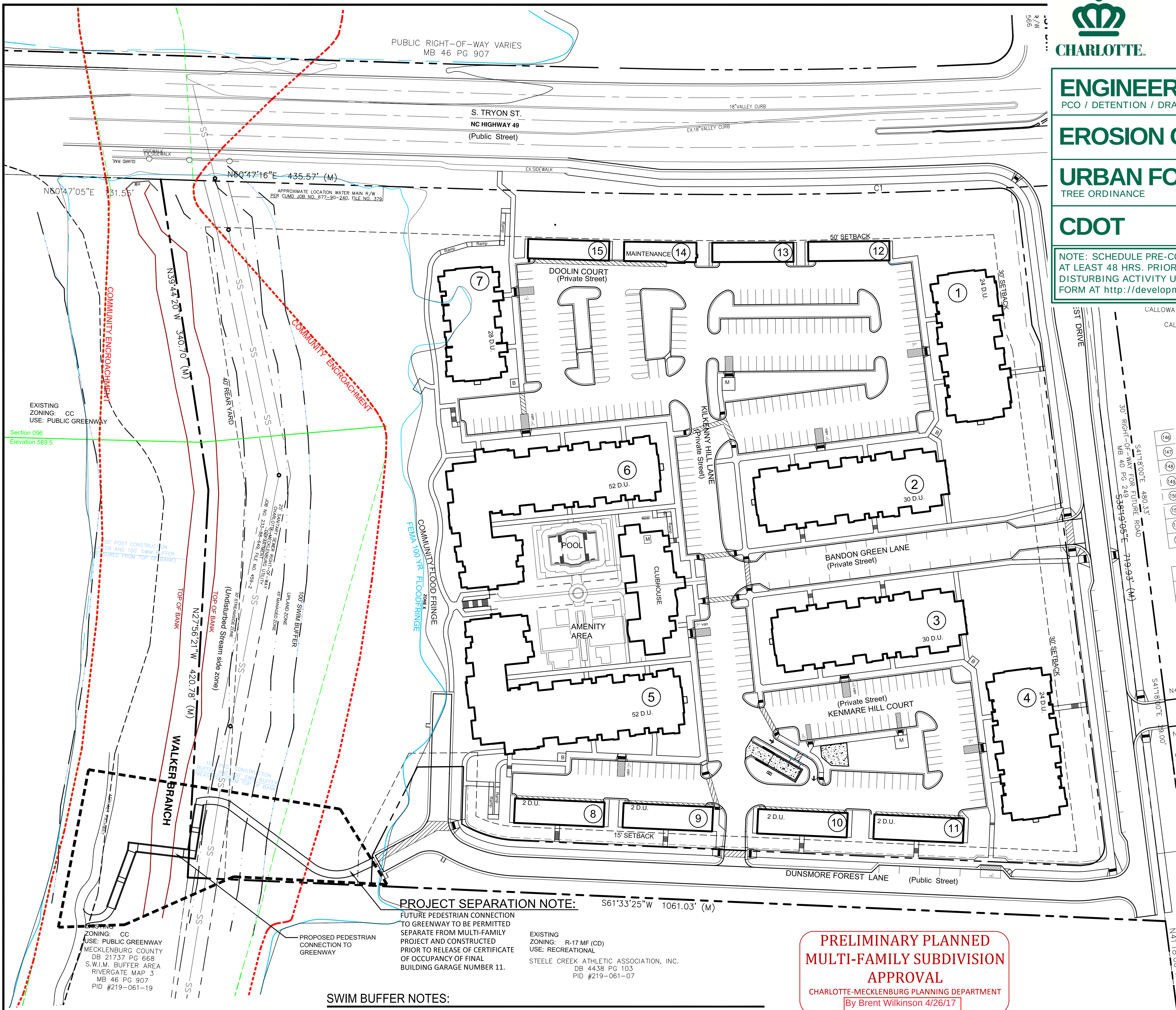




**CHARLOTTE**  
FINAL APPROVAL

**ENGINEERING**  
PCO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

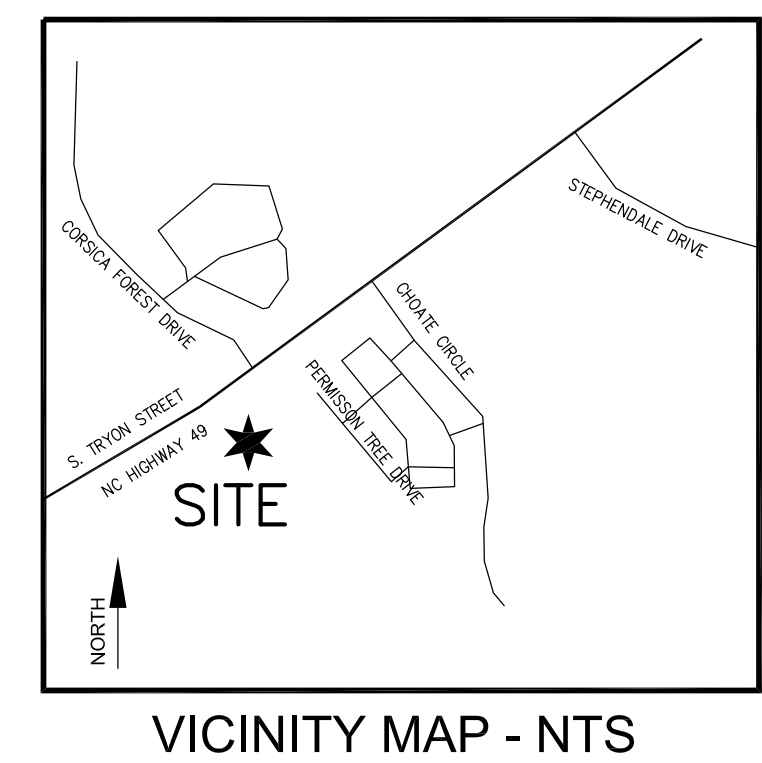
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

**APPROVED**  
By Emily Chien at 2:59 pm, Apr 25, 2017

**APPROVED**

**APPROVED** Kelly Robertson

**APPROVED** Carlos Alzate



**SHEET SCHEDULE :**

|                                                 |       |
|-------------------------------------------------|-------|
| COVER SHEET                                     | L-1   |
| APPROVED REZONING & ADMIN. AMENDMENT PLANS      | L-2   |
| EXISTING CONDITIONS PLAN                        | L-3   |
| SITE PLAN                                       | L-4   |
| PLANTING PLAN - (ORDINANCE REQUIRED)            | L-5   |
| OVERALL GRADING PLAN                            | L-6   |
| ENLARGEMENT GRADING & STORM DRAINAGE PLAN       | L-7   |
| ENLARGEMENT GRADING & STORM DRAINAGE PLAN       | L-8   |
| EROSION CONTROL PLAN - INITIAL PHASE            | L-9   |
| EROSION CONTROL PLAN - INTERMEDIATE PHASE       | L-10  |
| EROSION CONTROL PLAN - FINAL PHASE              | L-11  |
| STREET PROFILES                                 | L-12  |
| DRAINAGE AREA PLAN                              | L-13  |
| SITE DETAILS                                    | L-14  |
| SITE DETAILS                                    | L-15  |
| SITE DETAILS                                    | L-16  |
| SITE DETAILS                                    | L-17  |
| SITE DETAILS                                    | L-18  |
| SITE DETAILS                                    | L-19  |
