

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED

By Jack Fulghum at 10:02 am, Jan 24, 2017

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DEVELOPER/OWNER	Greystar GP II, LLC 18 Broad St Charleston, SC 29401 (843)-579-3221
LANDSCAPE ARCHITECT/ CIVIL ENGINEER	LandDesign, Inc. 223 North Graham St. Charlotte, NC 28202 (704) 333-0325
ARCHITECT	Meeks Partners 16000 Memorial Drive, Suite 100 Houston, TX 77079 (281) 558-8787
SURVEYOR	R.B. Pharr & Associates, P.A. 420 Hawthorne Lane Charlotte, NC 28204 (704)-376-2186
SURVEYOR	On Point Surveying, PLLC 2110 Stanton Rd Marshville, NC 28103 (980) 328-8500

Overture Cotswold

Construction Documents

4774 Randolph Rd

Charlotte, NC

Greystar GP II, LLC

Sheet List Table	
Sheet Number	Sheet Title
Chapter 1	
C1.0	Cover Sheet
C1.1	Survey
RZ-1	Rezoning
RZ-2	Rezoning
RZ-3	Rezoning
C1.2	Overall Demolition Plan
Chapter 2	
C2.0	Overall Site Plan
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C2.2	Site Plan
C2.3	Site Details
C2.4	Site Details
C2.5	Site Details
C2.6	Site Details
C2.7	DW-1 Intersection Sight Distance
C2.8	DW-2 Intersection Sight Distance
Chapter 3	
C3.0	Overall Grading Plan
C3.1	Grading Plan
C3.2	Grading Plan
Chapter 4	
C4.0	Overall Erosion Control Plan - Stage 1
C4.1	Overall Erosion Control Plan - Stage 2
C4.2	Erosion Control Details
C4.3	Erosion Control Details
Chapter 5	
C5.0	Overall Storm Drainage Plan
C5.1	Storm Drainage Plan
C5.2	Storm Drainage Plan
C5.3	Storm Drainage Details
C5.4	Storm Drainage Details
C5.5	Storm Drainage Details
C5.6	Storm Drainage Details
C5.7	Storm Drainage Details
C5.8	Pre-Development Drainage Area Map
C5.9	Post-Development Drainage Area Map
C5.10	Storm Drain Drainage Area Map
Chapter 6	
C6.0	Overall Utility Plan
C6.1	Utility Plan
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Chapter 8	
C8.1	Required Planting Plan
C8.2	Planting Details
Chapter 9	
A4.00	Architectural Elevations
A4.01	Architectural Elevations
A4.02	Architectural Elevations
A4.03	Architectural Elevations
A4.04	Architectural Elevations
A4.05	Architectural Elevations
A4.06	Architectural Elevations
A4.07	Architectural Elevations
A4.08	Architectural Elevations
A1.30	Architectural Details
A1.31	Architectural Details

