

FINAL
APPROVAL

<http://development.charmeck.org>

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

APPROVED

By Brendan Smith at 9:38 am, Jan 25, 2016

APPROVED

APPROVED

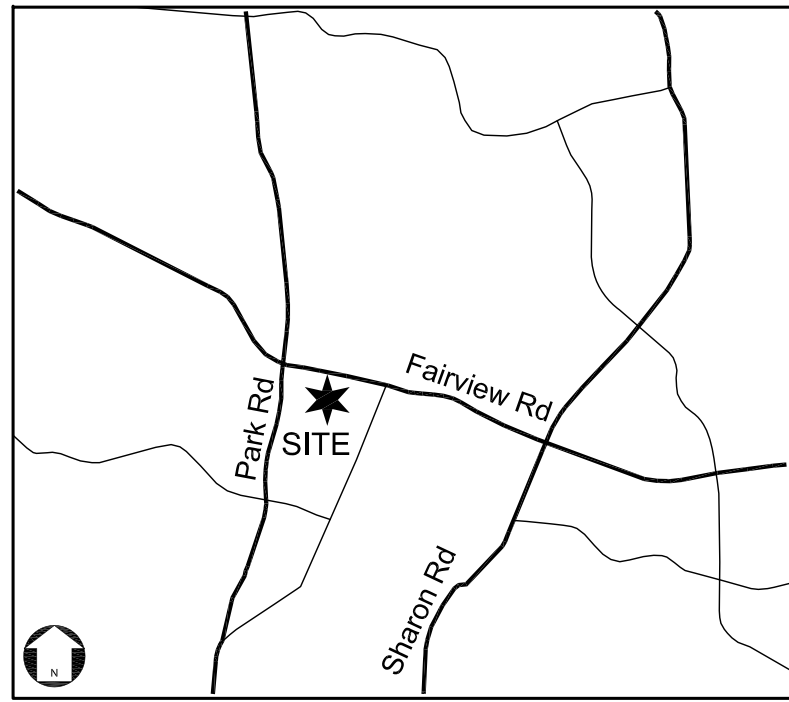
APPROVED

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
[By Brent Wilkinson 1/29/16]

PCCO SUMMARY

| | | |
|--|--------------------------|-------|
| Original Parcel ID Number(s): | 17125101-17125104 | |
| Development Type: | Single-Family | |
| Subject to PCCO? Y/N | Y | |
| If NO, why? | -- Click for Dropdown -- | |
| Watershed: | Central Catawba | |
| Disturbed Area (ac): | 2.4 | |
| Site Area (ac): | 2.47 | |
| | DA#1 | DA#2 |
| Total on-site Drainage Area (ac): | 1.1 | 0.74 |
| Existing Built-upon-area (SF): | 20,668 | |
| Existing BUA to be removed (SF): | 20,668 | |
| Existing BUA to remain (SF): | 0 | |
| Proposed New BUA (SF): | 39,182 | 25198 |
| Proposed % BUA: | 81 | 78 |
| Density (High / Low) | High | |
| Total Post-Project BUA for site: | 64,380 | |
| Development or Redevelopment? | Development | |
| Natural Area Required (ac):10% | | 10768 |
| Natural Area provided, total (ac): | | 10768 |
| Undisturbed Treed Natural Area Preserved (ac): | | 10768 |
| Total stream buffer protected on-site (ac): | 0 | |
| Transit Station Area? Y/N | N | |
| Distressed Business District? Y/N | N | |
| Mitigation Type (if applicable) | N/A | |
| Natural Area mitigation? Y/N | N | |
| Buffer Mitigation? Y/N | N | |
| Total Phosphorous Mitigation? Y/N | N | |