| SITE DETAILS                                    | L-20  |
| CORSICA FOREST DR. CROSS SECTION                | L-21  |
| CORSICA FOREST DR. CROSS SECTION                | L-22  |
| CORSICA FOREST DR. CROSS SECTION                | L-23  |
| CORSICA FOREST DR. CROSS SECTION                | L-24  |
| CORSICA FOREST DR. CROSS SECTION                | L-25  |
| CORSICA FOREST DR. CROSS SECTION                | L-26  |
| CORSICA FOREST DR. CROSS SECTION                | L-27  |
| SIGHT DISTANCE PLAN                             | L-28  |
| PRIVATE SEWER & PRIVATE COVER SHEET             | SSW-1 |
| PRIVATE WATER DISTRIBUTION PLAN                 | SSW-2 |
| PRIVATE SEWER DISTRIBUTION PLAN                 | SSW-3 |
| PRIVATE SANITARY SEWER PROFILES                 | SSW-4 |
| PRIVATE SANITARY SEWER PROFILES                 | SSW-5 |
| ROADWAY IMPROVEMENTS - WIDENING & STRIPING      | RD-1  |
| ROADWAY IMPROVEMENTS - TRAFFIC CONTROL          | RD-2  |
| ROADWAY IMPROVEMENTS - DETAILS & SIGHT DISTANCE | RD-3  |
| ROADWAY SECTIONS                                | RD-4  |
| ROADWAY SECTIONS                                | RD-5  |
| ROADWAY SECTIONS                                | RD-6  |
| ROADWAY SECTIONS                                | RD-7  |
| ROADWAY SECTIONS                                | RD-8  |
| ROADWAY SECTIONS                                | RD-9  |
| ROADWAY SECTIONS                                | RD-10 |
| ROADWAY IMPROVEMENTS - TRAFFIC CONTROL PLAN     | RD-11 |
| ROADWAY IMPROVEMENTS - TRAFFIC CONTROL PLAN     | RD-12 |
| ROADWAY IMPROVEMENTS - TRAFFIC CONTROL PLAN     | RD-13 |

| SITE DATA        |                            |
|------------------|----------------------------|
| TAX PARCELS ID   | 219-061-16                 |
| JURISDICTION     | CHARLOTTE, NC              |
| TOTAL SITE AREA  | 18.45 ACRES                |
| EXISTING ZONING: | R-17 MF (CD) PET #92-14(C) |

| DEVELOPMENT DATA                                                                    |                                       |
|-------------------------------------------------------------------------------------|---------------------------------------|
| DEVELOP AS:                                                                         | MULTI-FAMILY APARTMENTS               |
| DENSITY ALLOWED:                                                                    | 17 DU/ AC.                            |
| UNITS ALLOWED:                                                                      | 313                                   |
| PROPOSED DENSITY:                                                                   | 13.33                                 |
| PROPOSED # OF UNITS:                                                                | 248                                   |
| BLDG. HEIGHT ALLOWED:                                                               | 40'                                   |
| BLDG. HEIGHT PROPOSED:                                                              | 42' From Bldg. front                  |
| REQUIRED PARKING:                                                                   | 372 (1.5 SP./D.U.)                    |
| PROPOSED # PKG SP:                                                                  | 399 (357 Surface sp. + 42 Garage sp.) |
| REQUIRED BIKE PARKING:                                                              | 13 SP. (1 SP./20 UNITS)               |
| PROPOSED # BIKE PKG SP:                                                             | 16 (4 Pads w/ 4 Sp. each)             |
| OPEN SPACE REQUIRED:                                                                | 45% = 361,656 SF                      |
| OPEN SPACE PROVIDED:                                                                | 62% = 495,000                         |
| SOLID WASTE/RECYCLING:                                                              |                                       |
| Req'd: one 8 cy dumpster/30 units OR one 8 cy compactor/ 90 units = 22 CY/248 units |                                       |
| 4 X 144 sf recycling (576 sf min.)                                                  |                                       |
| PROPOSED: one 34 cy compactor per 248 units + 590 sf recycling area                 |                                       |

| DEVELOPMENT STANDARDS                           |          |
|-------------------------------------------------|----------|
| R 17 MF STANDARDS                               |          |
| FRONT SETBACK- SOUTH TRYON ST.:                 | 50 FT. * |
| FRONT SETBACK- CORSICA FOREST DR.:              | 30 FT. * |
| FRONT SETBACK- DUNSMORE FOREST LN.:             | 15 FT.   |
| SIDE YARD:                                      | MIN. 10' |
| REAR YARD:                                      | MIN. 40' |
| MIN. BLDG. SEPARATION:                          | 16'      |
| * NOTE: Building Setbacks are measured from R/W |          |

**DEVELOPER:**  
SOUTH TRYON APARTMENTS ASSOCIATES (2015) LLC  
CONTACT: John Crabtree  
meridia@bellsouth.net  
ADDRESS : GREENVILLE, SC  
PHONE: 864-232-8076

**CIVIL DESIGN COMPANY:**  
PLANS PREPARED BY: DPR ASSOCIATES, INC.  
ATTN: HNguyen@dprassociates.net  
ADDRESS: 420 HAWTHORNE LANE  
CHARLOTTE, NC 28204  
PHONE: 704-332-1204 FAX: 704-332-1210

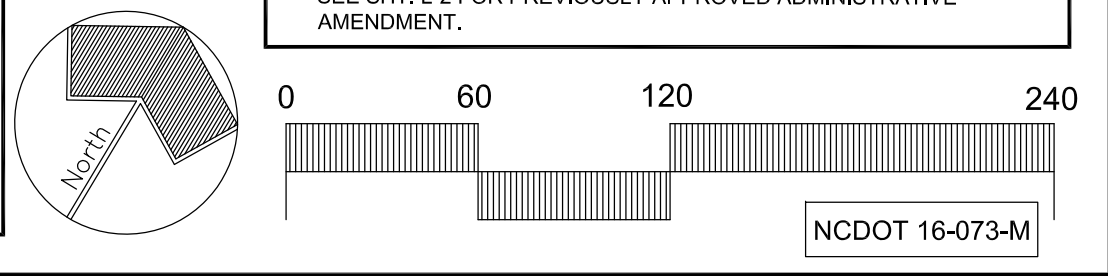
**ARCHITECT:**  
PDI ARCHITECTURE, LLC  
CONTACT: Pot Iannelli  
pot@pdiarch.com  
864-224-5800

| PCCO SUMMARY                                |                 |      |      |      |
|---------------------------------------------|-----------------|------|------|------|
| Original Parcel ID Number(s):               | 219-061-16      |      |      |      |
| Development Type:                           | Multi-Family    |      |      |      |
| Subject to PCCO? Y/N                        | NO              |      |      |      |
| if NO, why?                                 | Rezoning        |      |      |      |
| Watershed:                                  | Central Catawba |      |      |      |
| Overlay                                     | Steele Creek    |      |      |      |
| Disturbed Area (ac):                        | 16.00           |      |      |      |
| Site Area (Net) (ac):                       | 18.45           |      |      |      |
| Total on-site Drainage Area (ac):           | 13.00           | 3.90 | 3.90 | 3.70 |
| Existing Built-upon-area (ac):              | 0.00            |      |      |      |
| Existing BUA to be removed (ac):            | 0.00            |      |      |      |
| Existing BUA to remain (ac):                | 0.00            |      |      |      |
| Proposed New BUA (ac):                      | 8.30            |      |      |      |
| Proposed % BUA:                             | 46.00%          |      |      |      |
| Density (High / Low)                        | High            |      |      |      |
| Total Post-Project BUA for site:            | 8.30            |      |      |      |
| Development or Redevelopment?               | Development     |      |      |      |
| Natural Area Required: (>24%<50%)           | 17.5% =         | 3.23 |      |      |
| Natural Area Provided (ac):                 |                 |      |      |      |
| Total stream buffer protected on-site (ac): |                 |      |      |      |
| Transit Station Area? Y/N                   | N               |      |      |      |
| Distressed Business District? Y/N           | N               |      |      |      |
| Mitigation Type (if applicable)             | N/A             |      |      |      |
| Natural Area mitigation? Y/N                | N/A             |      |      |      |
| Buffer Mitigation? Y/N                      | N/A             |      |      |      |
| Total Phosphorous Mitigation? Y/N           | N               |      |      |      |

**PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 4/26/17

| ESTIMATED IMPERVIOUS AREA : |            |
|-----------------------------|------------|
| BUILDINGS:                  | 114,500 SF |
| STREETS, DRIVES, & PARKING  | 194,150 SF |
| AMENITY POOL AREA           | 15,000     |
| SIDEWALKS:                  | 42,000 SF  |
| TOTAL =                     | 365,650 SF |

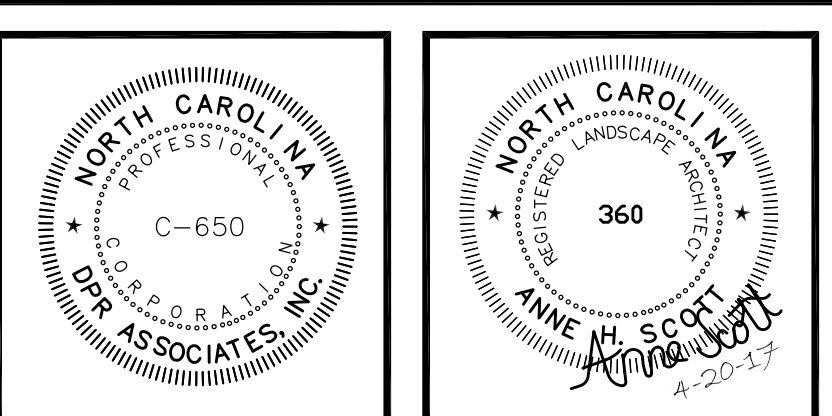
| ESTIMATED CONSTRUCTION TIME TABLE : |             |
|-------------------------------------|-------------|
| BEGIN SITE WORK                     | SPRING 2017 |
| BEGIN BUILDING CONSTRUCTION         | MAY 2017    |
| PROJECT COMPLETION                  | SUMMER 2018 |



| FLOOD DATA LEGEND: |                             |
|--------------------|-----------------------------|
| ---                | COMMUNITY FLOOD FRINGE LINE |
| ---                | FEMA FLOOD FRINGE LINE      |
| ---                | COMMUNITY ENCOACHMENT LINE  |
| ---                | FEMA FLOODWAY LINE          |
| ---                | SWIM BUFFER                 |
| ---                | TOP OF BANK                 |

- SWIM BUFFER NOTES:**
- THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES
  - PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
  - GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
  - THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
  - THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.
  - ANY ACTIVITY IN THE BUFER MUST COMPLY WITH THE APPLICABLE ZONING ORDINANCE.
  - STREAM BUFFERS MUST BE SURVEYED AND CLEARLY MARKED IN THE FIELD PRIOR TO THE PRECONSTRUCTION MEETING WITH THE WATER QUALITY STAFF.

|                                                                                                                                                                  |            |          |     |                                                                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----------|-----|----------------------------------------------------------------------|
| <div>Project Manager<br/>AHS</div> <div>Drawn By<br/>AHS, DL</div> <div>Checked By<br/>MB</div> <div>Date<br/>06/27/16</div> <div>Project Number<br/>15025</div> | REVISIONS: |          |     |                                                                      |
|                                                                                                                                                                  | No.        | Date     | By  | Description                                                          |
|                                                                                                                                                                  | 1          | 10/31/16 | AHS | PER CITY REVIEW COMMENTS                                             |
|                                                                                                                                                                  | 2          | 11/03/16 | AHS | COORDINATION W/ ARCHITECT                                            |
|                                                                                                                                                                  | 3          | 1/25/17  | AHS | PER CITY & COUNTY COMMENTS                                           |
|                                                                                                                                                                  | 4          | 2/03/17  | AHS | SHEET SCHEDULE - NEW SHEET GR-2 ADDED                                |
|                                                                                                                                                                  | 5          | 4/20/17  | AHS | NOTE ADDED TO SEPARATE GREENWAY CONNECTION FROM MULTI-FAMILY PROJECT |
|                                                                                                                                                                  |            |          |     |                                                                      |
|                                                                                                                                                                  |            |          |     |                                                                      |
|                                                                                                                                                                  |            |          |     |                                                                      |



**DPR ASSOCIATES**  
Landscape Architects  
Planners & Engineers  
420 Hawthorne Lane  
Charlotte, NC 28204  
704/332-1204

**COVER SHEET**

**THE HAVEN AT RIVERGATE**  
CHARLOTTE, NORTH CAROLINA  
SOUTH TRYON APARTMENT ASSOCIATES (2015) LLC

Scale: 1" = 60'

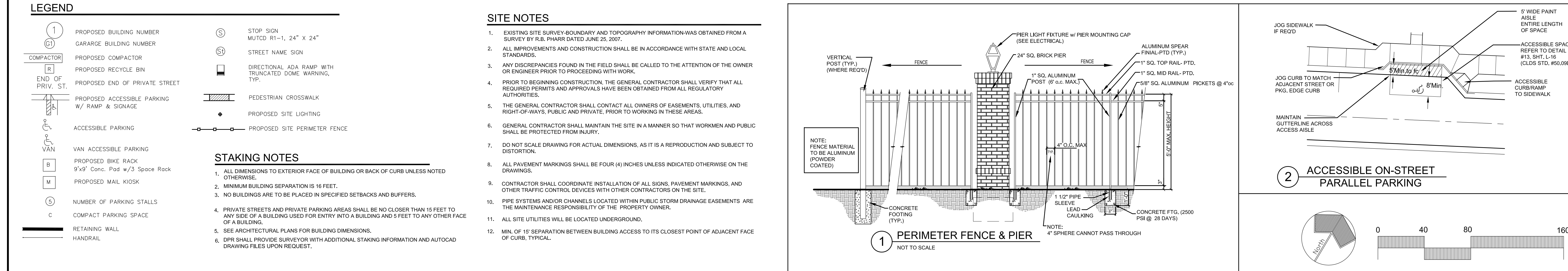
Sheet Number  
**L-1**  
SHEET 1 OF 28 TOTAL

RIVERGATE APTS / 15025









|                                                                                                                                                                            |                                                                                       |                                                                                                                                                                   |                                                                                                                          |  |                                                                |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------|
|   |  | <p><b>DPR ASSOCIATES</b></p> <p>Landscape Architects</p> <p>Planners &amp; Engineers</p> <p>420 Hawthorne Lane</p> <p>Charlotte, NC 28204</p> <p>704/332-1204</p> | <p><b>SITE PLAN</b></p>                                                                                                  |  | <p>Scale:</p> <p>1" = 40'</p>                                  |
|                                                                                                                                                                            |                                                                                       |                                                                                                                                                                   | <p><b>THE HAVEN AT RIVERGATE</b></p> <p>CHARLOTTE, NORTH CAROLINA</p> <p>SOUTH TRYON APARTMENT ASSOCIATES (2015) LLC</p> |  | <p>Sheet Number</p> <p><b>L-5</b></p> <p>SHEET OF 28 TOTAL</p> |