

Stafford Phase 3

Civil Construction Documents

City of Charlotte, North Caro

Prepared for: D.R. Horton, Inc



FINAL
APPROVAL

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

BY: Joshua Weaver 11-29-2016

APPROVED

By mchapman at 11:13 am, Nov 29, 2016

APPROVED

APPROVED

MERRICK
& COMPANY

1001 MOREHEAD SQUARE DRIVE, SUITE 150
CHARLOTTE, NC 28203 F-0088 PHONE 704.529.6500
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D-R Horton
America's Builder

8001 Arrowridge Boulevard
Charlotte, NC 28273

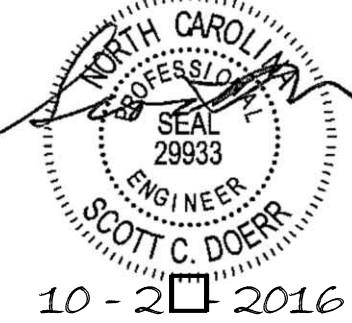
REVISIONS	DATE	BY	DESCRIPTION	CD	SCD
1	10/28/16	JAM	Addressed City LD comments	10/28/16	JAM

DESIGN BY:	DATE:	DESIGN BY:	DATE:
JAM	04/25/16	JAM	04/25/16
DRAWN BY:	DATE:	DRAWN BY:	DATE:
JAM	04/25/16	JAM	04/25/16
CHECKED BY:	DATE:	CHECKED BY:	DATE:
JAM	04/25/16	JAM	04/25/16
APPROVED BY:	DATE:	APPROVED BY:	DATE:
SCD	04/25/16	SCD	04/25/16