VICINITY MAP
NOT TO SCALE

South Park City Homes

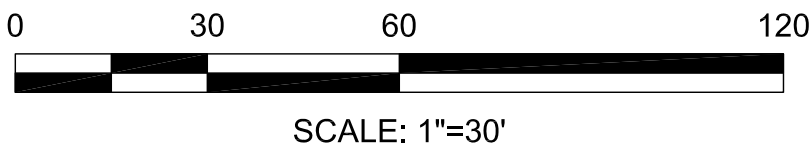
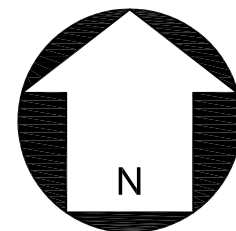
| Sheet Number | Sheet Title |
|--------------|---|
| L-COV | COVER SHEET |
| 1 of 1 | TOPOGRAPHIC SURVEY |
| L-100 | EXISTING CONDITIONS & DEMOLITION PLAN |
| L-101 | SITE PLAN |
| L-101A | PRIVATE OPEN SPACE PLAN |
| L-102 | OVERHEAD UTILITY PLAN |
| L-103 | LANDSCAPE PLAN |
| L-200 | GRADING PLAN |
| L-201 | DRAINAGE AREA PLAN |
| L-300 | WATER QUALITY PLAN |
| L-301 | SAND FILTER #1 DETAILS |
| L-302 | SAND FILTER #2 DETAILS |
| L-400 | EROSION CONTROL PLAN - PHASE I |
| L-401 | EROSION CONTROL PLAN - PHASE II |
| L-500 | DETAILS |
| L-501 | DETAILS |
| L-502 | DETAILS |
| L-600 | FAIRVIEW RD. TRAFFIC CONTROL PLAN & NOTES |
| L-601 | CLOSEBURN ROAD TRAFFIC CONTROL PLAN |
| L-602 | ISD - ENTRANCE 1 & FAIRVIEW |
| L-603 | ISD - ENTRANCE 2 & CLOSEBURN |
| L-700 | UTILITY PLAN |

**Appendix - South Park City Homes
Rezoning Petition**

| Sheet Number | Sheet Title |
|--------------|----------------------|
| RZ-1 | TECHNICAL DATA SHEET |
| RZ-2 | SCHEMATIC SITE PLAN |
| RZ-3 | BUILDING ELEVATIONS |

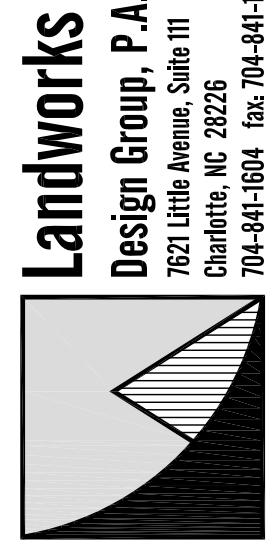
NOTE:

THE SITE PLAN SHOWN ON THE COVER IS FOR
GENERAL REFERENCE. SEE SHEET L-101 FOR
ADDITIONAL SITE DATA AND PLAN INFORMATION.



SCALE: 1"=30'

| No. | Date | By | Description |
|-----|----------|-----|--------------------------|
| 1. | 12/16/15 | MEA | PER CITY REVIEW COMMENTS |
| 2. | 1/25/16 | MEA | PER CITY REVIEW COMMENTS |



