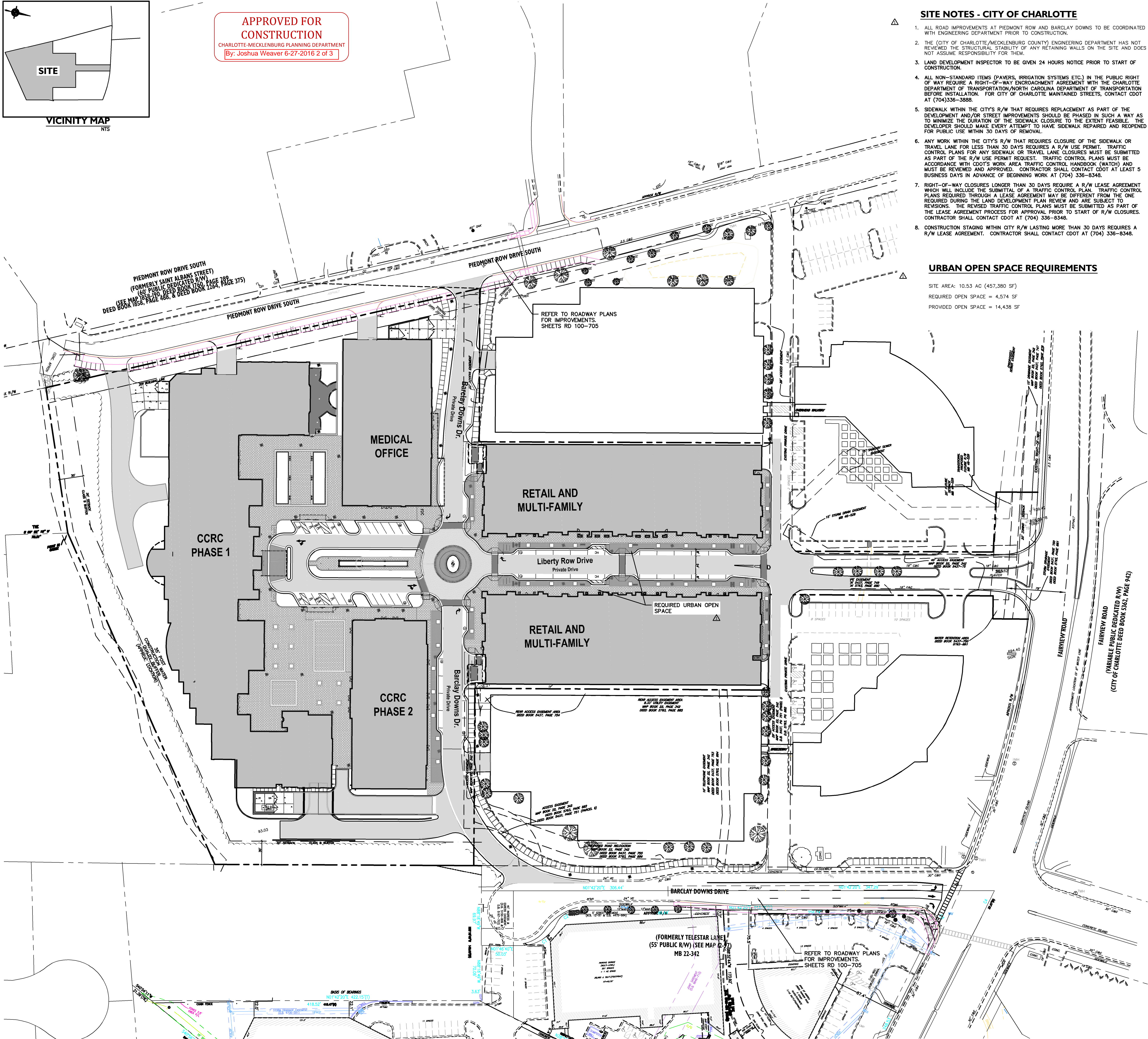


APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 6-27-2016 2 of 3



SITE NOTES - CITY OF CHARLOTTE

- ALL ROAD IMPROVEMENTS AT PIEDMONT ROW AND BARCLAY DOWNS TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL NON-STANDARD ITEMS (PAVERS, IRRIGATION SYSTEMS ETC.) IN THE PUBLIC RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704)336-3888.
- SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE. TO THE EXTENT FEASIBLE, THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING WORK AT (704) 336-8348.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.

URBAN OPEN SPACE REQUIREMENTS

SITE AREA: 10.53 AC (457,380 SF)
REQUIRED OPEN SPACE = 4,574 SF
PROVIDED OPEN SPACE = 14,438 SF

ZONING CODE SUMMARY

PROJECT NAME: LIBERTY CHARLOTTE SOUTH PARK
OWNER: SELAF FAIRVIEW, LLC PHONE # N/A
PLANS PREPARED BY: BENESCH PHONE # 704-521-9880
ZONING: MUDD-O JURISDICTION: CHARLOTTE ETJ
PROPOSED USE: MEDICAL OFFICE, RETAIL, RESIDENTIAL TAX PARCEL # 017901183
BUILDING HEIGHT: 185 (MAX) Feet, Stories: 14
BUILDING COVERAGE: 197,000 Sq. Ft.
LOT SIZE: 10.53 Sq. Ft./Acres

YARD REQUIREMENTS:

Setback (Front): 20' Ft. from R/W, N/A Ft. from C/L of R/W
Side Yard (L): 14 Ft. Side Yard (R): 14 Ft.
Rear Yard: 10 Ft.

