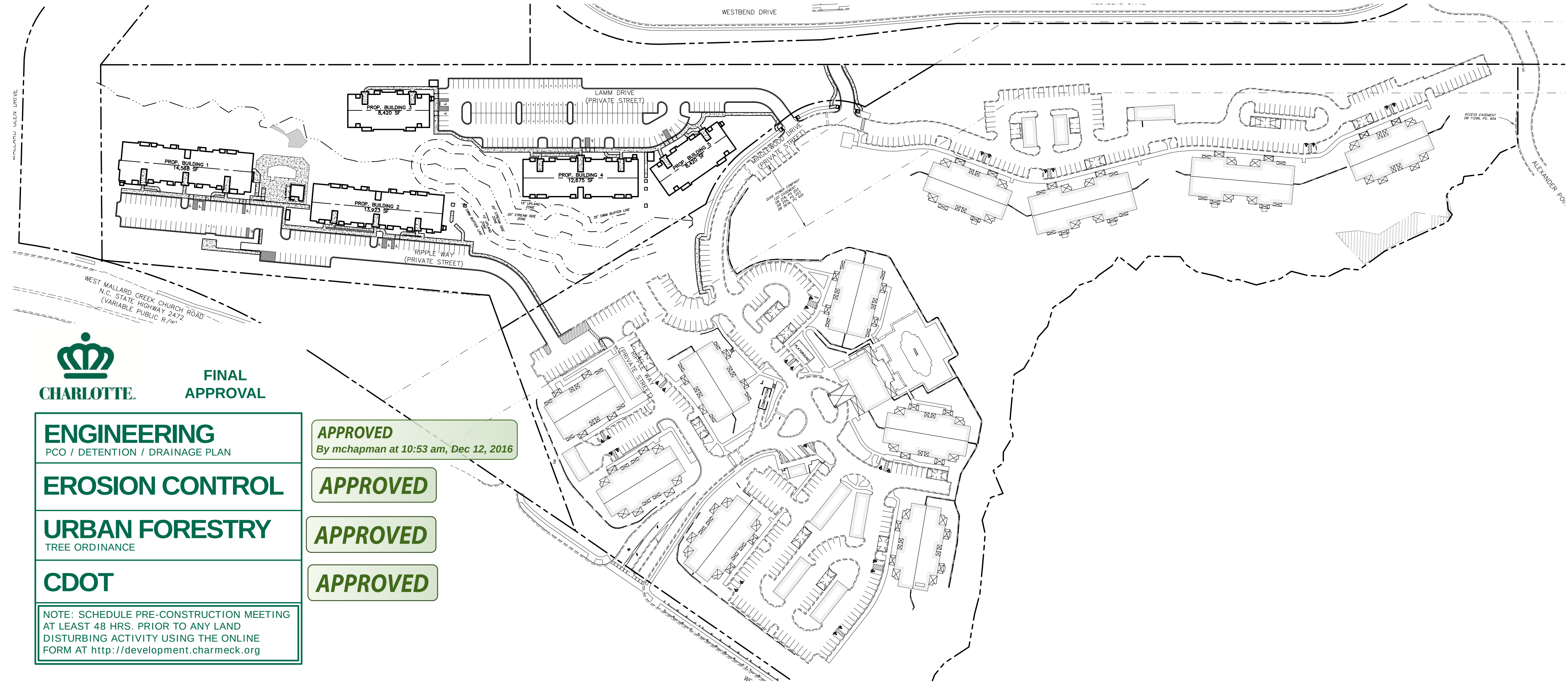


PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 12.13.16



FINAL APPROVAL

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED
By mchapman at 10:53 am, Dec 12, 2016

APPROVED

APPROVED

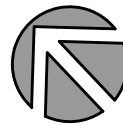
APPROVED

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM).
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CLDSM #50.06.
5. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
6. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
7. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREET, CONTACT CDOT AT (704) 336-3888.
8. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
9. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS 1009, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
10. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
11. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
12. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.
13. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST.
14. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
15. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. REFER TO DIAGRAMS 2 & 4 IN THE WORK AREA TRAFFIC CONTROL HANDBOOK (M.A.T.C.H.) FOR PEDESTRIAN DETOUR AND TRAFFIC CONTROL. DIAGRAMS ARE PROVIDED ON SHEET C-6.3 FOR REFERENCE.
16. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
17. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. JOINTS SHALL BE PROVIDED AT INTERVALS OF (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.

18. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD INSPECTION.
19. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
20. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.
21. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CLOSM STD #30.05.
22. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
23. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED TO THE CITY ENGINEER FOR FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
24. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
25. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
26. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
27. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
28. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-4262.
29. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
30. ALL UTILITIES TO BE UNDERGROUND
31. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW FOR 7 DAYS PROCESSING PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREETS+MAINTENANCE/HOME.HTM
32. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM HE AFFECTED PROPERTY OWNERS.

33. ANY WORK WITHIN THE CITY'S RIGHT OF WAY THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A RIGHT OF WAY USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURE MUST BE SUBMITTED AS PART OF THE RIGHT OF WAY USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT 704.432.1562.
34. CONSTRUCTION STAGING WITHIN CITY RIGHT OF WAY LASTING MORE THAN 30 DAYS REQUIRES A RIGHT OF WAY LEASE AGREEMENT. PLEASE SEE TRAFFIC CONTROL PLAN NOTES FOR DETAILS. CONTRACTOR SHALL CONTACT CDDOT AT 704.336.2562.
35. RIGHT OF WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DISAPPROVED BY THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDDOT AT (704) 336-2562



CONTACT INFORMATION

OWNER: _____
 PHILLIPS MALLARD CREEK, LLC
 CONTACT: MATT MURPHY
 ADDRESS: 142 WEST PLATT STREET
 TAMPA, FL 33602
 OWNER: 813-868-3100 FAX: 813-868-3102

ARCHITECT:
ANDRON ARCHITECTS
CONTACT: BOB ANDRON
ADDRESS: 11312 SADDLEVIEW CT.
RALEIGH, NC 27613
PHONE: 919-616-0405

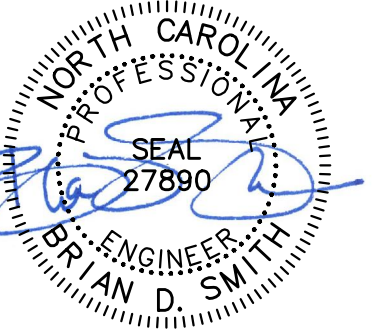
CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS
CONTACT: PAUL PENNELL, RLA
ADDRESS: 1318-E6 CENTRAL AVENUE
CHARLOTTE, NC 28205
PHONE: 704-334-3303 FAX: 704-334-3305

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318-e6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbanpartners.com
NCBELS Firm: P-0418



1.04.16

Phillips Mallard Creek, LLC

Matt Murphy
 1142 W Platt Street
 Tampa, FL 33606

The Villas at Mallard Creek

Phase 2 Cover Sheet

City of Charlotte, NC

NO.	DATE:	BY:	REVISIONS:
1	07.16.15	UDP	PER CITY COMMENTS
2	10.20.15	UDP	PER BLDG STND COMMENTS
3	11.12.15	UDP	PER CITY COMMENTS
4	11.30.15	UDP	PER CLT WATER COMMENTS
5	01.19.16	UDP	PER CITY COMMENTS
6	05.02.16	UDP	PER CITY COMMENTS
7	09.16.16	UDP	PER CITY COMMENTS
8	11.04.16	UDP	PER CITY COMMENTS