SOUTHPARK CITY HOMES
5620 FAIRVIEW ROAD
CHARLOTTE, NC
SARATOGA SOUTHPARK VENTURES, LLC

**COVER
SHEET**

seals



Project Manager: MDL

Drawn By: MEA

Checked By: SSW

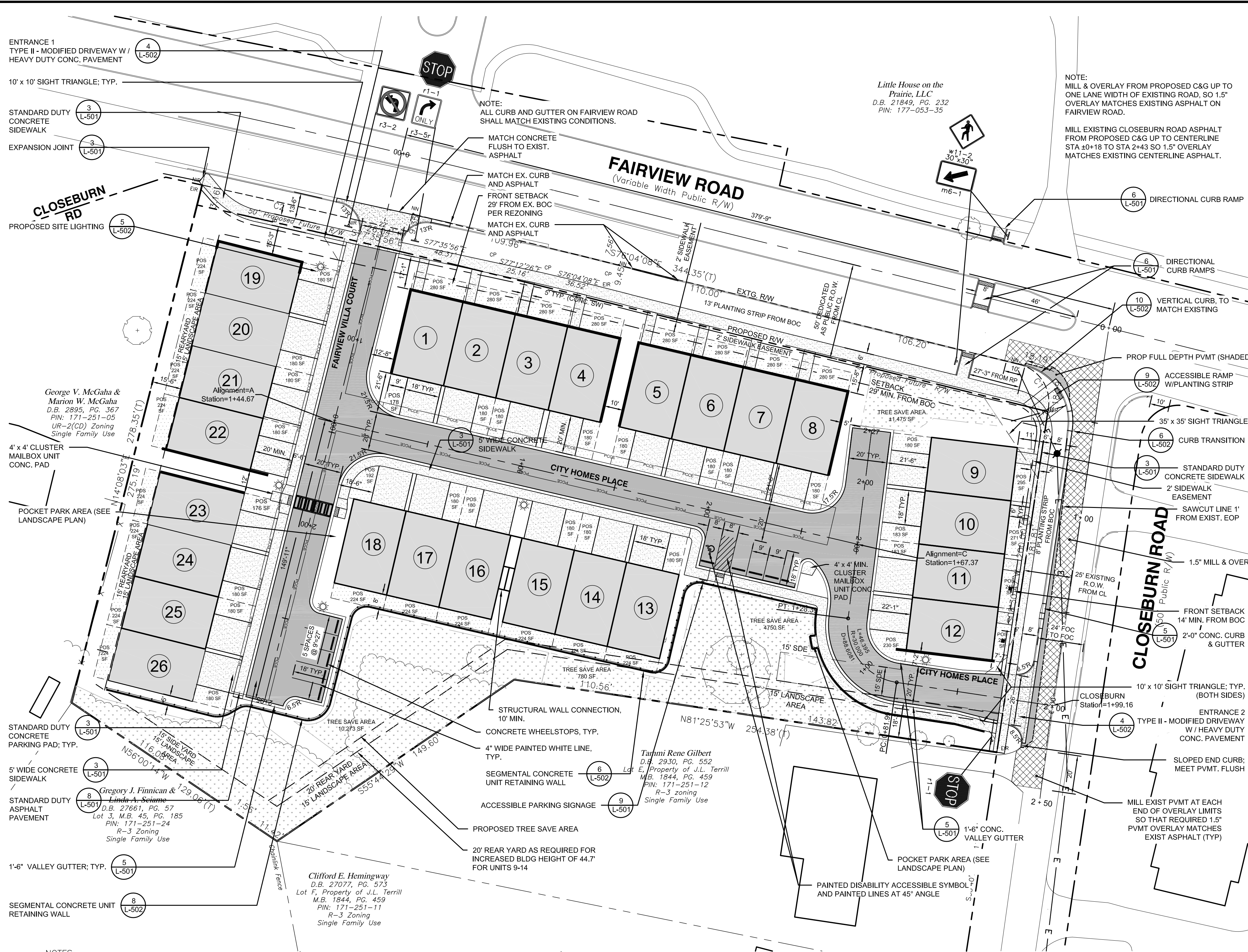
Date: 10-23-15

Project Number: 15028

Sheet Number:

L-COV

SHEET # 1 OF 26



NOTES:

- DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
- DITCH TYPE STREET REQUIRES APPROVAL OF CITY ENGINEER.
- MINIMUM CURB RADIUS ON INTERIOR DRIVES AND PARKING AREAS IS 10'.
- THIS DETAIL IS NOT TO BE USED TO MEET INTERNAL/EXTERNAL CONNECTIVITY REQUIREMENTS OF THE SUBDIVISION ORDINANCE AND ZONING ORDINANCE.

