

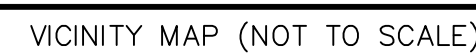
COOKS WAY DR. AND STONEY BRANCH DR.
CHARLOTTE ETJ, NC

M1329 E M1329 S1329 NC 28204
704.362.2400
C1329 S1329 S1329

L 223 N Gr S C NC 28202
704.333.0325
C M Br PE

C.L.S. A  P.A.
181912 H  C 
C  NC 2803 I
704.987.1838
C  M  C  PLS

W██████████Ar██████████P.A.
 IOI M██████████S██████████12
 C██████████NC 28204
 704.376.1200
 C██████████r██████████W██████████



SHEET INDEX:		CITY OF CHARLOTTE SUBMITTAL	CITY OF CHARLOTTE 2ND SUBMITTAL	CITY OF CHARLOTTE 3RD SUBMITTAL	CITY OF CHARLOTTE RTAP SUBMITTAL	CITY OF CHARLOTTE RTAP - 2ND SUBMITTAL	CITY OF CHARLOTTE RTAP - 2 - 1ST SUBMITTAL
C-0.0	COVER SHEET	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-0.1	ALTA SURVEY	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	07/24/2015
C-0.2	RE-OPENING PLAN	-	-	-	-	10/19/2015	10/19/2015
C-0.3	DEMOLITION PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-1.0	OVERALL LAYOUT PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-1.1	LAYOUT PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-1.2	LAYOUT PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-1.3	LAYOUT DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-1.4	LAYOUT DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-1.5	LAYOUT DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-2.0	EROSION CONTROL PLAN-PHASE 1	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-2.1	EROSION CONTROL PLAN-PHASE 2	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-2.2	EROSION CONTROL PLAN-PHASE 3	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-2.3	EROSION CONTROL DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-2.4	EROSION CONTROL DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-3.0	GRADING PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-3.1	GRADING PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.0	DRAINAGE AREA PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.1	DRAINAGE AREA PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.2	STORM DRAINAGE PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.3	STORM DRAINAGE PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.4	STORMWATER MANAGEMENT PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-4.5	STORMWATER PROFILES	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	09/26/2017
C-4.6	STORMWATER PROFILES	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	09/26/2017
C-4.7	STORMWATER PROFILES	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	09/26/2017
C-4.8	STORMWATER PROFILES	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	09/26/2017
C-4.9	POND 2 PLAN AND DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	07/24/2015
C-4.10	STORM DRAINAGE DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-4.11	STORM DRAINAGE DETAILS	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	10/19/2015
C-6.0	UTILITY PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-6.1	UTILITY PLAN	6/17/2010	10/05/2010	11/17/2010	07/24/2015	10/19/2015	09/26/2017
C-6.2	UTILITY PROFILES	6/17/2010	10/05/2010	11/17/2010	07/24/2015	07/24/2015	09/26/2017
C-6.3	UTILITY DETAILS	6/17/2010	10/05/				

*Shift of buildings 2 and 3 to accommodate separation requirements.

