



OWNER:
BELTON STREET PARTNERS, LLC
CONTACT: ANDY LUCAS
ADDRESS: 601 SOUTH CEDAR STREET, SUITE 500
CHARLOTTE, NC 28202
PHONE: 410-804-0360

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS
CONTACT: BRIAN D. SMITH, PE
ADDRESS: 1318-E6 CENTRAL AVENUE
CHARLOTTE, NC 28205
PHONE: 704-334-3303 FAX: 704-334-3305

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE STANDARDS MANUAL (CLDSM).

2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.

3. ALL PUBLIC STRINGS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC RIGHT OF WAYS.

4. ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.

5. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CLDSM#50.06.

6. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.

7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).

8. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.

9. SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.

10. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.

11. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE I, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.

12. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.

13. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SIAD MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.

14. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.

15. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST.

16. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.

17. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAG MEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).

18. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.

19. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT AN INTERVAL NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.

20. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.

21. IN ROLLY AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

22. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT MORE THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.

23. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.

24. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.

25. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CLDSM STD #30.05.

26. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

27. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

28. ALL ROAD IMPROVEMENTS ON BELTON STREET AND MARION PLACE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

29. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.

30. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.

31. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.

32. CURB AND GUTTER SHOWN ON PLANS ALONG BELTON STREET AND MARION PLACE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

33. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

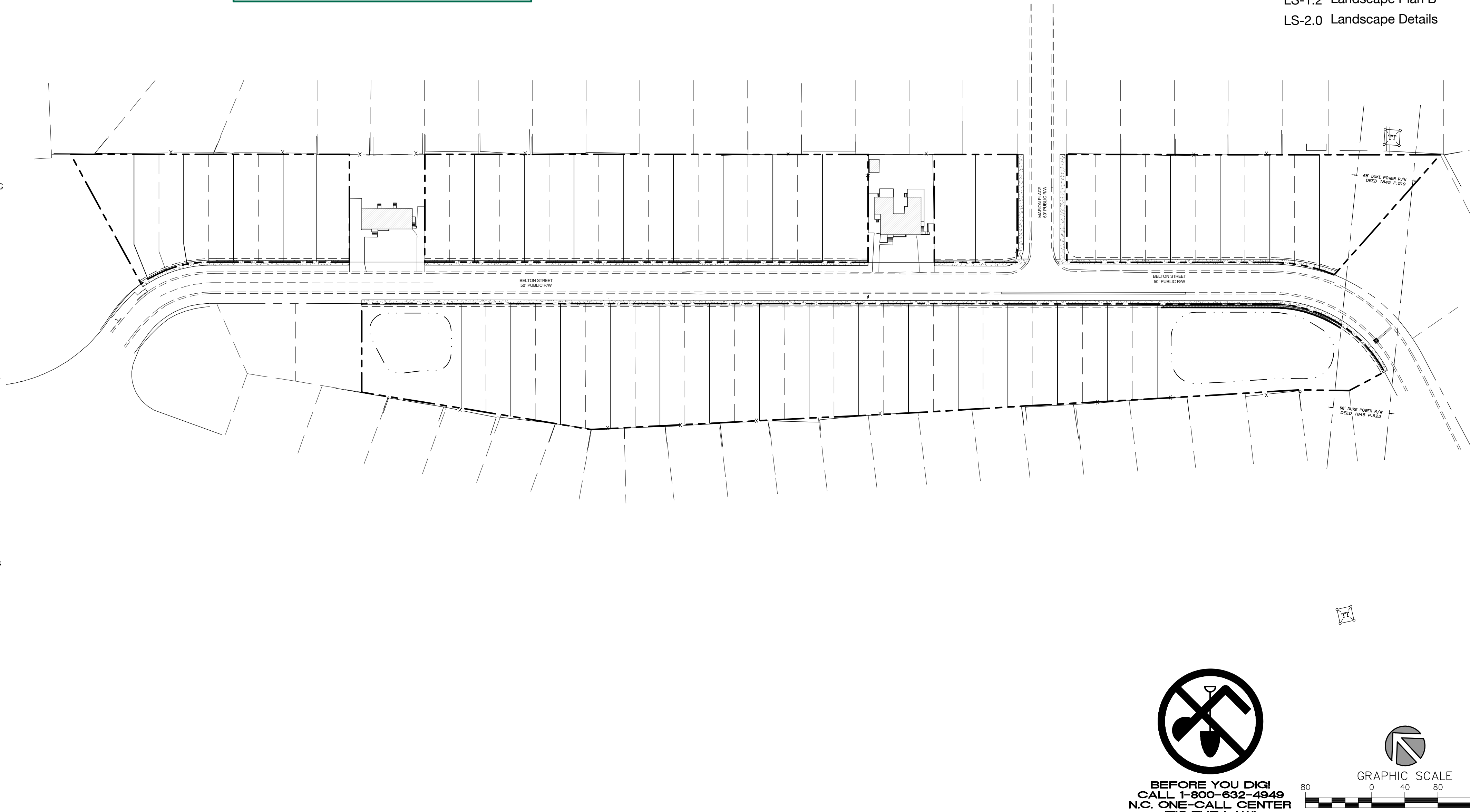
34. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

35. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)

36. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.

37. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.

38. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.



**FINAL
APPROVAL**

PCO / DETENTION / DRAINAGE PLAN

APPROVED

Robbey Zink

APPROVED

TREE ORDINANCE

APPROVED

Craig Robinson

APPROVED

Kory Kedrick

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

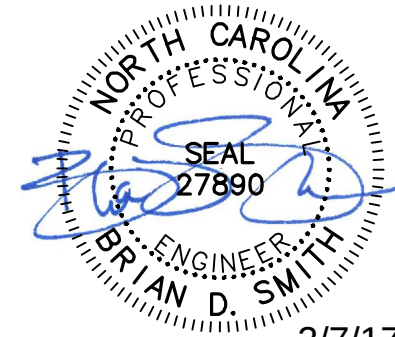
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By Brent Wilkinson 3/2/17

C-1.0	Cover Sheet
C-2.0	Existing Conditions
C-2.1	Demolition Plan A
C-2.2	Demolition Plan B
C-3.0	Site Plan A
C-3.1	Site Plan B
C-3.2	Open Space Plan A
C-3.3	Open Space Plan B
C-4.0	Grading & Storm Drainage
C-4.1	Grading & Storm Drainage
C-4.2	Storm Drainage Area Plan
C-4.3	BMP Plan & Details
C-4.4	BMP Plan & Details
C-4.5	BMP Drainage Area Plan
C-5.0	Utility Plan A
C-5.1	Utility Plan B
C-6.0	Site Details & Specification
C-6.1	Site Details & Specification
C-6.2	Site Details & Specification
C-7.0	Erosion Control Plan A
C-7.1	Erosion Control Plan B
C-7.2	Erosion Control Plan A
C-7.3	Erosion Control Plan B
C-7.4	Erosion Control Plan A
C-7.5	Erosion Control Plan B
C-7.6	Erosion Control Details
C-7.7	Erosion Control Details
C-7.8	Erosion Control Details
LS-1.0	Overall Landscape Plan
LS-1.1	Landscape Plan A
LS-1.2	Landscape Plan B
LS-2.0	Landscape Details



1318-e6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbandesignpartners.com
nc firm no: P-0418
sc coa no: C-03044



