOT WIDTH (DETACHED):	N/A
MINIMUM LOT WIDTH (ATTACHED):	N/A
FRONT SETBACK (ATTACHED):	20' FROM BACK OF CURB
SIDE YARD (DETACHED):	5'
SIDE YARD (ATTACHED):	10' BETWEEN BUILDINGS
REAR YARD:	5'

FIRE FLOW NOTES:

1. BASED ON A WATER MODEL OF THE PROPOSED WATER SYSTEM TO SERVE THE REA FARMS DEVELOPMENT, THERE IS SUFFICIENT FIRE FLOW TO SERVE THIS PROPOSED DEVELOPMENT. IF HANDBOOK AVAILABLE, ADDITIONAL FIRE PROTECTION WITHIN THE PROPOSED BUILDINGS MAY BE REQUIRED.
2. NO COMBUSTIBLES SHALL BE ON SITE WITHOUT APPROVED ACCESS ROADS AND PUBLIC WATER SUPPLY SHALL BE IN SERVICE.

LEGEND:

EASEMENT	
FENCE	
PROPERTY LINE	
RIGHT-OF-WAY	
GAS LINE	
SANITARY SEWER LINE	
FORCE MAIN	
OVERHEAD UTILITIES	
WATER LINE	
STORM SEWER	
TREE LINE	
UNDERGROUND TELEPHONE	
COMMON OPEN SPACE	



REA FARMS SINGLE FAMILY AND TOWNHOMES - PHASE II
City of Charlotte, Mecklenburg County, North Carolina
STANDARD PACIFIC OF THE CAROLINAS, LLC
OVERALL LAYOUT PLAN

REVISIONS:
DATE: DECEMBER 13, 2016
DESIGNED BY: JEM
CHECKED BY: JEM
Q.C. BY: LD
PROJECT #: 101687
SHEET #:
C-2.0

LandDesign
221 N Graham Street, Charlotte, NC 28202
V: 704.333.0325 F: 704.932.3246
www.landdesigninc.com

WOOD DESIGN INC.
CORPORATE SEAL
NORTH CAROLINA

John Lowe
REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA
10-17-2017

[illegible]

FUTURE DEVELOPMENT
OFFICE PARCEL
±6.98 ACRES

LEGEND

COMMON OPEN SPACE

A 5x5 grid of dots, representing common open space.

DATE: DECEMBER 13, 2016
 DESIGNED BY: JEM
 DRAWN BY: JEM
 CHECKED BY: MEK
 Q.C. BY: LDI
 SCALE: 1"=20'
 PROJECT #: 1016387

REVISIONS:
 02/17/17 - Revised Per City Review Comments
 02/17/17 - Revised Per City Review Comments
 02/17/17 - Revised Per City Review Comments
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SHEET #:
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DATE: DECEMBER 13, 2016
DRAWN BY: JEM
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REVISIONS

02/17/17	
02/18/17	
02/17/17	

SHEET #:

C-2.1