SDRMFR-2017-00040

**FINAL
APPROVAL**

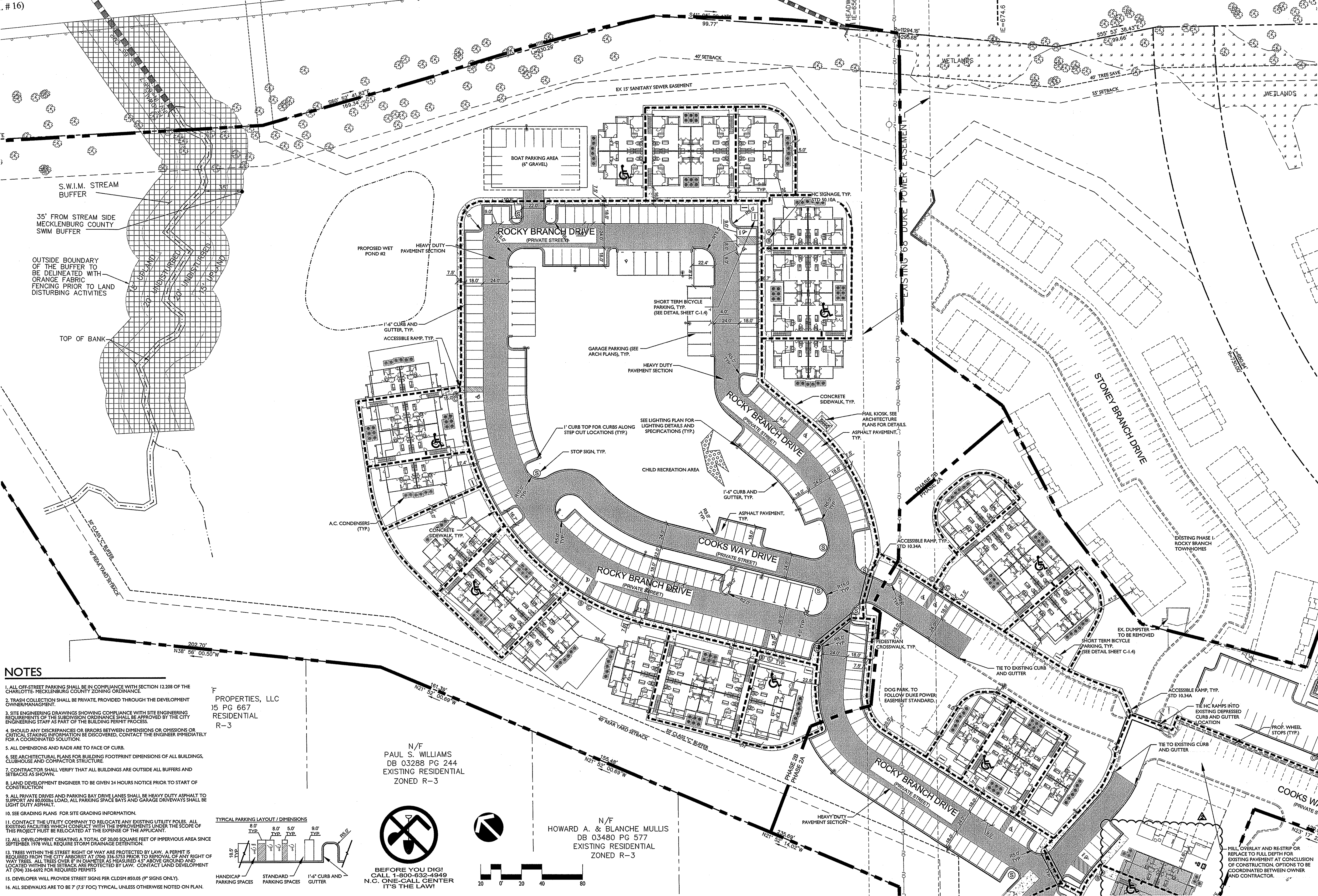
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED

A circular seal with a dotted border. The text "LAND DESIGN, INC." is curved along the top inner edge, and "NORTH CAROLINA" is curved along the bottom inner edge. In the center, the word "CORPORATE" is above the word "SEAL".

10/5/10 - REVISED PER CITY COMMENTS
11/17/10 - REVISED PER CITY COMMENTS
9/20/13 - REVISED BUILDING FOOTPRINTS
10/22/13 EROSION CONTROL BULLETIN
10/28/13 BUILDING STANDARDS COMMENTS
5/5/15 - GRADING PERMIT
7/24/15 - RTAP SUBMITTAL
10/1/15 - BUILDING STANDARDS COMMENTS
10/19/15 - REVISIONS PER RTAP COMMENTS
3/17/16 - BUILDING 4 STORY BULLETIN
7/27/2716 - BUILDING AND WALL SHIELD

DATE: JUNE 19, 2018
DESIGNED BY: MWB
DRAWN BY: MWB
CHECKED BY: RJK
Q.C. BY: ~~BRW~~
SCALE: NTS
PROJECT #: 1008200
SHEET #:
C-0.0