Project No: 13-008
Date: November 14, 2013

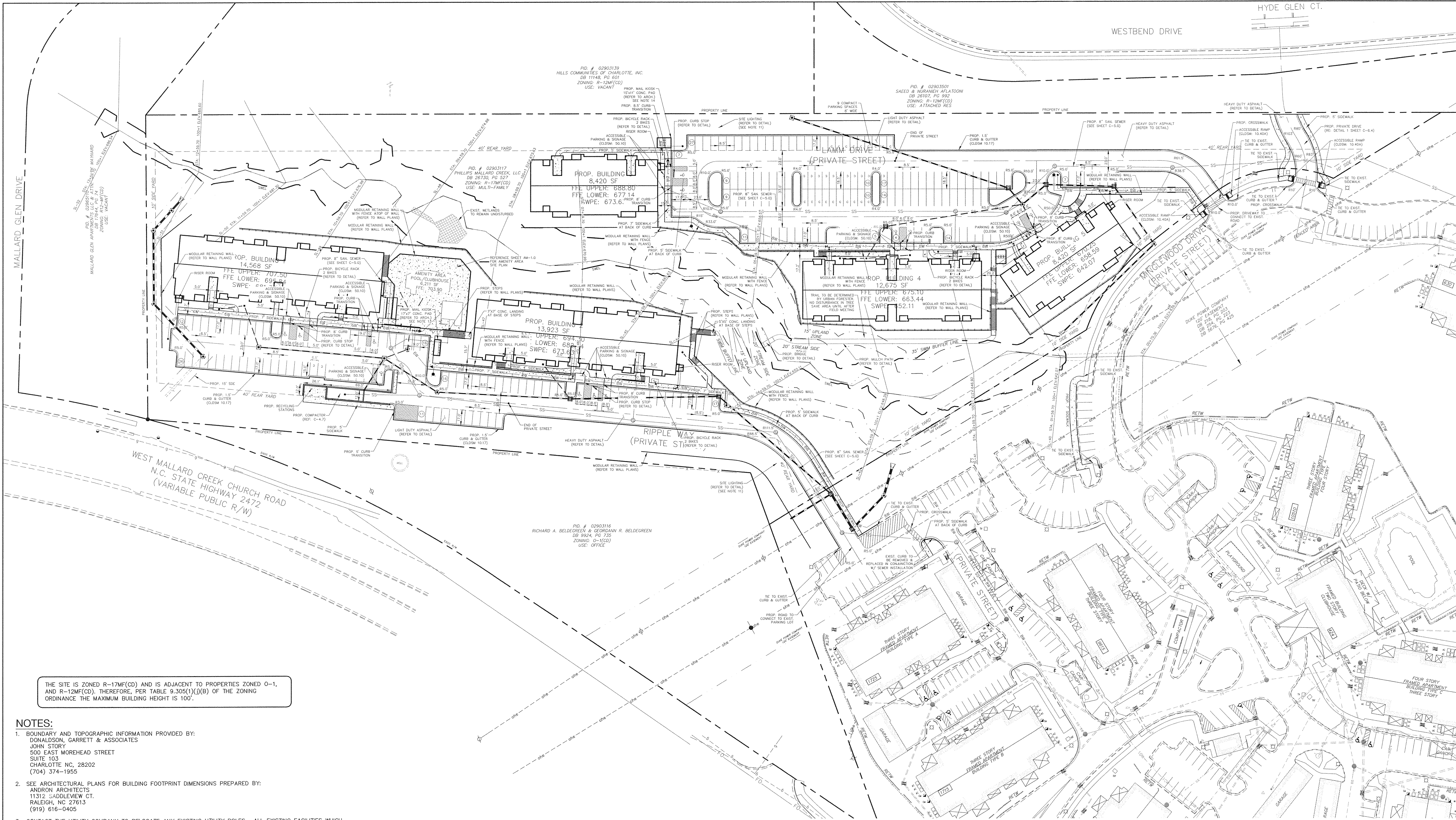
Designed by: udp

Scale: 1"=100'

SHEET NO:

Start

C-1.0



THE SITE IS ZONED R-17MF(CD) AND IS ADJACENT TO PROPERTIES ZONED O-1, AND R-12MF(CD). THEREFORE, PER TABLE 9.305(1)(b) OF THE ZONING ORDINANCE THE MAXIMUM BUILDING HEIGHT IS 100'.

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY: DONALDSON, GARRETT & ASSOCIATES
JOHN STORY
500 EAST MOREHEAD STREET
SUITE 103
CHARLOTTE NC, 28202
(704) 374-1955
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS PREPARED BY: ANDROM ARCHITECTS
11312 SADDLEVIEW CT.
RALEIGH, NC 27613
(919) 616-0405
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
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 - TRASH SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADI SHALL MEASURE 5' AT FACE OF CURB UNLESS OTHERWISE NOTED.
 - THIS DEVELOPMENT IS PHASE 2 OF AN EXISTING APARTMENT COMPLEX ON THE SAME PARCEL.
 - OPEN SPACE CALCULATION IS BASED ON ONLY PHASE 2 OF THE OVERALL DEVELOPMENT.
 - AN EXACT COMPLETION SCHEDULE HAS NOT YET BEEN DETERMINED, BUT IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETE BY JANUARY 2016.
 - ALL FREE STANDING LIGHTING SHALL BE CUT-OFF TYPE LIGHTING FIXTURES AND LIMITED TO 20 FEET IN HEIGHT.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
 - REFER TO AUTH-FLORENCE FOR CLUSTER MAILBOX UNITS SPECS FOR DIMENSIONS AND INSTALLATION. FIVE (5) MODEL 1570-13 CLUSTER UNITS, AND ONE (1) MODEL 1570-16 CLUSTER UNIT ARE TO BE INSTALLED.
 - REFER TO AUTH-FLORENCE FOR CLUSTER MAILBOX UNITS SPECS FOR DIMENSIONS AND INSTALLATION. EIGHT (8) MODEL 1570-13 CLUSTER UNITS ARE TO BE INSTALLED.

DEVELOPMENT SUMMARY

TAX PARCEL ID:	PORTION OF 029-031-17
TOTAL SITE AREA:	30.22 AC
PHASE 1	21.16 AC
PHASE 2:	9.06 AC
ZONING:	R-17MF(CD) 2005-127
SETBACKS:	
FRONT:	35' FROM EXTERNAL R.O.W.
SIDE:	10'
REAR:	40'
USE:	FOR RENT APARTMENTS
PHASE 1:	324 UNITS
PHASE 2:	179 UNITS
TOTAL:	503 UNITS
IMPERVIOUS AREA:	
PHASE 2:	3.72 AC

OPEN SPACE:	
PHASE 2:	
REQUIRED:	4.08 AC (45%)
PROVIDED:	5.34 AC (59%)
VEHICULAR PARKING:	
REQUIRED:	755 (1.5/UNIT * 503 UNITS)
EXISTING:	526 SPACES (PHASE 1)
REMOVED:	10
PROPOSED:	242 SPACES (PHASE 2)
TOTAL:	758 SPACES
COMPACT:	33 SPACES (14% OF NEW SPACES)
ACCESSIBLE PARKING	
REQUIRED:	15 SPACES (2% OF TOTAL)
PROVIDED:	40 SPACES
BICYCLE PARKING - PHASE 2:	
REQUIRED:	NONE
LONG-TERM:	9 (1 SPACE/20 UNITS)
SHORT-TERM:	10
PROVIDED:	

50% PARKING RULE:	
RIFFLE WAY:	462 LF - PARKING ALLOWED ON 231 LF 24 SPACES @ 8.5' = 204.00 LF (44%)
LAMM DRIVE:	389 LF - PARKING ALLOWED ON 195 LF 22 SPACES @ 8.5' = 187 LF (48%)
BUILDING SEPARATION:	16' MIN
BUILDING HEIGHT:	
MAXIMUM:	100' (PER TABLE 9.305(1)(b)), OR 5 STORIES PER APPROVED SPA
PROPOSED:	59.17'
SOLID WASTE:	
REQUIRED:	ALL SOLID WASTE TO BE PROVIDED BY PRIVATE SERVICE.
PROPOSED:	8 CU. YD. COMPACTOR/90 UNITS * 179 UNITS = 15.9 CU. YD. COMPACTOR 16 CU. YD. COMPACTOR
RECYCLING:	
REQUIRED:	432 SF
PROPOSED:	433 SF

SWPE = STORMWATER PROTECTION ELEVATION
SWEL = STORMWATER ELEVATION LINE

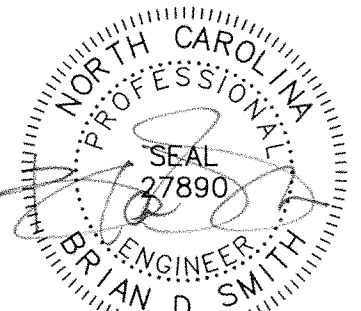


BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

GRAPHIC SCALE
50 0 25 50 100
1" = 50'

URBAN
DESIGN
PARTNERS

1318-e6 central ave. p. 704.334.3303
charlotte, nc 28205 f. 704.334.3305
urbandesignpartners.com
NCBELS Firm: P-0418



07.16.16

Phillips Mallard Creek, LLC

The Villas at Mallard Creek

Phase 2
Overall Site Plan

City of Charlotte, NC

NO.	DATE:	BY:	REVISIONS:
1	07/16/15	UDP	PER CITY COMMENTS
3	11/12/15	UDP	PER CITY COMMENTS
5	01/19/16	UDP	PER CITY COMMENTS
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Project No: 13-008
Date: November 14, 2013
Designed by: udp
Drawn by: udp
Scale: 1"=50'
Sheet No:
C-3.0