

CORNING OFFICE DEVELOPMENT CONSTRUCTION DOCUMENTS

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC

DEVELOPER

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LANDSCAPE ARCHITECT/
CIVIL ENGINEER

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SURVEY

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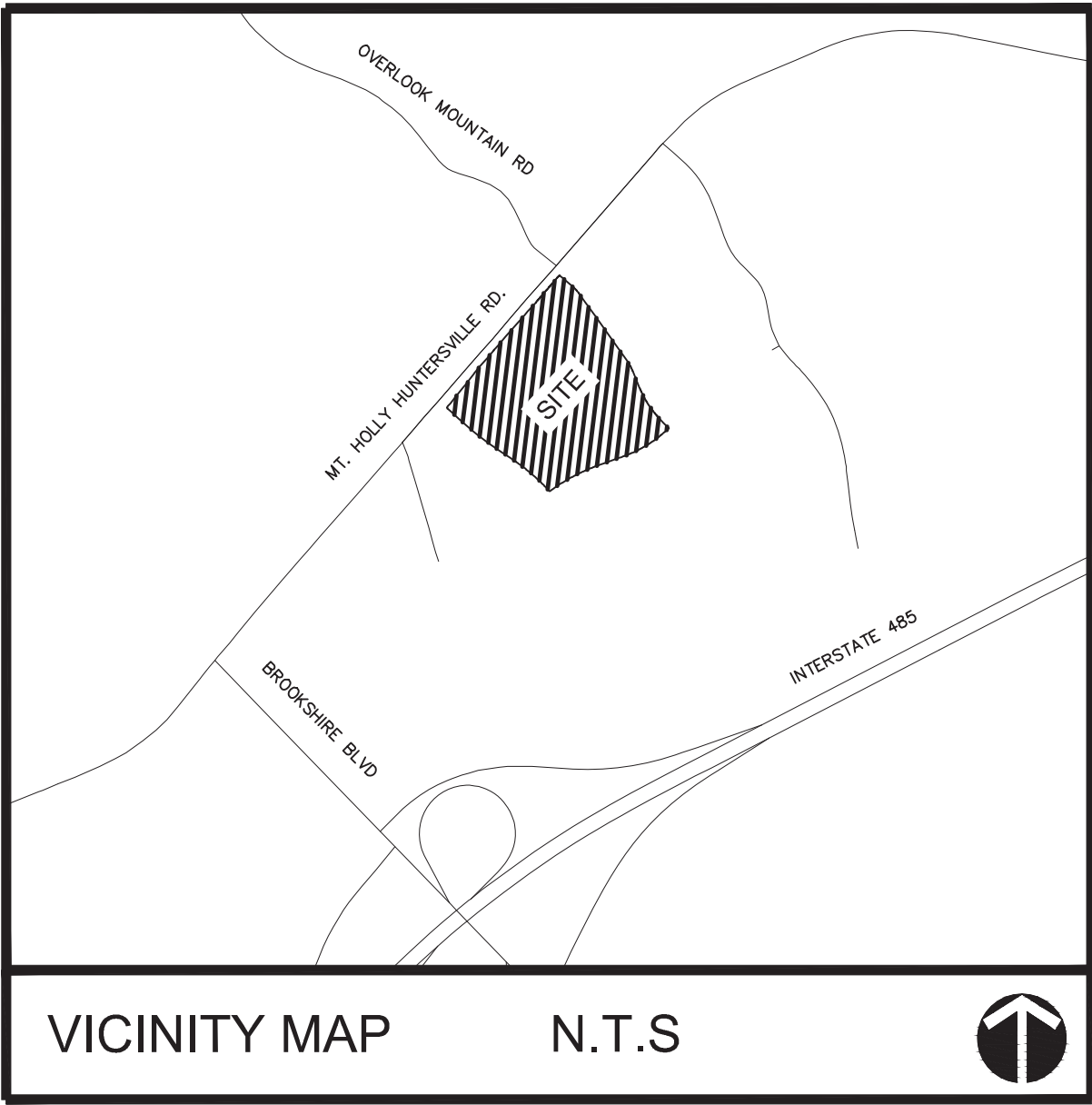
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PCCO SUMMARY	
Original Parcel ID Number(s):	033-041-27, 033-041-17, 033-041-22, 033-041-19, 033-041-20, 033-041-10
Development Type:	Commercial
Subject to PCCO? Y/N	Yes
Watershed:	Western Catawba
Disturbed Area (ac):	17.9
Site Area (ac):	15.9
	DA#1
Total on-site Drainage Area (ac):	17.7
Existing Built-upon-area (SF):	40,931
Existing BUA to be removed (SF):	40,931
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	307,953
Proposed % BUA:	45%
Density (High / Low):	High
Total Post-Project BUA for site:	307,953
Development or Redevelopment?	Development
Natural Area Required (ac):	0.71
Natural Area provided, total (ac):	1.2
Undisturbed Treed Natural Area Preserved (ac):	0.32
Total stream buffer protected on-site (ac):	N/A
Transit Station Area? Y/N	No
Distressed Business District? Y/N	No
Mitigation Type (if applicable):	N/A
Natural Area mitigation? Y/N	No
Buffer Mitigation? Y/N	No
Total Phosphorous Mitigation? Y/N	No



ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED
By mark chapman at 1:36 pm, Oct 13, 2017

APPROVED

APPROVED

APPROVED

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 10-13-2017 1 of 2

LandDesign

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CORPORATE SEAL
NORTH CAROLINA

Kris Rowe

3266

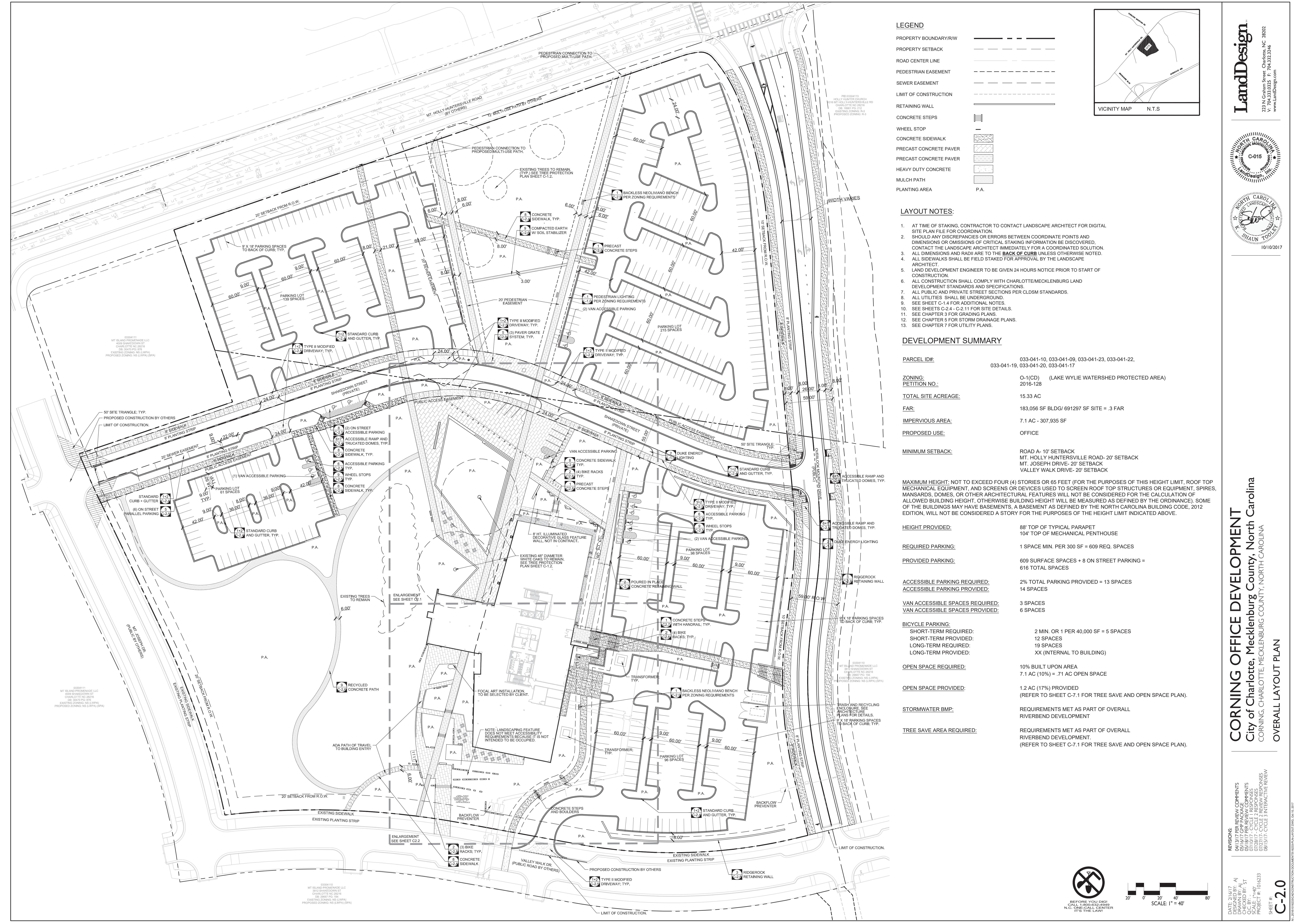
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: 12/31/2017