2/7/17

Belton Street
Partners, LLC

601 S. Cedar Street
Suite 500
Charlotte, NC 28202

Belton Street

Cover Sheet

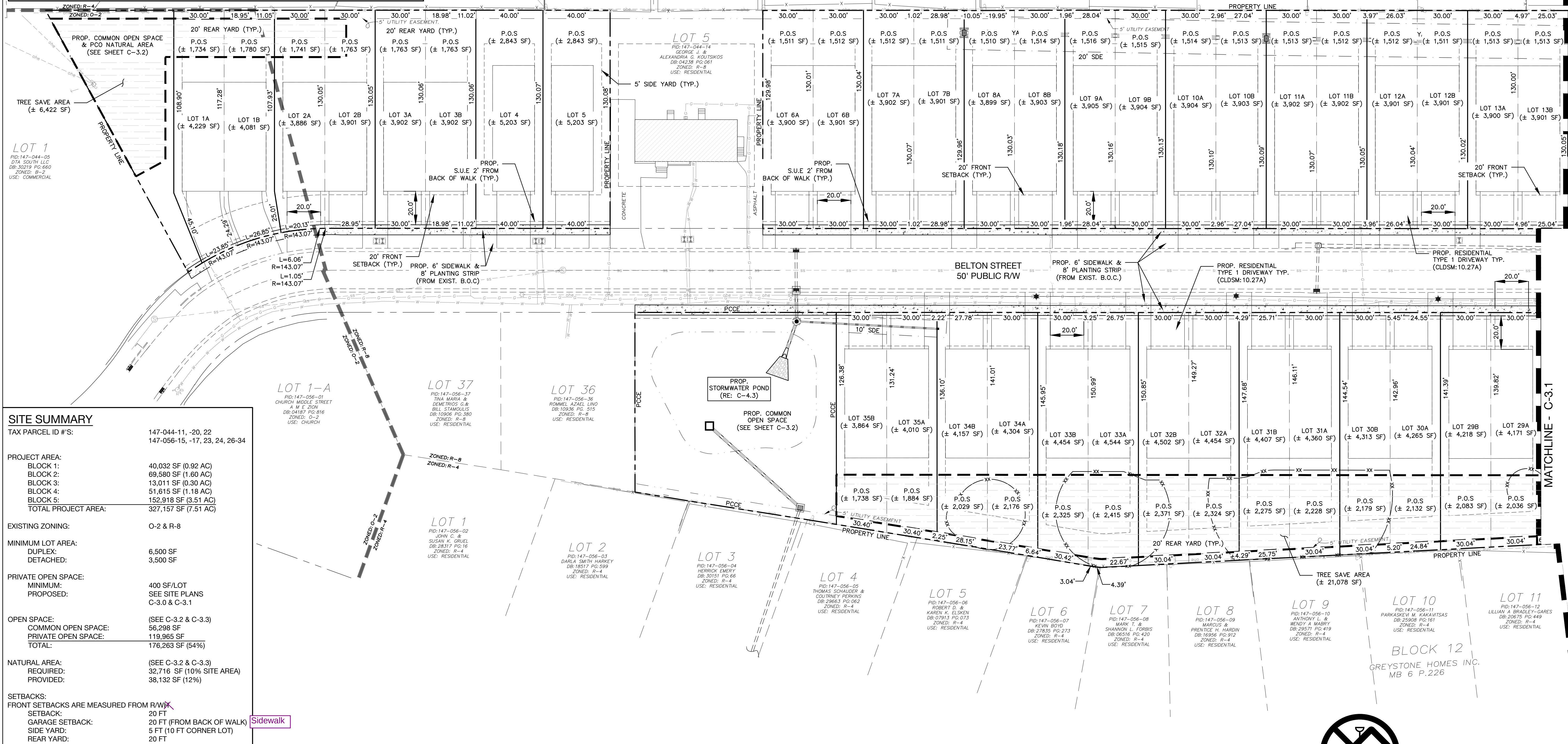
Belton Street Charlotte, NC

[illegible]

Project No: 16-058
Date: November 18,
Designed by: UDP
Drawn By: JAP
Scale: 1" = 80'
Sheet No:

C-1.0

LOT BUA SUMMARY							
LOT #	LOT AREA (SF)	IMP AREA (SF)	BUA %	LOT #	LOT AREA (SF)	IMP AREA (SF)	BUA %
LOT 1A	4,229	3,100	73%	LOT 20A	3,897	3,100	80%
LOT 1B	4,081	3,100	76%	LOT 20B	3,897	3,100	80%
LOT 2A	3,886	3,100	80%	LOT 21A	3,917	3,100	79%
LOT 2B	3,901	3,100	79%	LOT 21B	4,046	3,100	77%
LOT 3A	3,902	3,100	79%	LOT 22A	3,566	3,100	87%
LOT 3B	3,902	3,100	79%	LOT 22B	3,505	3,100	86%
LOT 4	5,203	3,500	67%	LOT 23A	3,558	3,100	87%
LOT 5	5,203	3,500	67%	LOT 23B	3,610	3,100	86%
LOT 6A	3,900	3,100	79%	LOT 24A	3,661	3,100	85%
LOT 6B	3,901	3,100	79%	LOT 24B	3,714	3,100	83%
LOT 7A	3,902	3,100	79%	LOT 25A	3,770	3,100	82%
LOT 7B	3,901	3,100	79%	LOT 25B	3,827	3,100	81%
LOT 8A	3,899	3,100	80%	LOT 26A	3,882	3,100	80%
LOT 8B	3,903	3,100	79%	LOT 26B	3,936	3,100	79%
LOT 9A	3,905	3,100	79%	LOT 27A	3,986	3,100	78%
LOT 9B	3,904	3,100	79%	LOT 27B	4,033	3,100	77%
LOT 10A	3,904	3,100	79%	LOT 28A	4,079	3,100	76%
LOT 10B	3,903	3,100	79%	LOT 28B	4,124	3,100	75%
LOT 11A	3,902	3,100	79%	LOT 29A	4,171	3,100	74%
LOT 11B	3,902	3,100	79%	LOT 29B	4,218	3,100	73%
LOT 12A	3,901	3,100	79%	LOT 30A	4,265	3,100	73%
LOT 12B	3,901	3,100	79%	LOT 30B	4,313	3,100	72%
LOT 13A	3,900	3,100	79%	LOT 31A	4,360	3,100	71%
LOT 13B	3,901	3,100	79%	LOT 31B	4,407	3,100	70%
LOT 14	7,152	3,500	49%	LOT 32A	4,454	3,100	70%
LOT 15	6,505	3,500	54%	LOT 32B	4,502	3,100	69%
LOT 16	6,506	3,500	54%	LOT 33A	4,544	3,100	68%
LOT 17A	4,554	3,100	68%	LOT 33B	4,554	3,100	70%
LOT 17B	3,903	3,100	79%	LOT 34A	4,304	3,100	72%
LOT 18A	3,903	3,100	79%	LOT 34B	4,157	3,100	75%
LOT 18B	3,903	3,100	79%	LOT 35A	4,010	3,100	77%
LOT 19A	3,902	3,100	79%	LOT 35B	3,864	3,100	80%
LOT 19B	3,900	3,100	79%				



SITE SUMMARY	
TAX PARCEL ID #'S:	147-044-11, -20, 22 147-056-15, -17, 23, 24, 26-34
PROJECT AREA:	40,032 SF (0.92 AC)
BLOCK 1:	89,580 SF (1.80 AC)
BLOCK 2:	13,011 SF (0.30 AC)
BLOCK 3:	51,615 SF (1.18 AC)
BLOCK 4:	152,918 SF (3.51 AC)
TOTAL PROJECT AREA:	327,157 SF (7.51 AC)
EXISTING ZONING:	O-2 & R-8
MINIMUM LOT AREA:	6,500 SF
DUPLEX:	3,500 SF
DETACHED:	3,500 SF
PRIVATE OPEN SPACE:	400 SF/LOT
MINIMUM:	SEE SITE PLANS
PROPOSED:	C-3.0 & C-3.1
OPEN SPACE:	(SEE C-3.2 & C-3.3)
COMMON OPEN SPACE:	56,298 SF
PRIVATE OPEN SPACE:	119,965 SF
TOTAL:	176,263 SF (54%)
NATURAL AREA:	(SEE C-3.2 & C-3.3)
REQUIRED:	32,716 SF (10% SITE AREA)
PROVIDED:	38,132 SF (12%)
SETBACKS:	
FRONT SETBACKS ARE MEASURED FROM R/W	
SETBACK:	20 FT
GARAGE SETBACK:	20 FT (FROM BACK OF WALK)
SIDE YARD:	5 FT (10 FT CORNER LOT)
REAR YARD:	20 FT
PROPOSED USE:	
SINGLE FAMILY ATTACHED:	30 DUPLEX (60 UNITS)
SINGLE FAMILY DETACHED:	5 UNITS
TOTAL:	65 UNITS
PARKING SPACES:	
REQUIRED:	65 SPACES (1 SPACE/UNIT)
PROPOSED:	130 SPACES (2 SPACES/UNIT)

**URBAN
DESIGN
PARTNERS**

1318-e6 central ave. p 704.334.3303
charlotte, nc 28205 f 704.334.3305
urbanpartners.com
nc firm no: P-0418
sc coa no: C-03044

2/7/17

Belton Street
Partners, LLC

601 S. Cedar Street
Suite 500
Charlotte, NC 28202

Belton Street

Site Plan A

Belton Street Charlotte, NC

NO.	DATE	BY	REVISIONS:
1	01.16.17	UDP	PER CITY COMMENTS
2	02.07.17	UDP	PER CITY COMMENTS

Project No: 16-058
Date: November 18, 2016
Designed by: UDP
Drawn By: JAP
Scale: 1" = 30'
Sheet No:

**BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!**

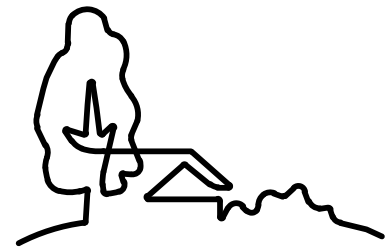
GRAPHIC SCALE
1 INCH = 30 FEET

C-3.0

MATCHLINE - C-3.0

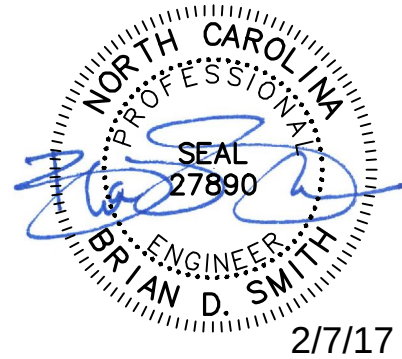
MATCHLINE - C-3.0

SEE SHEET C-3.0 FOR SITE
SUMMARY TABLE AND LOT
BUA DATA TABLE



URBAN
DESIGN
PARTNERS

1318-e6 central ave. # 704.334.3303
charlotte, nc 28205 # 704.334.3305
urbandesignpartners.com
nc firm no: P-0418
sc cda no: C-03044