Stafford Phase 3

Charlotte, North Carolina

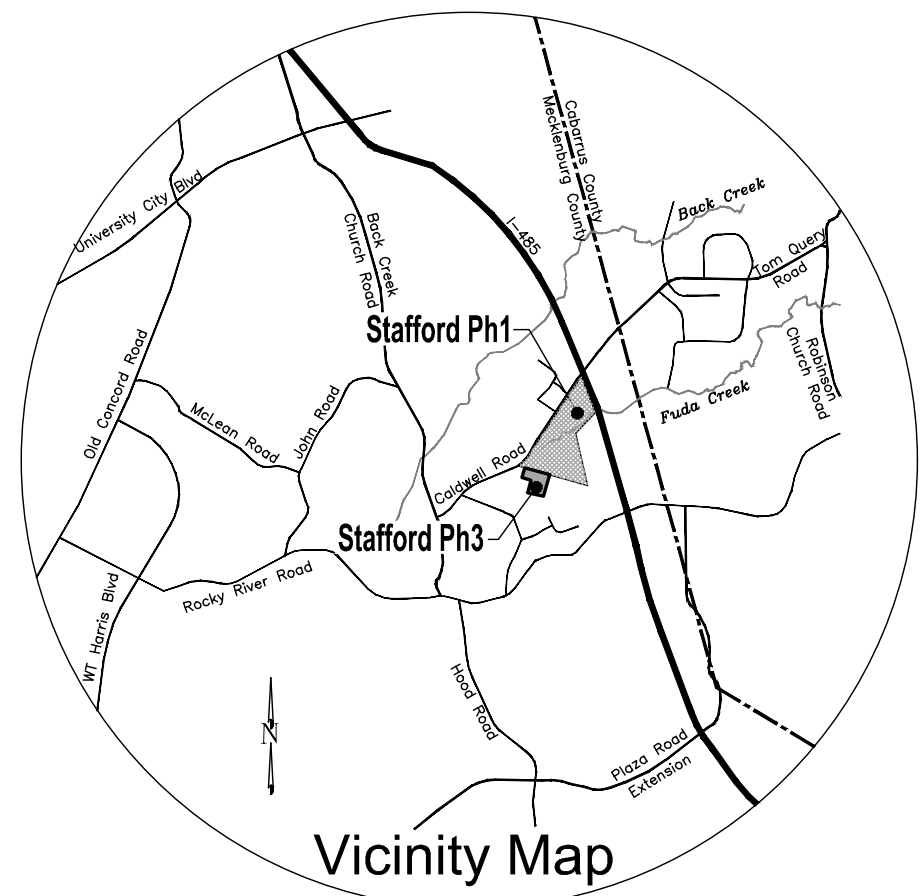
Cover Sheet



JOB NO: 65118716-05

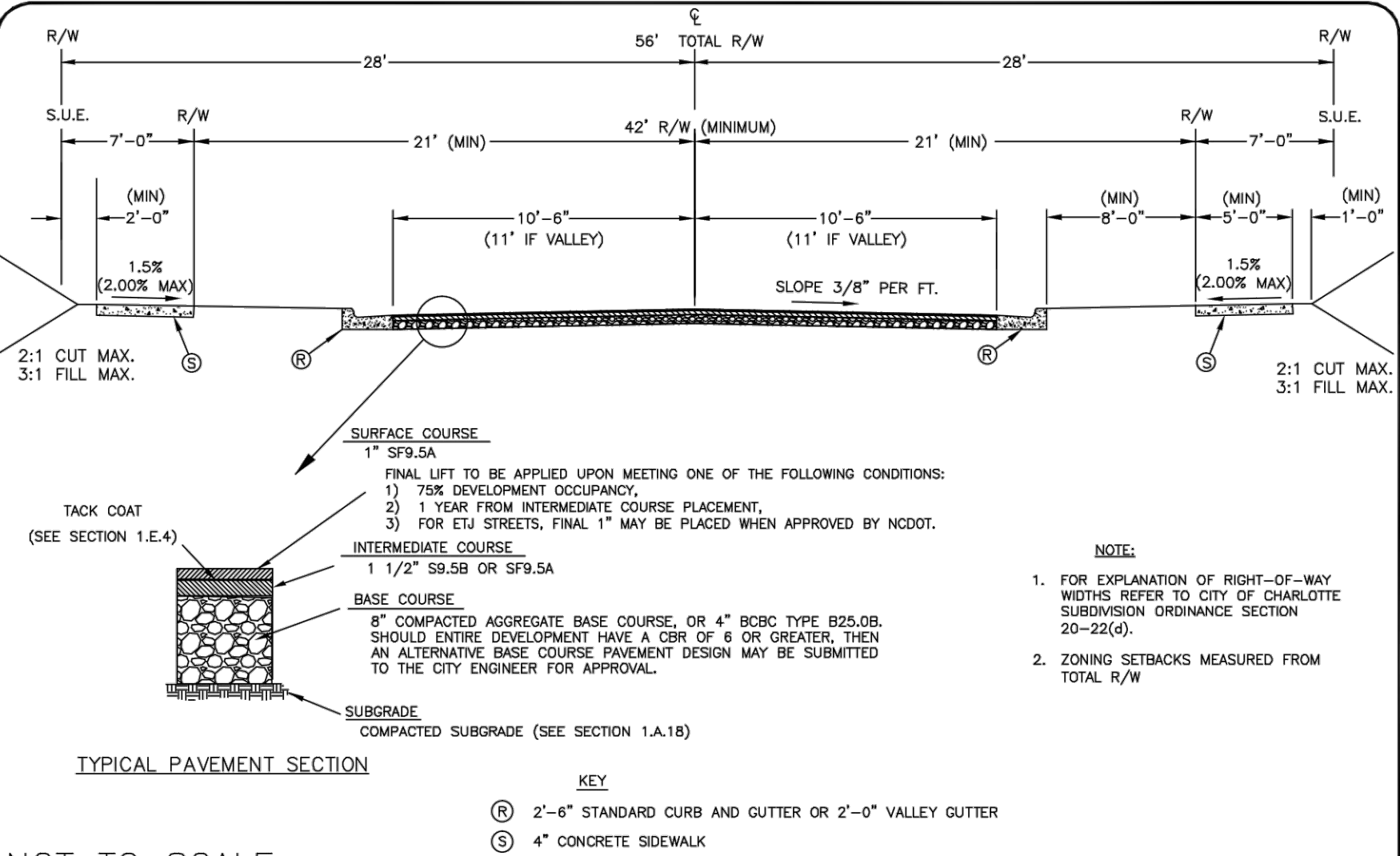
DATE: 04/25/2016

SHEET C100

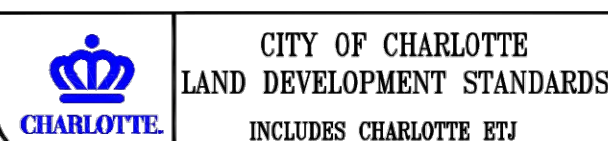


PCCO SUMMARY

Original Parcel ID Number(s):	105-181-34
Development Type:	Single-Family
Subject to PCCO? Y/N	Y
If NO, why?	-- Click for Dropdown --
Watershed:	Back
Disturbed Area (ac):	6.68
Site Area (ac):	6.68
DA#1-Sand Filter #1	
Total on-site Drainage Area (ac):	7.55
Existing Built-upon-area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	108,520
Proposed % BUA:	33
Density (High / Low)	High
Total Post-Project BUA for site:	2.49 ac
Development or Redevelopment?	Development
Natural Area Required (ac):	1.17
Natural Area provided, total (ac):	1.17 (with Phase 1 tree save)
Undisturbed Treed Natural Area Preserved (ac):	0
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