GUIDELINES FOR PRIVATE STREET DESIGN:

- INTERNAL STREET ALIGNMENT:
MAXIMUM GRADE: 10%
MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAG)
MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
- INTERSECTION WITH PUBLIC STREET:
SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION 18.2.
5% MAXIMUM GRADE WITHIN 40 FEET OF PUBLIC STREET INTERSECTION BEGINNING FROM EDGE OF PAVEMENT LINE.

NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.

PAVEMENT SCHEDULE

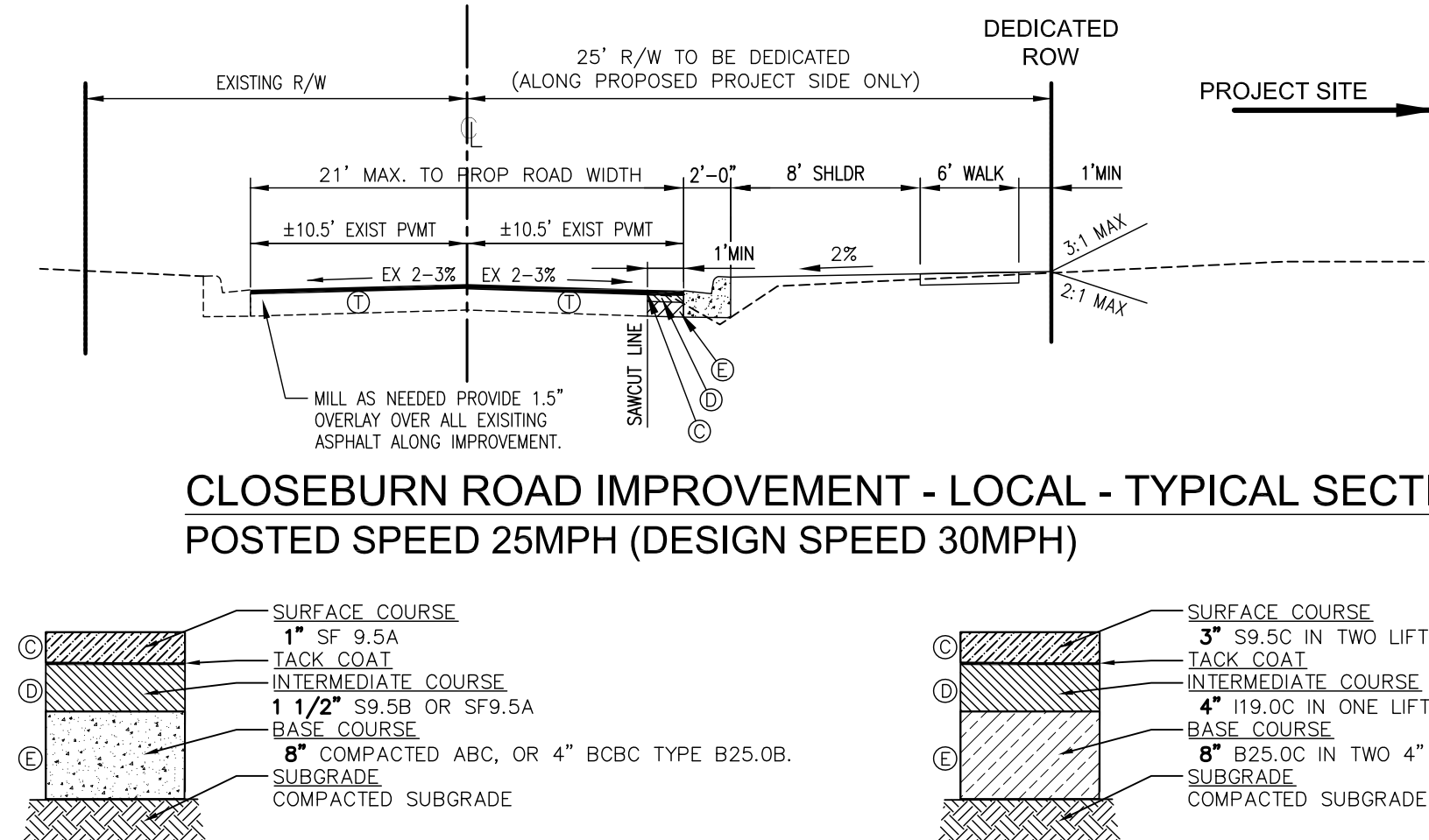
- 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A
OR 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE I-2.
6" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B
OR 4" BCBC TYPE HB.
CURB AND GUTTER (REFERENCE 10.17A AND B)