CORNING OFFICE DEVELOPMENT
City of Charlotte, Mecklenburg County, North Carolina
CORNING, CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
COVER

REVISIONS:
04/13/17 PER REVIEW COMMENTS
05/16/17 GMP PACKAGE
07/18/17 PER REVIEW COMMENTS
07/27/17 - CYCLE 2 RESPONSES
08/15/17 - CYCLE 3 INTERACTIVE REVIEW

DATE: 2/16/17
DESIGNED BY: NK
DRAWN BY: NK
Q/C BY: KWR
SCALE:
PROJECT #: 101623
SHEET #:

C-1.0



LEGEND

PROPERTY BOUNDARY/R/W: ---

PROPERTY SETBACK: ---

ROAD CENTER LINE: ---

PEDESTRIAN EASEMENT: ---

SEWER EASEMENT: ---

LIMIT OF CONSTRUCTION: ---

RETAINING WALL: ---

CONCRETE STEPS: ---

WHEEL STOP: ---

CONCRETE SIDEWALK: ---

PRECAST CONCRETE PAVER: ---

PRECAST CONCRETE PAVER: ---

HEAVY DUTY CONCRETE: ---

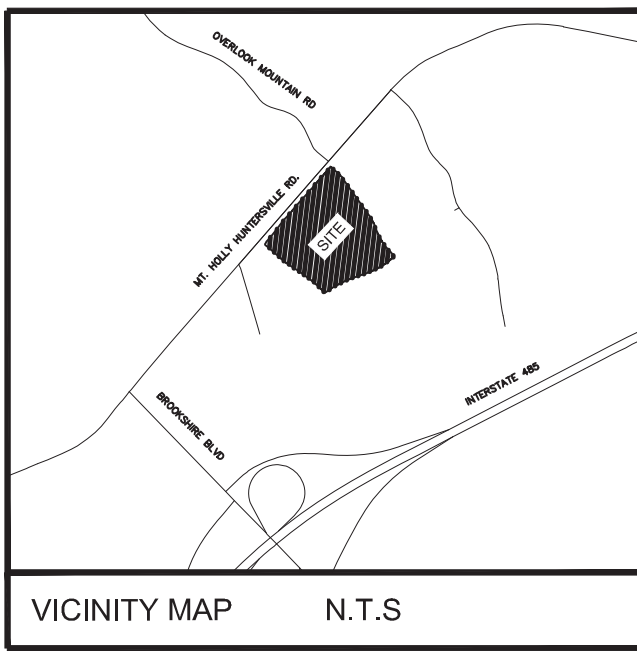
MULCH PATH: ---

PLANTING AREA: P.A.