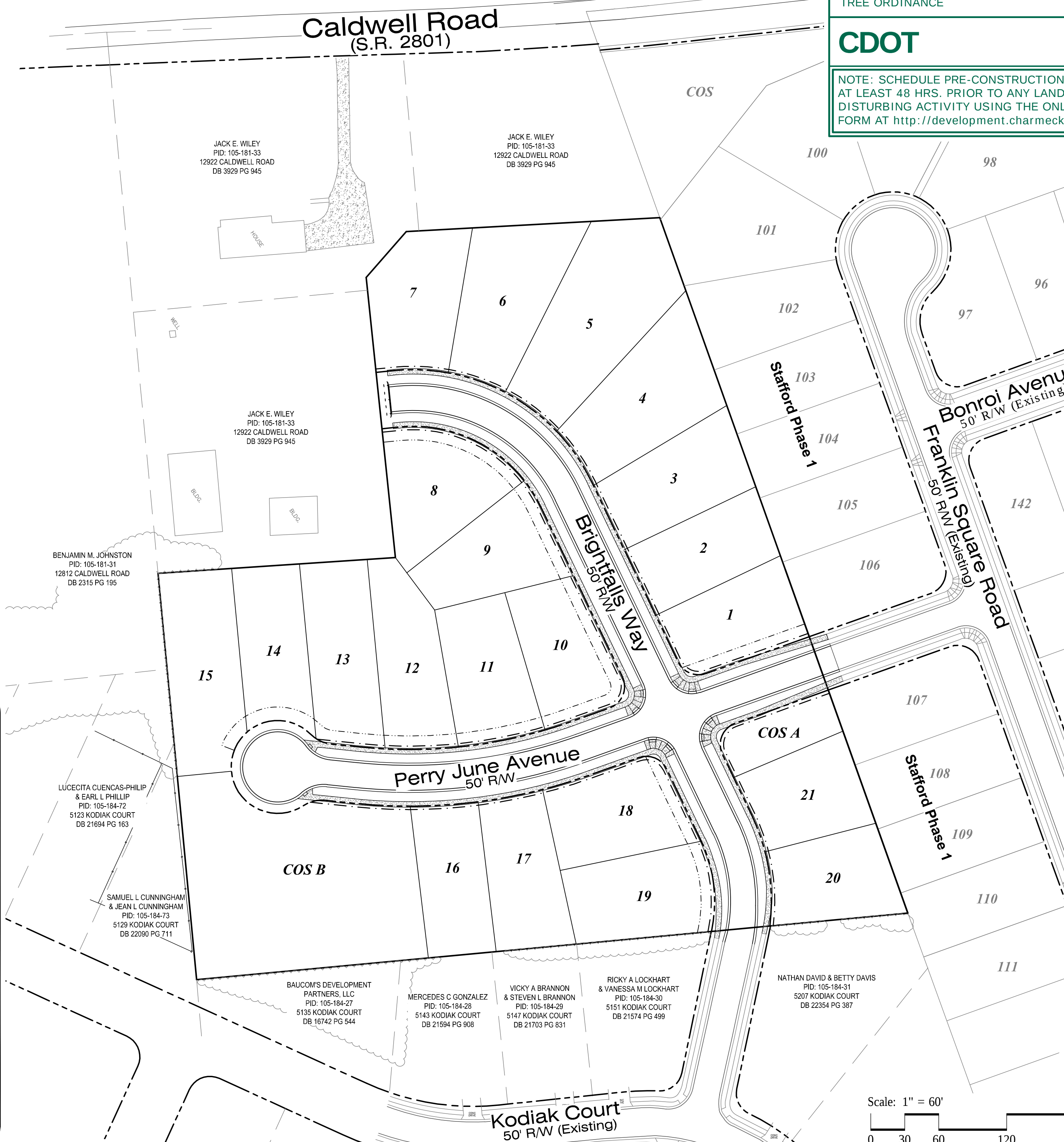


NOT TO SCALE



LOCAL RESIDENTIAL MEDIUM STREET
TYPICAL SECTION

SHEET NO. 13
REV. U-02



Sheet Index

Sheet	Description	Last Issue
C100	Cover Sheet	10/28/16
C101	General Notes & Specifications	10/28/16
--	Boundary Survey	
C201	Site Plan	10/28/16
C202	Planting Plan	10/28/16
C301	Initial Erosion Control Plan	10/28/16
C302	Final Erosion Control Plan	10/28/16
C401	Grading & Drainage Plan	10/28/16
C402	Sand Filter #1 Plan & Details	10/28/16
C403	Drainage Area Map	10/28/16
C501	Perry June Avenue Plan & Profile	10/28/16
C502	Brightfalls Way Plan & Profile	10/28/16
C601	Construction Details	04/25/16
C602	Construction Details	10/28/16
C603	Construction Details	04/25/16
C604	Construction Details	04/25/16
C605	Construction Details	04/25/16

Project Information

Address:	12938 Caldwell Road Charlotte, NC 28213
Tax Parcel Numbers:	105-181-34
Zoning Classification:	R-3 (Cluster provisions used with tree save incentive)
Environmental:	Back Creek Watershed

Contact Information

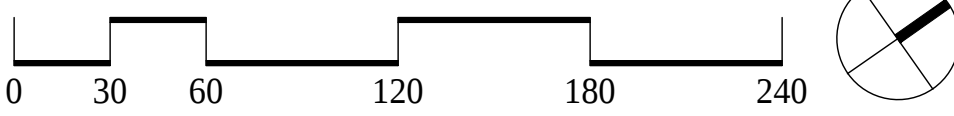
Developer

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8001 Arrowridge Boulevard
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djhughes@drhorton.com

