

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED

By mchapman at 3:03 pm, Dec 13, 2016

APPROVED

APPROVED

By Stan Armstrong at 0:24 am, Dec 15, 2016

APPROVED

APPROVED FOR

CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

BY: Joshua Weaver 2-17-207

PCCO SUMMARY		
Original Parcel ID Number(s):	045-252-22, 045-203-02	
Development Type:	Single-Family	
Subject to PCCO? Y/N	Yes	
If NO, why?		
Watershed:	Central Catawba	
Disturbed Area (ac):	5.72	
Site Area (ac):	11.04	
	DA#1	DA#2
Total on-site Drainage Area (ac):	3.2800	0.0000
Existing Built-upon-area (SF):	17919.0000	0.0000
Existing BUA to be removed (SF):	17919.0000	0.0000
Existing BUA to remain (SF):	0.0000	0.0000
Proposed New BUA (SF):	112,147	0.0000
Proposed % BUA:	23.93%	0.00%
Density (High / Low)	Low	
Total Post-Project BUA for site:	2.57 acres	
Development or Redevelopment?	DEVELOPMENT	
Natural Area Required (ac):	2.685 (23%)	
Natural Area Provided (ac):	3.14 (29.24%)	
Total stream buffer protected on-site (ac):	2.43 Ac.	
Transit Station Area? Y/N	No	
Distressed Business District? Y/N	No	
Mitigation Type (if applicable)	Buffer Preservation	
Natural Area mitigation? Y/N	No	
Buffer Mitigation? Y/N	YES	
Total Phosphorous Mitigation? Y/N	No	

PARK BROOK SUBDIVISION

CHEVIOT ROAD
CHARLOTTE, NC 28269
MECKLENBURG COUNTY

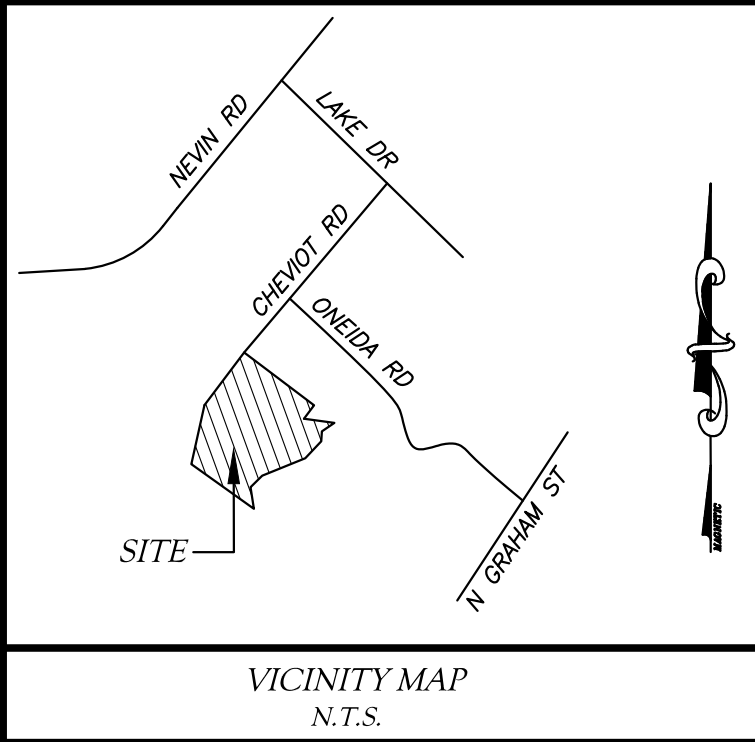
CIVIL PLANS

FOR

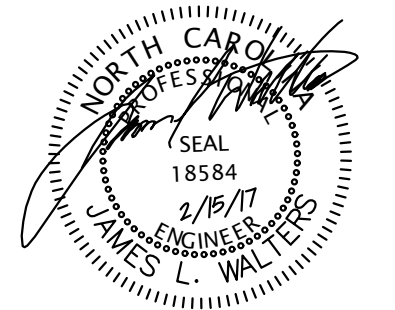
JDSI, LLC
17537 JETTON ROAD
CORNELIUS, NC 28031
PHONE: (704)361-7777
judsontr@bellsouth.net

APPROXIMATE DATE FOR BEGINNING OF CONSTRUCTION:
JULY 2017

SHEET INDEX	
Sheet Number	Sheet Title
C	COVER
C1.0	SITE PLAN
C2.0	EROSION CONTROL PLAN PHASE 1
C2.1	EROSION CONTROL PLAN PHASE 2
C3.0	EROSION CONTROL DETAILS
C3.1	EROSION CONTROL & STORM DRAINAGE DETAILS
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
C8.0	PARK BROOK DRIVE PLAN-PROFILE
C8.1	TANCOR COURT PLAN-PROFILE
C9.0	INTERSECTION SIGHT DISTANCE
C9.1	INTERSECTION SIGHT DISTANCE
C10.0	STORM SYSTEM DRAINAGE AREA MAP
C11.0	EROSION CONTROL DRAINAGE AREA MAP