Belton Street
Partners, LLC

601 S. Cedar Street
Suite 500
Charlotte, NC 28202

Belton Street

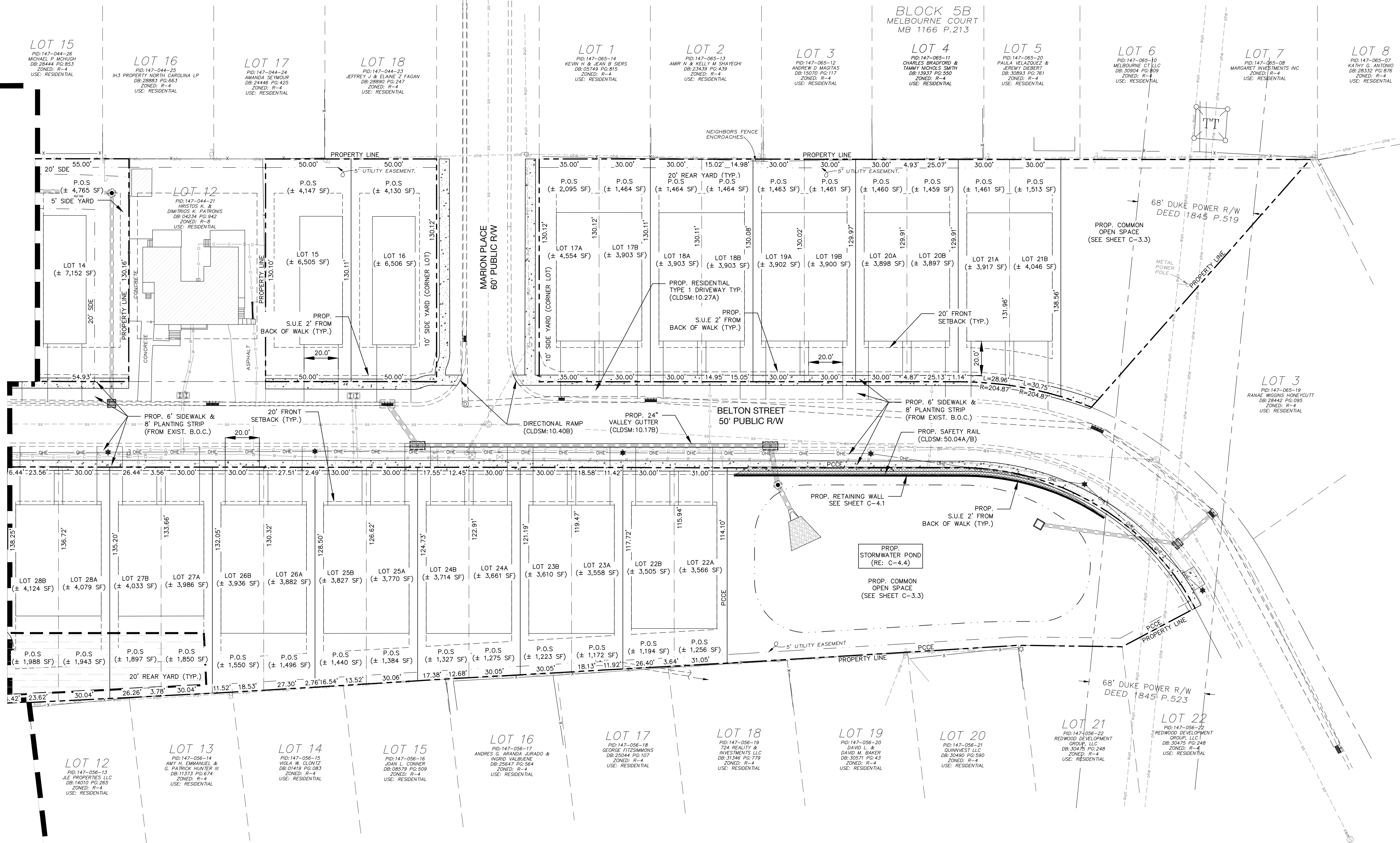
Site Plan B

Belton Street Charlotte, NC

NO.	DATE	BY	REVISIONS
1	01.16.17	UDP	PER CITY COMMENTS
2	02.07.17	UDP	PER CITY COMMENTS

Project No: 16-058
Date: November 18, 2016
Designed by: UDP
Drawn By: JAP
Scale: 1" = 30'
Sheet No:

C-3.1



BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

GRAPHIC SCALE
0 15 30
1 INCH = 30 FEET