REQUIRED BUFFERS:

Front: NO / YES 30' Ft. Rear: NO / YES 30' Ft.
Side (L): NO / YES 30' Ft. Side (R): NO / YES 30' Ft.

REQUIRED SCREENING:

Front: NO / YES Rear: NO / YES
Side (L): NO / YES Side (R): NO / YES
Parking Only: NO / YES

PAVEMENT COVERAGE: 143,203.6 Sq. Ft. / Acres

PARKING DATA: (specify requirement)

VEHICLE PARKING DATA:

RETAIL/RESTAURANT/MEDICAL OFFICE: 1/600 SF:

SHORT TERM: 5% OF 792 SPACE = 39 SPACES

LONG TERM: 1/10,000 SF = 75,000 SF/10,000 = 7.5 SPACES

TOTAL # OF SPACES REQUIRED= 46.5 SPACES

TOTAL # OF SPACES PROVIDED= 1,030 SPACES

BICYCLE PARKING DATA:

SHORT TERM: 5% OF 792 SPACE = 39 BIKES

LONG TERM: 1/10,000 SF = 75,000 SF/10,000 = 7.5 BIKES

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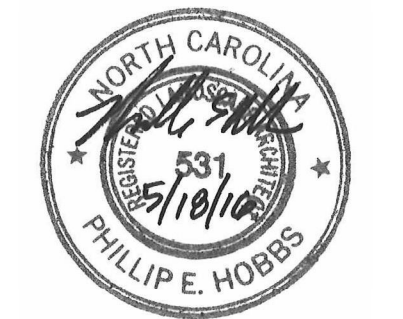
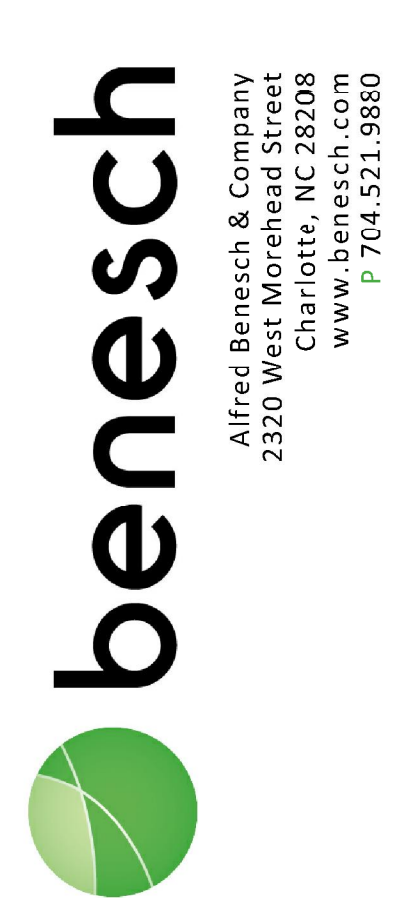
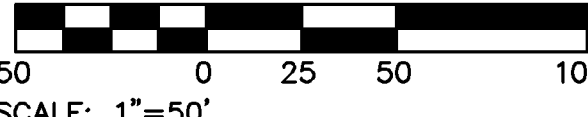
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LEGEND

EXISTING SIGN	== == == ==	EXISTING CURB AND GUTTER
PROPOSED SIGN	== == == ==	PROPOSED CURB AND GUTTER
EXISTING IRON PIN	== == == ==	PROPERTY LINE
EXISTING LIGHT POLE	== == == ==	EXISTING FENCE
EXISTING UTILITY POLE	== == == ==	PROPOSED FENCE
R/W	== == == ==	EXISTING OVERHEAD UTILITY LINE
RIGHT-OF-WAY	== == == ==	STANDARD DUTY ASPHALT PAVEMENT
ACCESSIBLE SPACE	== == == ==	HEAVY DUTY ASPHALT PAVEMENT
EXISTING TREE TO REMAIN	== == == ==	VEHICULAR CONCRETE PAVEMENT
EXISTING FIRE HYDRANT	== == == ==	ACCESSIBLE RAMP
# OF PARKING SPACES	== == == ==	
CENTERLINE	== == == ==	



Corp. NC License: F-1320

Liberty Charlotte South Park
6010 Fairview Road
Charlotte, North Carolina

Project No: 17.000048

Date: 04.12.16

Revisions:

Per City Comments 04.12.16

Per City Comments 05.16.16

Sheet Title:

Overall Site Plan

Sheet No:

C-200