LWE
LATHAM-WALTERS
ENGINEERING, INC.
N.C. CORP. LIC. C-1815
16507-A NORTHCROSS DRIVE
HUNTERSVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362



FEBRUARY 15, 2017
DATE

JDSI, LLC

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CORNELIUS, NC 28031
PHONE: (704)-361-7777
judsontr@bellsouth.net

PARK BROOK SUBDIVISION
CHEVIOT RD, CHARLOTTE, NC 28269

COVER

REVISIONS

REV NO. 1: CITY COMMENTS - 6/29/2016

REV NO. 2: CITY COMMENTS -11/22/2016

PROJECT NO.: 2014.54

SCALE: N.T.S.

DRAWN BY: MRH

CHECKED BY: JLW

SHEET NO:

C



Know what's below.
Call before you dig.

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



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Call before you dig.

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LINE TABLE		
LINE	BEARING	LENGTH
L1	S55°37'52"W	16.04
L2	S76°46'34"W	31.22
L3	S60°35'19"W	49.68
L4	S10°38'02"W	26.83
L5	S09°48'37"E	31.44
L6	S00°53'32"W	29.46
L7	S25°33'16"W	28.60
L8	S59°27'47"W	27.55
L9	S21°57'07"W	26.11
L10	S62°19'23"W	102.97
L11	S61°41'11"W	63.72
L12	S68°04'48"W	57.06
L13	S78°11'46"W	50.47
L14	S68°57'59"W	62.68
L15	S64°21'21"W	23.30
L16	S55°45'27"W	34.09
L17	S43°25'32"W	43.33
L18	S20°56'52"W	44.22
L19	S25°34'15"W	60.71
L20	S20°47'43"E	76.34

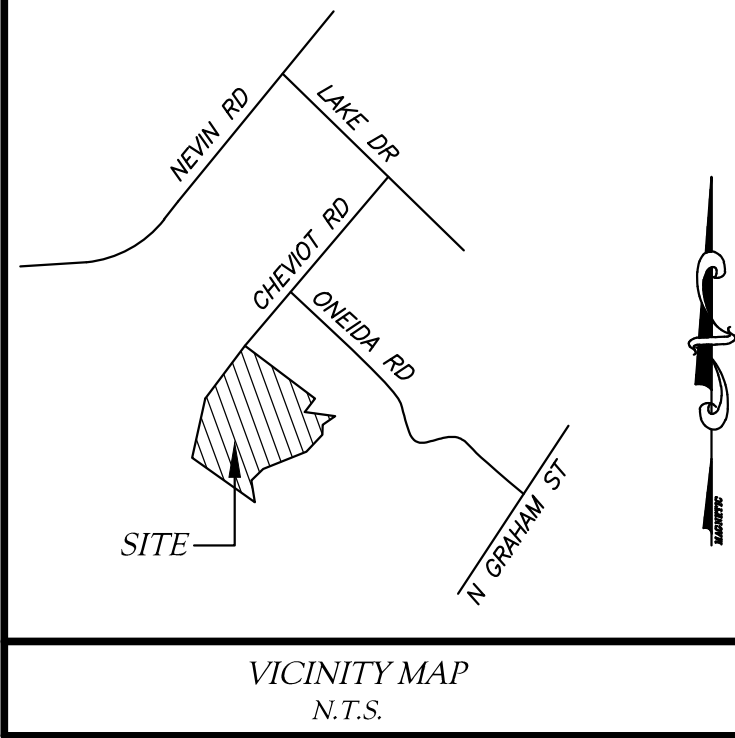
AREA WEST OF CREEK SHALL BE DEDICATED TO PARK & REC FOR GREENWAY EASEMENT UPON RECORDATION OF PLAT

BUFFER PRESERVATION
2850 S.F.

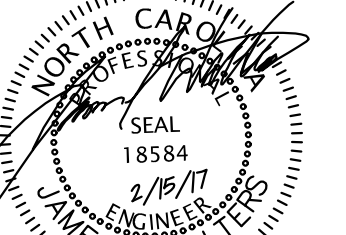
FLOOD LINES

OFFL-COMMUNITY FLOOD FRINGE LINE
FFFL-FEMA FLOOD FRINGE LINE
CEL-COMMUNITY ENCROACHMENT LINE
FFEL-FEMA FLOODWAY ENCROACHMENT LINE

*COMMUNITY ENCROACHMENT LINE (CEL) MUST BE CLEARLY MARKED PRIOR TO ANY GRADING AND THE MARKED LINE MUST BE MAINTAINED ON SITE UNTIL FINAL GRADING IS COMPLETED.