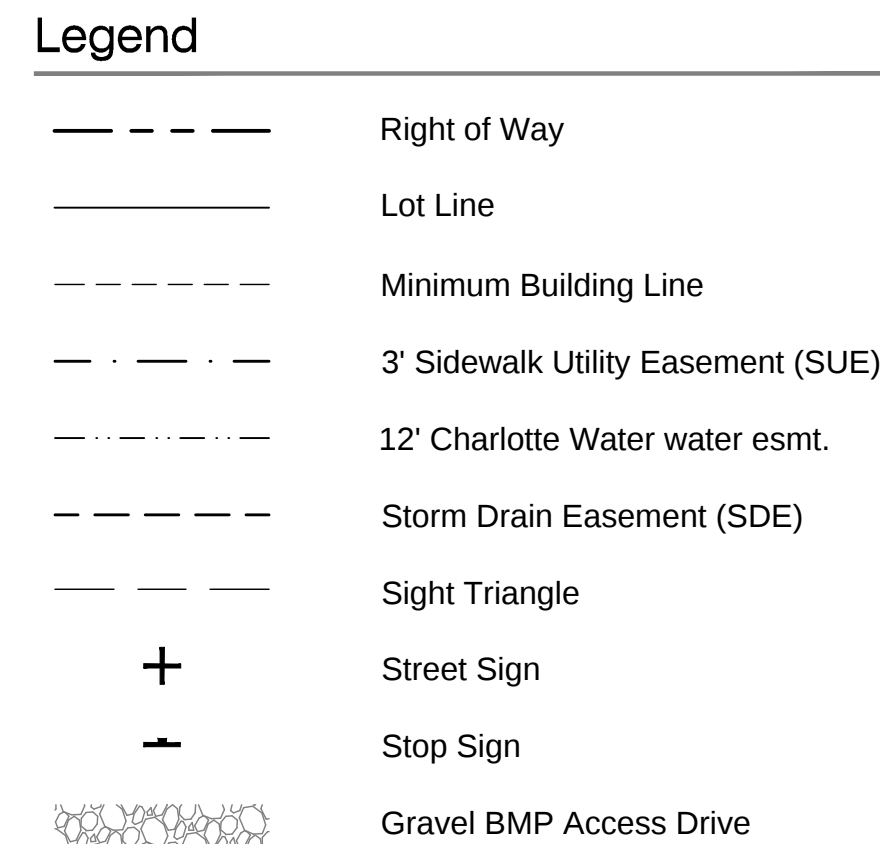
Engineer

Scott C. Doerr, PE
Merrick & Company
1001 Morehead Square Drive
Charlotte, NC 28203
(704) 529-6500 /office
scott.doerr@merrick.com

Scale: 1" = 60'



Know what's below.
Call before you dig.



Zoning: R-3 (Cluster) with tree save incentive
Tax Parcel: 105-181-34
Total Site Area-
Phase 1: 94.27 ac.
Phase 3: 6.68 ac.
100.95 ac.

Minimum Setback:	20'
	23' (from R/W) with 3' SUE
Minimum Side Yard:	5' internal/ 6' external
	13' corner (from R/W) with 3' SUE
Minimum Rear Yard:	30' (internal)
Minimum Rear Yard:	45' (external)
Minimum Lot Width:	60'
Minimum Lot Size:	8,000 SF

Tree Save Required-
Phase 1 & Phase 3: 10.10 (10%)

Tree Save Provided (See approved Stafford Plans sealed 11/17/15)-

Phase 1:	11.41 ac. (12.1%)
<u>Phase 3:</u>	<u>0.00 ac. (0%)</u>
Total:	11.41 ac. (11.3%)

Tree Save in Common Open Space: 11.41 ac. (11.3%)
Total Common Open Space (COS)-
Phase 1: 16.88 ac. (17.9%)
Phase 3: 0.81 ac. (12.1%)

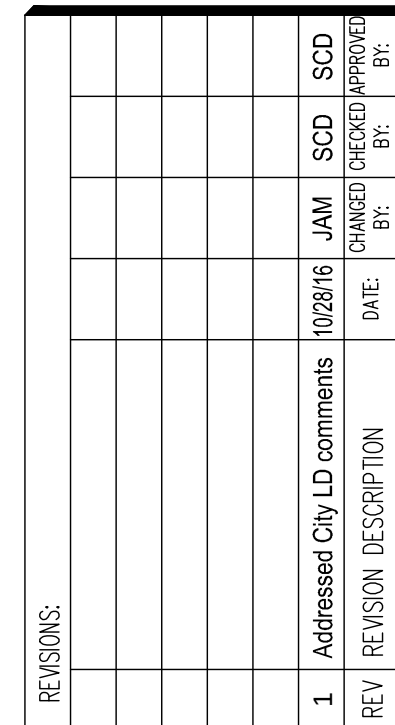
Natural Area (24% < BUA < 50%)-
Phase 3 Required: 1.17 ac. (17.5% site area)
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Total Number of Lots:	275
Phase 1 Lots:	254
70' Lots (A):	99
60' Lots (B):	155
<u>Phase 3 Lots:</u>	<u>21</u>
60' Lots (B):	21

Number of Lots Allowed: 336 (Stafford Phase 1 & Phase 3)
(100.95 ac. x 3) + (11.41 ac. x 3)
usable site ac. tree save incentive

Maximum Building Coverage Per Lot-
35% (8,501 to 15,000 SF lots)
40% (6,501 to 8,500 SF lots)

1. 20' radius at R/W for local streets.
2. 20' radius at B/C for local streets.
3. ADA accessible ramp, CLDSM detail 10.33A-B.
4. Sight triangle, 35'x35' at all interior intersections.
5. "Local Residential Medium Street Typical Section," CLDSM detail U-02.
6. Cul-de-sac, CLDSM detail 11.16.
7. Drawing CAD file is available for upon request for staking information.



DESIGN BY:	JAM	DATE:	04/25/16
DRAWN BY:	JAM		04/25/16
CHECKED BY:	JBM		04/25/16
APPROVED BY:	SCD		04/25/16

Stafford Phase 3

Charlotte, North Carolina

Site Plan



JOB NO: 65118716-05
DATE: 04/25/2016
SHEET C201