NOTES

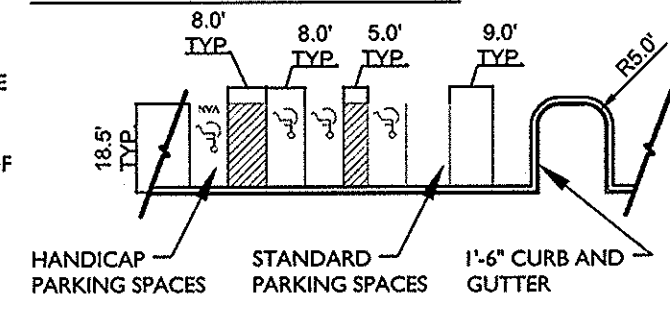
1. ALL OFF-STREET PARKING SHALL BE IN COMPLIANCE WITH SECTION 12.208 OF THE CHARLOTTE-MECKLENBURG COUNTY ZONING ORDINANCE.
2. TRASH COLLECTION SHALL BE PROVIDED THROUGH THE DEVELOPMENT OWNER/MANAGEMENT.
3. SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE CITY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
4. SHOULD ANY DISCREPANCIES OR ERRORS IN DIMENSIONS OR OMISSIONS OR CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE ENGINEER IMMEDIATELY FOR A COORDINATED SOLUTION.
5. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB.
6. SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS OF ALL BUILDINGS, CLUBHOUSE AND COMPACTOR STRUCTURE.
7. CONTRACTOR SHALL VERIFY THAT ALL BUILDINGS ARE OUTSIDE ALL BUFFERS AND SETBACKS AS SHOWN.
8. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
9. ALL PRIVATE DRIVES AND PARKING BAY DRIVE LANES SHALL BE HEAVY DUTY ASPHALT TO SUPPORT AN 80,000 LBS LOAD. ALL PARKING SPACE BAYS AND GARAGE DRIVEWAYS SHALL BE LIGHT DUTY ASPHALT.
10. SEE GRADING PLANS FOR SITE GRADING INFORMATION.
11. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
12. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
13. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
15. DEVELOPER WILL PROVIDE STREET SIGNS PER CLOS# #50.05 (9" SIGNS ONLY).
16. ALL SIDEWALKS ARE TO BE 7' (7.5' FOG) TYPICAL, UNLESS OTHERWISE NOTED ON PLAN.

F
PROPERTIES, LLC
15 PG 667
RESIDENTIAL
R-3

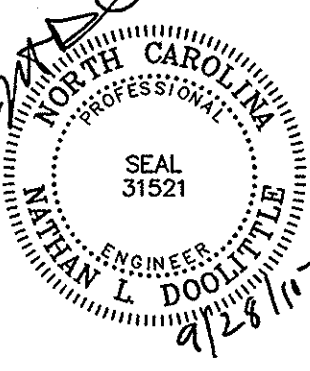
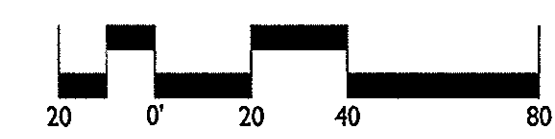
N/F
PAUL S. WILLIAMS
DB 03288 PG 244
EXISTING RESIDENTIAL
ZONED R-3

N/F
HOWARD A. & BLANCHE MULLIS
DB 03480 PG 577
EXISTING RESIDENTIAL
ZONED R-3

TYPICAL PARKING LAYOUT / DIMENSIONS



BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



MOUNTAIN ISLAND APARTMENTS
MULTI-FAMILY APARTMENTS

MOUNTAIN ISLAND APARTMENTS VENTURE, LLC CHARLOTTE, NC

LAYOUT PLAN

- REVISIONS:
- 7/28/10 - REVISED REVISIONS COMMENTS
 - 11/17/10 - REVISED PER CITY COMMENTS
 - 9/20/13 - REVISED BUILDING FOOTPRINTS
 - 10/22/13 - REVISED CONDO BOARD COMMENTS
 - 5/5/15 - GRADING PERMIT
 - 7/24/15 - RTAP SUBMITTAL
 - 10/1/15 - BUILDING STANDARDS COMMENTS
 - 10/1/15 - REVISIONS PER CITY COMMENTS
 - 07/22/16 - BUILDING AND WALL SHEET

DATE: JUNE 17, 2010
DESIGNED BY: MMB
DRAWN BY: MMB
CHECKED BY: RK
SCALE: 1"=40'
PROJECT #: 1008200
SHEET #:
C-1.1