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FEBRUARY 15, 2017
DATE

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jdsontn@bellsouth.net

PARK BROOK SUBDIVISION

CHEVIOT RD, CHARLOTTE, NC 28269

SITE PLAN

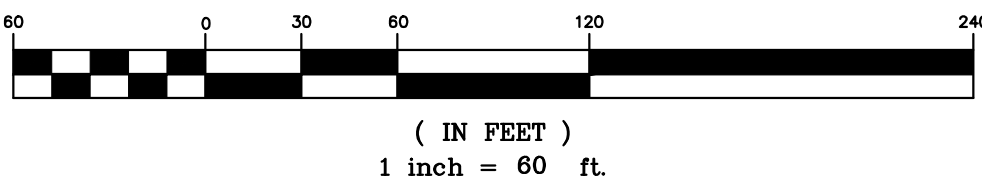
SITE NOTES:

1. DEVELOPER/OWNER: JDSI, LLC
17537 JETTON ROAD
CORNELIUS, NC 28031
704-361-7777
2. TAX PARCEL ID: 045-252-22, 045-203-02
DB/PG : 29788/509
3. SITE ADDRESS: CHEVIOT ROAD
CHARLOTTE, NC 28269
4. TOTAL SITE AREA: 11.04 ACRES
AREA OF R/W DEDICATION: 0.295 ACRES
NET SITE AREA: 10.74 ACRES
5. COMMON OPEN SPACE/TREE SAVE/NATURAL AREA REQUIREMENTS:
COMMON OPEN SPACE REQUIRED: 10% X 10.74 AC. = 1.07 AC.
COMMON OPEN SPACE PROVIDED: 44.51% = 4.78 AC./10.74 AC. X 100%
TREE SAVE REQUIRED: 10% X 10.74 AC. = 1.07 AC.
TREE SAVE PROVIDED: 27.93% = 3.00 AC./10.74 AC. X 100%
NATURAL AREA REQUIRED: 25.0% (<24.0% BUILT UPON AREA)
NATURAL AREA PROVIDED: 27.93% = 3.00 AC./10.74 AC. X 100%
6. IMPERVIOUS CALCULATION:
PROP. ASPHALT & SIDEWALKS: 31,146.5 S.F.
PROP. B.U.A. PER LOT: 3,000 S.F. (X 27 LOTS): 81,000 S.F.
TOTAL IMPERVIOUS: 112,146.5 S.F. (2.57 AC.)
IMPERVIOUS PERCENTAGE: 23.93% (2.57 AC./10.74 AC.)
7. CURRENT ZONING: R-3, R-4
DEVELOPED AS R-4 CLUSTER & R-5 CLUSTER
8. DENSITY CALCULATIONS
R-3 ZONING: 3.51 AC
ALLOWED: 10.53 LOTS = 3.51 ACx3
DENSITY BONUS: 9 LOTS = 3.0 ACx3
TOTAL ALLOWED: 19.53 = 19 LOTS
PROVIDED: 16 LOTS (DEVELOPED AS R-4 CLUSTER)
R-4 ZONING: 7.53 AC
ALLOWED: 30 LOTS = 7.53 ACx4
DENSITY BONUS: 12 LOTS = 3.0 ACx4
TOTAL ALLOWED: 42 LOTS
PROVIDED: 11 LOTS (DEVELOPED AS R-5 CLUSTER)
9. MINIMUM LOT AREA: 4,500 S.F. (R-5) AND 6,000 S.F. (R-4).
TOTAL NUMBER OF LOTS PROVIDED = 27
10. MINIMUM LOT WIDTH:
R-4 CLUSTER: 50'
R-5 CLUSTER: 40'
11. SETBACKS:
FRONT SETBACK: 20' (MEASURED FROM 56' R/W = 27')
SIDE YARD: 5' (6' EXTERIOR SIDE YARD)
REAR YARD: 20' R-5 & 30' R-4
REAR YARD: R-3=45' / R-4=40' (LOTS ALONG OUTER BOUNDARY)
12. WATERSHED: IRWIN (CENTRAL CATAWBA)
13. FEMA FLOOD PANEL: #3710455600J DATED: 03/02/2009
THIS PROPERTY IS LOCATED IN A FEMA FLOOD ZONE OR IN A REGULATED FLOODPLAIN
14. SURVEY TOPO INFORMATION PROVIDED BY:
JASON LEE WYLIE
501 FORNEY AVENUE
LINCOLNTON, NC 28092

LEGEND

- RIGHT-OF-WAY AND/OR PARK ACCESS EASEMENT DEDICATION
- COMMON OPEN SPACE (COS)
- COS/TREESAVE/NATURAL AREA
- AREA OF ADDITIONAL SWM BUFFER

GRAPHIC SCALE



REVISIONS

REV NO. 1: CITY COMMENTS - 8/29/2016

REV NO. 2: CITY COMMENTS - 11/22/2016

PROJECT NO.: 2014.54

SCALE: 1" = 60'

DRAWN BY: MRH

CHECKED BY: JLW

SHEET NO:

C1.0