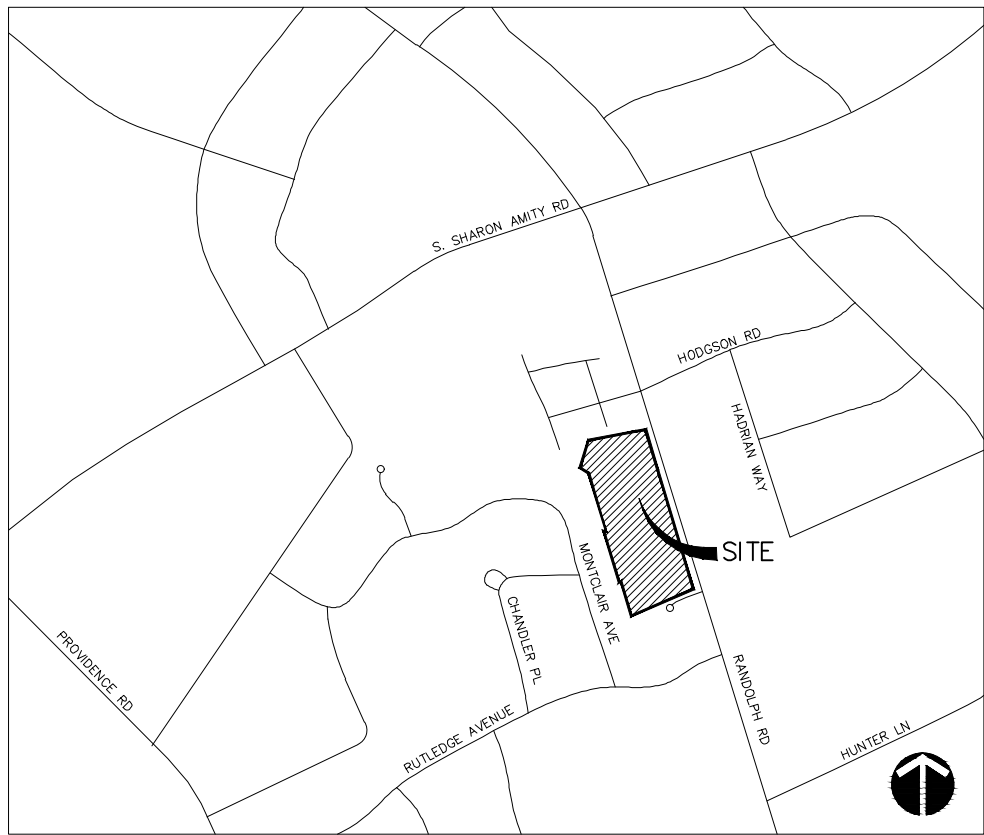
PRELIMINARY PLANNED

MULTI-FAMILY SUBDIVISION

APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

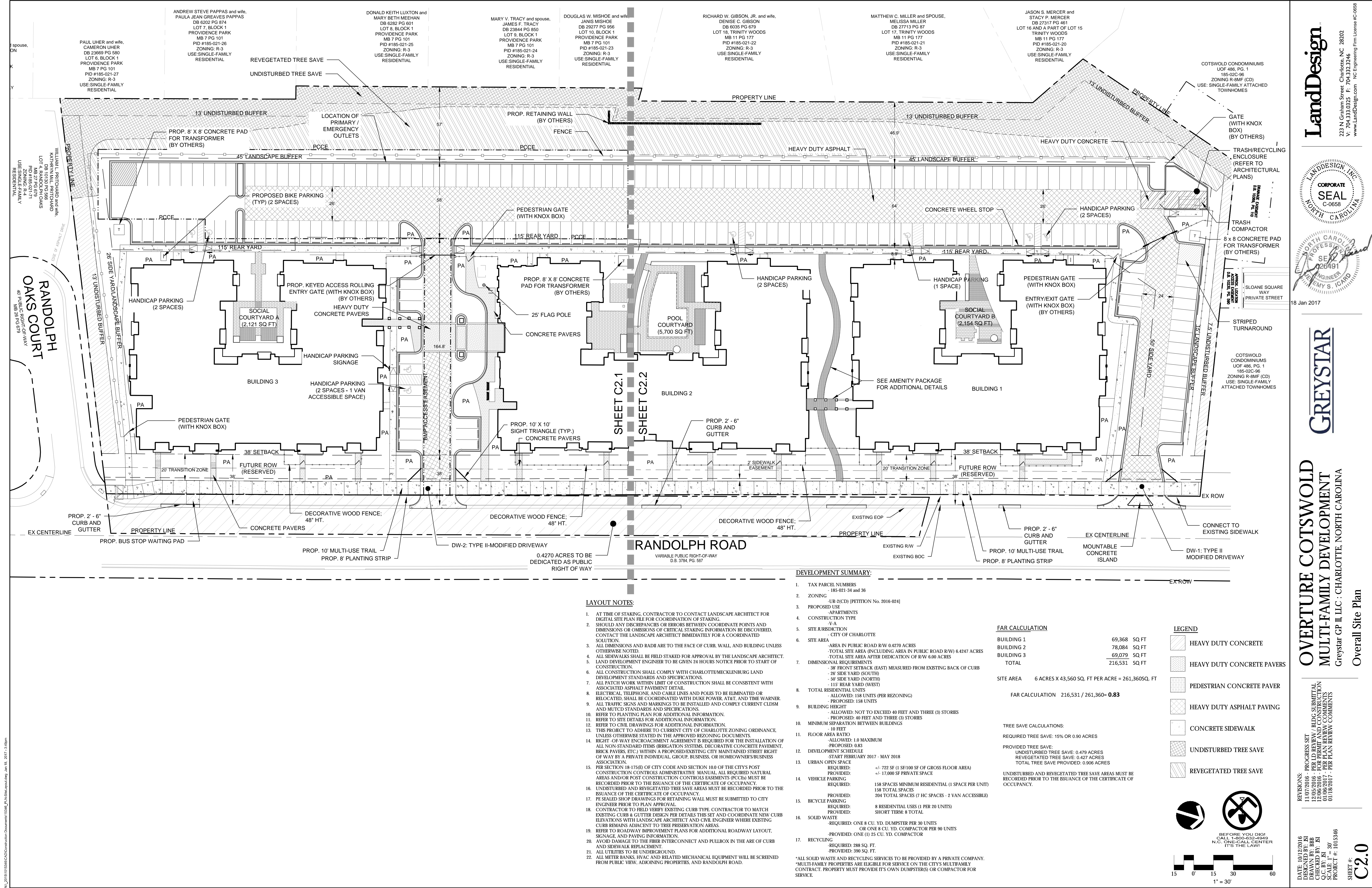
By Brent Wilkinson 1/24/17



VICINITY MAP

NTS

PCCO SUMMARY		
Original Parcel ID Number(s):	18502136, 18502134	
Development Type:	Multi-Family	
Subject to PCCO? Y/N	Y	
If NO, why?	-- Click for Dropdown --	
Watershed:	Central Catawba	
Disturbed Area (ac):	5.7	
Site Area (ac):	6	
	DA#1	DA#2
Total on-site Drainage Area (ac):	5.7	
Existing Built-upon-area (SF):	90,169	
Existing BUA to be removed (SF):	90,169	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	174,240	
Proposed % BUA:	67	
Density (High / Low)	High	
Total Post-Project BUA for site:	174240	
Development or Redevelopment?	Development	
Natural Area Required (ac):	Y	
Natural Area provided, total (ac):	0.6	
Undisturbed Treed Natural Area Preserved (ac):	0.57	
Total stream buffer protected on-site (ac):	N/A	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	



LAYOUT NOTES:

- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
- SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, WALL, AND BUILDING UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
- ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED SHALL BE COORDINATED WITH DUKE POWER, AT&T, AND TIME WARNER.
- ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY CURRENT CLDSM AND MUTCD STANDARDS AND SPECIFICATIONS.
- REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- REFER TO SITE DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- THIS PROJECT TO ADHERE TO CURRENT CITY OF CHARLOTTE ZONING ORDINANCE, UNLESS OTHERWISE STATED IN THE APPROVED REZONING DOCUMENTS.
- RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S BUSINESS ASSOCIATION.
- PER SECTION 18-175(b) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- UNDISTURBED AND REVEGETATED TREE SAVE AREAS MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- PEASED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO PLAN APPROVAL.
- CONTRACTOR TO FIELD VERIFY EXISTING CURB TYPE. CONTRACTOR TO MATCH EXISTING CURB & GUTTER DESIGN PER DETAILS THIS SET AND COORDINATE NEW CURB ELEVATIONS WITH LANDSCAPE ARCHITECT AND CIVIL ENGINEER WHERE EXISTING CURB REMAINS ADJACENT TO TREE PRESERVATION AREAS.
- REFER TO ROADWAY IMPROVEMENT PLANS FOR ADDITIONAL ROADWAY LAYOUT, SIGNAGE, AND PAVING INFORMATION.
- AVOID DAMAGE TO THE FIBER INTERCONNECT AND PULLBOX IN THE AREA OF CURB AND SIDEWALK REPLACEMENT.
- ALL UTILITIES TO BE UNDERGROUND.
- ALL METER BANKS, HVAC AND RELATED MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW, ADJOINING PROPERTIES, AND RANDOLPH ROAD.

DEVELOPMENT SUMMARY:

- TAX PARCEL NUMBERS
- 185-021-34 and 36
- ZONING
- UR-2(CD) [PETITION No. 2016-024]
- PROPOSED USE
- APARTMENTS
- CONSTRUCTION TYPE
- V.A.
- SITE JURISDICTION
- CITY OF CHARLOTTE
- SITE AREA
- AREA IN PUBLIC ROAD R/W 0.4270 ACRES
- TOTAL SITE AREA (INCLUDING AREA IN PUBLIC ROAD R/W) 6.4247 ACRES
- TOTAL SITE AREA AFTER DEDICATION OF R/W 6.00 ACRES
- DIMENSIONAL REQUIREMENTS
- 38' FRONT SETBACK (EAST) MEASURED FROM EXISTING BACK OF CURB
- 26' SIDE YARD (SOUTH)
- 50' SIDE YARD (NORTH)
- 115' REAR YARD (WEST)
- TOTAL RESIDENTIAL UNITS
- ALLOWED: 158 UNITS (PER REZONING)
- PROPOSED: 158 UNITS
- BUILDING HEIGHT
- ALLOWED: NOT TO EXCEED 40 FEET AND THREE (3) STORIES
- PROPOSED: 40 FEET AND THREE (3) STORIES
- MINIMUM SEPARATION BETWEEN BUILDINGS
- 10 FEET
- FLOOR AREA RATIO
- ALLOWED: 1.0 MAXIMUM
- PROPOSED: 0.83
- DEVELOPMENT SCHEDULE
- START FEBRUARY 2017 - MAY 2018
- URBAN OPEN SPACE
- REQUIRED: +/- 722 SF (1 SF/100 SF OF GROSS FLOOR AREA)
- PROVIDED: +/- 17,000 SF PRIVATE SPACE
- VEHICLE PARKING
- REQUIRED: 158 SPACES MINIMUM RESIDENTIAL (1 SPACE PER UNIT)
- 158 TOTAL SPACES
- 204 TOTAL SPACES (1 HC SPACES - 2 VAN ACCESSIBLE)
- BICYCLE PARKING
- REQUIRED: 8 RESIDENTIAL USES (1 PER 20 UNITS)
- PROVIDED: SHORT TERM: 8 TOTAL
- SOLID WASTE
- REQUIRED: ONE (1) CU. YD. DUMPSTER PER 30 UNITS
- OR ONE (1) CU. YD. COMPACTOR PER 90 UNITS
- PROVIDED: ONE (1) 25 CU. YD. COMPACTOR
- RECYCLING
- REQUIRED: 288 SQ. FT.
- PROVIDED: 390 SQ. FT.

*ALL SOLID WASTE AND RECYCLING SERVICES TO BE PROVIDED BY A PRIVATE COMPANY.
*MULTI-FAMILY PROPERTIES ARE ELIGIBLE FOR SERVICE ON THE CITY'S MULTIFAMILY CONTRACT. PROPERTY MUST PROVIDE ITS OWN DUMPSTER(S) OR COMPACTOR FOR SERVICE.

FAR CALCULATION

BUILDING 1	69,368	SQ. FT.
BUILDING 2	78,084	SQ. FT.
BUILDING 3	69,079	SQ. FT.
TOTAL	216,531	SQ. FT.

SITE AREA 6 ACRES X 43,560 SQ. FT PER ACRE = 261,360SQ. FT

FAR CALCULATION 216,531 / 261,360= **0.83**

TREE SAVE CALCULATIONS:

REQUIRED TREE SAVE: 15% OR 0.90 ACRES

PROVIDED TREE SAVE: UNDISTURBED TREE SAVE: 0.479 ACRES

REVEGETATED TREE SAVE: 0.427 ACRES

TOTAL TREE SAVE PROVIDED: 0.906 ACRES

UNDISTURBED AND REVEGETATED TREE SAVE AREAS MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

LEGEND

- HEAVY DUTY CONCRETE
- HEAVY DUTY CONCRETE PAVERS
- PEDESTRIAN CONCRETE PAVER
- HEAVY DUTY ASPHALT PAVING
- CONCRETE SIDEWALK
- UNDISTURBED TREE SAVE
- REVEGETATED TREE SAVE