- LAYOUT NOTES:**
- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION.
 - SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
 - ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 - LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 - ALL PUBLIC AND PRIVATE STREET SECTIONS PER CLDSM STANDARDS.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - SEE SHEET C-1.4 FOR ADDITIONAL NOTES.
 - SEE SHEETS C-2.4 - C-2.11 FOR SITE DETAILS.
 - SEE CHAPTER 3 FOR GRADING PLANS.
 - SEE CHAPTER 5 FOR STORM DRAINAGE PLANS.
 - SEE CHAPTER 7 FOR UTILITY PLANS.

DEVELOPMENT SUMMARY

PARCEL ID#:	033-041-10, 033-041-09, 033-041-23, 033-041-22, 033-041-19, 033-041-20, 033-041-17
ZONING:	O-1(CD) (LAKE WYLIE WATERSHED PROTECTED AREA)
PETITION NO.:	2016-128
TOTAL SITE ACREAGE:	15.33 AC
FAR:	183,056 SF BLDG/ 691,297 SF SITE = .3 FAR
IMPERVIOUS AREA:	7.1 AC - 307,935 SF
PROPOSED USE:	OFFICE
MINIMUM SETBACK:	ROAD A- 10' SETBACK MT. HOLLY HUNTERSVILLE ROAD- 20' SETBACK MT. JOSEPH DRIVE- 20' SETBACK VALLEY WALK DRIVE- 20' SETBACK
HEIGHT PROVIDED:	88' TOP OF TYPICAL PARAPET 104' TOP OF MECHANICAL PENTHOUSE
REQUIRED PARKING:	1 SPACE MIN. PER 300 SF = 609 REQ. SPACES
PROVIDED PARKING:	609 SURFACE SPACES + 8 ON STREET PARKING = 616 TOTAL SPACES
ACCESSIBLE PARKING REQUIRED:	2% TOTAL PARKING PROVIDED = 13 SPACES
ACCESSIBLE PARKING PROVIDED:	14 SPACES
VAN ACCESSIBLE SPACES REQUIRED:	3 SPACES
VAN ACCESSIBLE SPACES PROVIDED:	6 SPACES
BICYCLE PARKING:	2 MIN. OR 1 PER 40,000 SF = 5 SPACES
SHORT-TERM REQUIRED:	12 SPACES
SHORT-TERM PROVIDED:	19 SPACES
LONG-TERM REQUIRED:	XX (INTERNAL TO BUILDING)
LONG-TERM PROVIDED:	
OPEN SPACE REQUIRED:	10% BUILT UPON AREA 7.1 AC (10%) = .71 AC OPEN SPACE
OPEN SPACE PROVIDED:	1.2 AC (17%) PROVIDED (REFER TO SHEET C-7.1 FOR TREE SAVE AND OPEN SPACE PLAN).
STORMWATER BMP:	REQUIREMENTS MET AS PART OF OVERALL RIVERBEND DEVELOPMENT
TREE SAVE AREA REQUIRED:	REQUIREMENTS MET AS PART OF OVERALL RIVERBEND DEVELOPMENT. (REFER TO SHEET C-7.1 FOR TREE SAVE AND OPEN SPACE PLAN).



LandDesign

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C-015

SHAUN JOHNSON

10/10/2017

CORNING OFFICE DEVELOPMENT

City of Charlotte, Mecklenburg County, North Carolina

CORNING, CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

OVERALL LAYOUT PLAN

REVISIONS:

04/30/17 PER REVIEW COMMENTS

DESIGNED BY: AJ

DRAWN BY: AJ

05/18/17 PER REVIEW COMMENTS

05/18/17 PER REVIEW COMMENTS

07/28/17 - CYCLE 2 RESPONSES

08/23/17 - CYCLE 3 RESPONSES

08/23/17 - CYCLE 3 INTERACTIVE REVIEW

DATE: 2/16/17

DESIGNED BY: AJ

DRAWN BY: AJ

05/18/17 PER REVIEW COMMENTS

05/18/17 PER REVIEW COMMENTS

07/28/17 - CYCLE 2 RESPONSES

08/23/17 - CYCLE 3 RESPONSES

08/23/17 - CYCLE 3 INTERACTIVE REVIEW

PROJECT #: 1016233

SHEET #:

