

- 1). CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- 2). CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- 3). ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- 4). SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMMENDED.



Know what's below.
Call before you dig.

15214COVER.dwg

EVANS WOODS SUBDIVISION

HARRISBURG ROAD
CHARLOTTE, NORTH CAROLINA 28215
MECKLENBURG COUNTY

CIVIL PLANS

FOR

JDSI, LLC
17537 JETTON ROAD
CORNELIUS, NORTH CAROLINA 28031
704-361-7777
judsontr@bellsouth.net



FINAL
APPROVAL

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

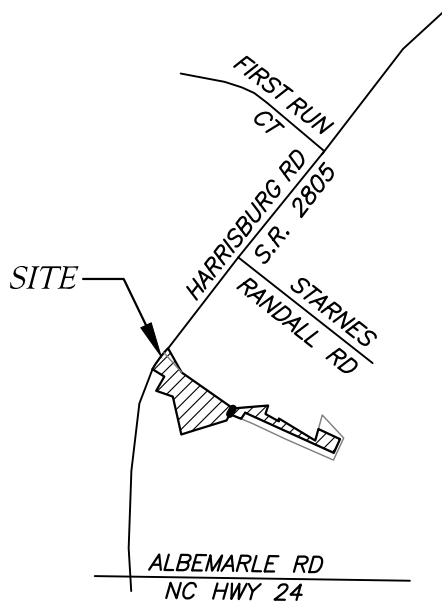
EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>



VICINITY MAP
N.T.S.

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 5/4/2017 1 of 2

APPROVED
By Brendan M. Smith at 3:03 pm, Apr 05, 2017

APPROVED

APPROVED
By Vince Condon at 10:22 am, Apr 17, 2017

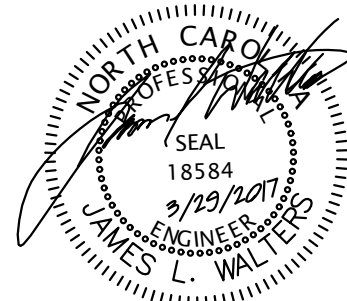
APPROVED

ESTIMATED COMPLETION TIME FRAME

CONSTRUCTION WILL BEGIN WITHIN 12 MONTHS FROM APPROVAL OF PLANS. ESTIMATED TIME OF COMPLETION IS APPROXIMATELY 24 MONTHS AFTER START OF CONSTRUCTION.

SHEET INDEX	
Sheet Number	Sheet Title
C	COVER
C1.0	SITE PLAN
C1.1	SITE PLAN
C2.0	EROSION CONTROL PLAN - PHASE 1
C2.1	EROSION CONTROL PLAN - PHASE 1
C2.2	EROSION CONTROL PLAN - PHASE 2
C2.3	EROSION CONTROL PLAN - PHASE 2
C3.0	EROSION CONTROL DETAILS
C3.1	EROSION CONTROL & STORM DRAINAGE DETAILS
C3.2	STORM DRAINAGE DETAILS
C4.0	GRADING PLAN
C4.1	STORMWATER QUALITY DETAILS
C5.0	EVANS WOODS DRIVE PLAN-PROFILE
C5.1	MARION OAKS DRIVE PLAN-PROFILE
C5.2	EVANS CREEK COURT PLAN-PROFILE
C5.3	SLOAN FOREST DRIVE STA. 0+00-7+00 PLAN-PROFILE
C5.4	SLOAN FOREST DRIVE STA. 7+00-END PLAN-PROFILE
C5.5	BLUE KNOLL COURT PLAN-PROFILE
C5.6	HARRISBURG RD. - OVERLAY & LINE OF SIGHT PROFILE
C5.7	STRIPING & TRAFFIC CONTROL PLAN
C6.0	LANDSCAPE PLAN
C6.1	LANDSCAPE PLAN
C7.0	UTILITY PLAN
C8.0	SIGNAGE PLAN
C9.0	SITE DETAILS
C9.1	SITE DETAILS
C9.2	TRAFFIC CONTROL DETAILS
C10.0	E.C. DRAINAGE AREA MAP
C10.1	BMP DRAINAGE AREA MAP
C10.2	BMP DRAINAGE AREA MAP
C10.3	CULVERT & FLOOD STUDY DRAINAGE AREA MAP
C11.0	FLOOD STUDY SECTIONS
C12.0	HARRISBURG RD. - SIDEWALK SECTIONS 0+00 - 2+50
C12.1	HARRISBURG RD. - SIDEWALK SECTIONS 3+00 - 4+50

LWE
LATHAM-WALTERS
ENGINEERING, INC.
N.C. CORP. LIC. C-1815
16507-A NORTHCROSS DRIVE
HUNTERSVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362



MARCH 29, 2017
DATE

JDSI, LLC

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CORNELIUS, NC 28031
PHONE: (704)-361-7777
judsontr@bellsouth.net

EVANS WOODS SUBDIVISION
HARRISBURG ROAD CHARLOTTE, NC 28215

COVER

REVISIONS

REV. NO. 1: CITY & NCDOT COMMENTS
2/8/2017

REV. NO. 2: CITY & NCDOT COMMENTS
3/15/2017

PROJECT NO.: 2015.21

SCALE: N.T.S.

DRAWN BY: MRH

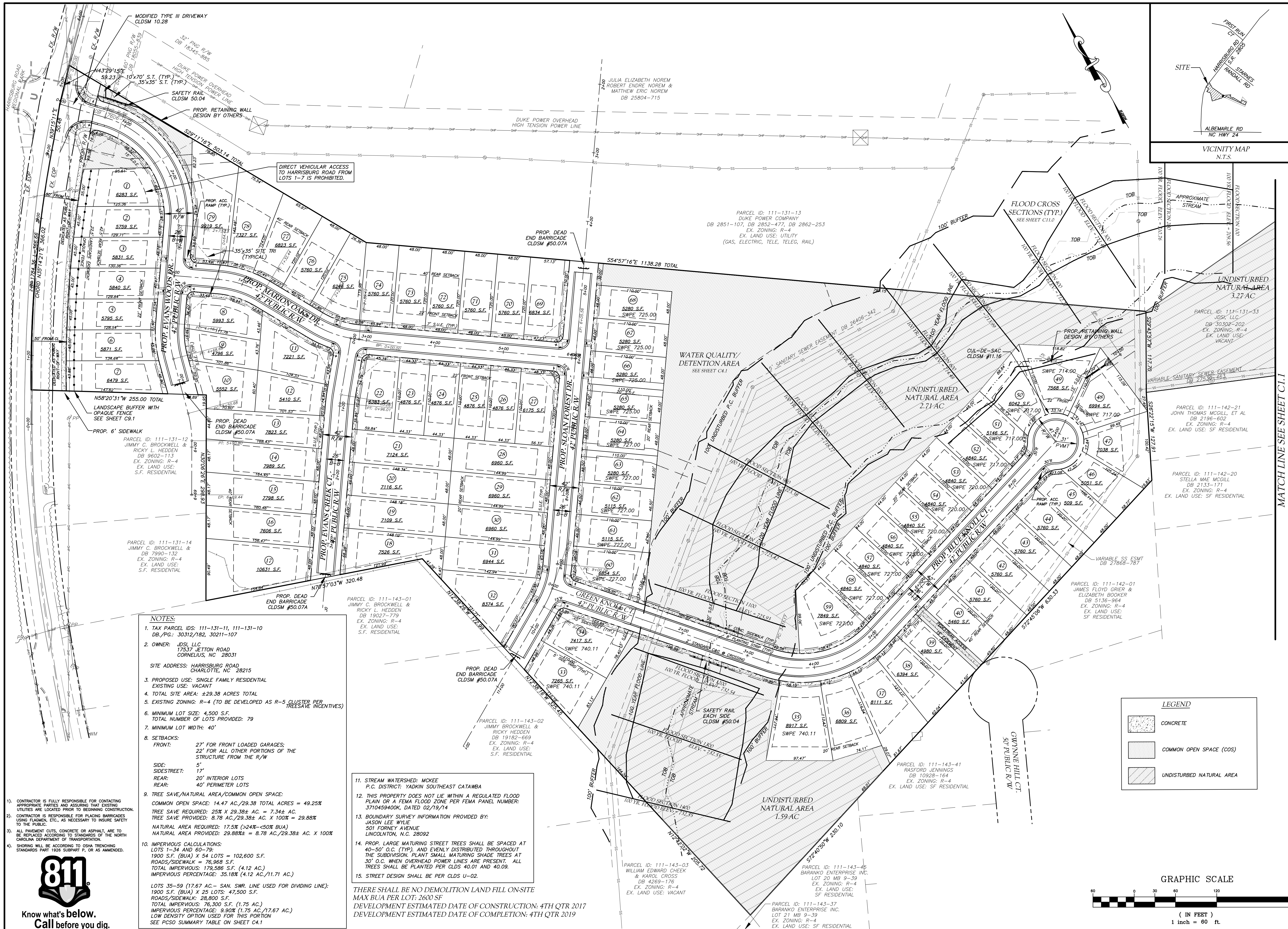
CHECKED BY: JLW

SHEET NO:

C



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NOTES:

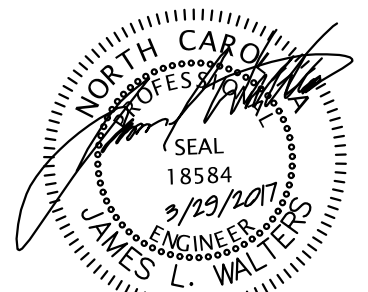
1. TAX PARCEL IDS: 111-131-11, 111-131-10
DB/PG: 30312/182, 30211-107
2. OWNER: JDSI, LLC
17537 JETTON ROAD
CORNELIUS, NC 28031
3. PROPOSED USE: SINGLE FAMILY RESIDENTIAL
EXISTING USE: VACANT
4. TOTAL SITE AREA: ±29.38 ACRES TOTAL
5. EXISTING ZONING: R-4 (TO BE DEVELOPED AS R-5 CLUSTER PER TREESAVE INCENTIVES)
6. MINIMUM LOT SIZE: 4,500 S.F.
TOTAL NUMBER OF LOTS PROVIDED: 79
7. MINIMUM LOT WIDTH: 40'
8. SETBACKS:
FRONT: 27' FOR FRONT LOADED GARAGES;
22' FOR ALL OTHER PORTIONS OF THE STRUCTURE FROM THE R/W
SIDE: 17'
SIDE/STREET: 17'
REAR: 20' INTERIOR LOTS
REAR: 40' PERIMETER LOTS
9. TREE SAVE/NATURAL AREA/COMMON OPEN SPACE:
COMMON OPEN SPACE: 14.47 AC./29.38 TOTAL ACRES = 49.25%
TREE SAVE REQUIRED: 25% X 29.38± AC. = 7.34± AC.
TREE SAVE PROVIDED: 8.78 AC./29.38± AC. X 100% = 29.88%
NATURAL AREA REQUIRED: 17.5% (>24% <50% BUA)
NATURAL AREA PROVIDED: 29.88± = 8.78 AC./29.38± AC. X 100%
10. IMPERVIOUS CALCULATIONS:
LOTS 1-34 AND 60-78:
1900 S.F. (BUA) X 54 LOTS = 102,600 S.F.
ROADS/SIDEWALK = 76,968 S.F.
TOTAL IMPERVIOUS: 179,568 S.F. (4.12 AC.)
IMPERVIOUS PERCENTAGE: 35.18% (4.12 AC./11.71 AC.)
LOTS 35-59 (17.67 AC. - SAN. SWR. LINE USED FOR DIVIDING LINE):
1900 S.F. (BUA) X 25 LOTS: 47,500 S.F.
ROADS/SIDEWALK: 28,800 S.F.
TOTAL IMPERVIOUS: 76,300 S.F. (1.75 AC.)
IMPERVIOUS PERCENTAGE: 9.90% (1.75 AC./17.67 AC.)
LOW DENSITY OPTION USED FOR THIS PORTION
SEE PCSO SUMMARY TABLE ON SHEET C4.1

11. STREAM WATERSHED: MCKEE
P.C. DISTRICT: YADKIN SOUTHEAST CATAWBA
12. THIS PROPERTY DOES NOT LIE WITHIN A REGULATED FLOOD PLAIN OR A FEMA FLOOD ZONE PER FEMA PANEL NUMBER: 3710459400K, DATED 02/19/14
13. BOUNDARY SURVEY INFORMATION PROVIDED BY:
JASON LEE WYLYE
501 FORNEY AVENUE
LINCOLNTON, N.C. 28092
14. PROP. LARGE MATURING STREET TREES SHALL BE SPACED AT 40'-50' O.C. (TYP.) AND EVENLY DISTRIBUTED THROUGHOUT THE SUBDIVISION, PLANT SMALL MATURING SHADE TREES AT 30' O.C. WHEN OVERHEAD POWER LINES ARE PRESENT. ALL TREES SHALL BE PLANTED PER CLDS 40.01 AND 40.09.
15. STREET DESIGN SHALL BE PER CLDS U-02.

THERE SHALL BE NO DEMOLITION LAND FILL ON-SITE
MAX BUA PER LOT: 2600 SF
DEVELOPMENT ESTIMATED DATE OF CONSTRUCTION: 4TH QTR 2017
DEVELOPMENT ESTIMATED DATE OF COMPLETION: 4TH QTR 2019

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SITE PLAN

REVISIONS

REV. NO. 1: CITY & NCDOT COMMENTS
2/8/2017

REV. NO. 2: CITY & NCDOT COMMENTS
3/15/2017

PROJECT NO.: 2015.21

SCALE: 1" = 60'

DRAWN BY: MRH

CHECKED BY: JLW

SHEET NO.:

C1.0