PRIVATE STREET TYPICAL SECTIONS

L-101

NOT TO SCALE

CLDSM #11.13

CLOSEBURN ROAD IMPROVEMENT - LOCAL - TYPICAL SECTION
POSTED SPEED 25MPH (DESIGN SPEED 30MPH)CLOSEBURN ROAD
TYPICAL PAVEMENT SECTION FOR
ROADWAY IMPROVEMENTSEE CDOT STANDARD SPECIFICATIONS
FOR MORE INFORMATION REGARDING SUPERPAVEFAIRVIEW ROAD
TYPICAL PAVEMENT SECTION FOR
ROADWAY IMPROVEMENTSEE CDOT STANDARD SPECIFICATIONS
FOR MORE INFORMATION REGARDING SUPERPAVE

GENERAL NOTES

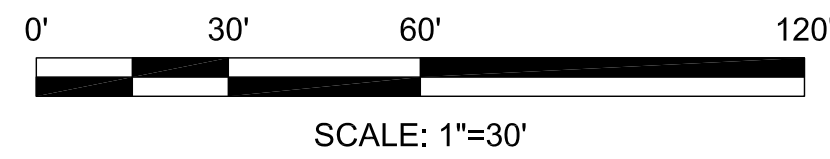
- BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY BY: R.B. PHARR & ASSOCIATES, P.A., 420 HAWTHORNE LANE, CHARLOTTE, NC 28204, TELE.: 704.376.2186 DATED: FEBRUARY 5, 2014.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. IN ROLLING AND HILY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT OF WAY.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A R/W PLAT AND WAY ENROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3688.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR APPROXIMATE TIME OF ESTIMATED COMPLETION OF INFRASTRUCTURE: 6 MONTHS
- TRASH WILL BE HANDLED WITH ROLL-OUT CONTAINERS, TO BE SET IN THE PLANTING STRIP IN PUBLIC R.O.W. FOR DISPOSAL.
- ALL ROAD IMPROVEMENTS AT FAIRVIEW AND CLOSEBURN ARE TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD CONDITIONS.
- PRIOR TO CO, SURVEYOR SEALED AS BUILT DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL UTILITIES WILL BE UNDERGROUND
- TOWNHOMES WILL BE 3-STORY MAX.
- ALL ALLEYS WILL BE CAPABLE OF SUPPORTING 80,000 POUNDS SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.
- PARKING SHALL NOT BE PERMITTED ON RESIDENTIAL ALLEYS EXCEPT WHERE INDICATED.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY).
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60 - 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST.
- TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO CDOT AT (704) 336-2562.
- DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

DEVELOPMENT DATA:

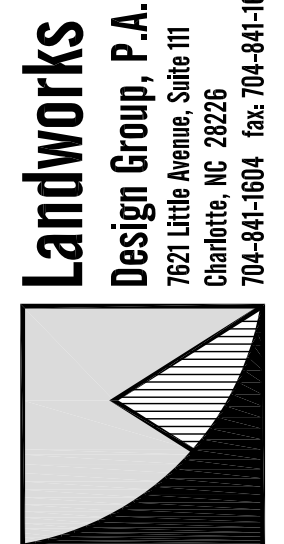
| | |
|---|---|
| TAX PARCEL ID: | 171-251-01, 02, 03 AND 04 |
| EXISTING SITE AREA: | ±2.60 ACRES |
| EXISTING ZONING: | UR-2(CD) |
| ZONING PETITION: | 2014-075 |
| JURISDICTION: | City of Charlotte |
| PROPOSED R/W DEDICATION: | 0.13 AC (To be dedicated and conveyed to the City of Charlotte) Single-Family attached (For Sale) |
| PROPOSED USE: | 22 Units |
| DENSITY PROPOSED: | 8.5 UNITS / AC |
| SETBACK: | 29' from BOC (FAIRVIEW) 14' from BOC (CLOSEBURN) 15' 15' & 20' ADJACENT TO R-3 |
| BUILDING SIDE YARD: | 15' |
| BUILDING REAR YARD: | 15' |
| MAX. BUILDING HEIGHT: | 3 Stories or 45' |
| PROPOSED BUILDING HEIGHT: | 44'-7.5' Max. PER TABLE 9.406(2)(A) OF THE ZONING ORDINANCE, ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY ADDITIONAL TWO FEET IN DISTANCE THE PORTION OF THE BUILDING IS FROM THE REQUIRED SETBACK, SIDE, AND REAR YARD LINES LOCATED ALONG ALL BOUNDARY(S) ADJACENT TO A SINGLE FAMILY ZONING DISTRICT. |
| PARKING REQUIRED: | Max. = 3 Per Unit |
| PARKING PROVIDED: | 2 car attached garage at each unit, plus 10 visitor spaces Total= 62 |
| TREE SAVE REQUIRED: | 36 Trees/Ac |
| (Less than 15% of Site has existing trees) | |
| 2.47 Ac X 15% = .37 Ac x 36 = 13 trees required | |
| Undisturbed open space: | |
| Required: ±0.26 acres | |
| 10% of the project area (>50% bua) | |
| Provided: ±0.30 acres | |
| MAX. FLOOR RATIO AREA: | 1.0 |
| PROP. FLOOR AREA RATIO: | .9 |
| WASTE MANAGEMENT: | ROLL-OUT CONTAINER |
| BUILDING SEPARATION: | MIN. 10' |
| PROJECT TIMELINE: | |
| COMPLETE CONSTRUCTION: | DEC. 2017 |

LEGEND

| | |
|--|--|
| | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | PROPOSED STANDARD DUTY CONCRETE PAVEMENT |
| | PROPOSED HEAVY DUTY CONCRETE PAVEMENT |
| | PROPOSED TREE SAVE AREA |
| | PROPERTY LINE |
| | RIGHT-OF-WAY |
| | PROPOSED EASEMENT |
| | ROAD CENTERLINE |
| | ALUMINUM FENCE |
| | PRIVATE OPEN SPACE |
| | PROPOSED SITE LIGHTING (15' HT. MAX.) |



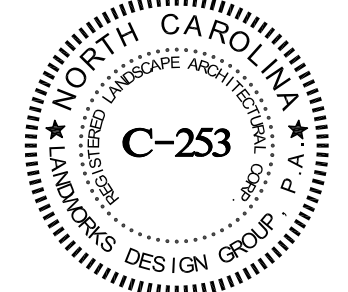
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| 1. | 12/16/15 | MEA | PER CITY REVIEW COMMENTS |
| 2 | 1/18/16 | PGJ | PER CITY REVIEW COMMENTS |
| 3 | 1/25/16 | MEA | PER CITY REVIEW COMMENTS |



SOUTHPARK CITY HOMES
5620 FAIRVIEW ROAD
CHARLOTTE, NC
SARATOGA SOUTHPARK VENTURES, LLC

SITE PLAN

seals



Project Manager: MDL

Drawn By: MEA

Checked By: SSW

Date: 10-23-15

Project Number: 15028

Sheet Number:

L-101