

SEVEN OAKS

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

APPROVED

By mchapman at 10:14 am, Jun 28, 2016

APPROVED

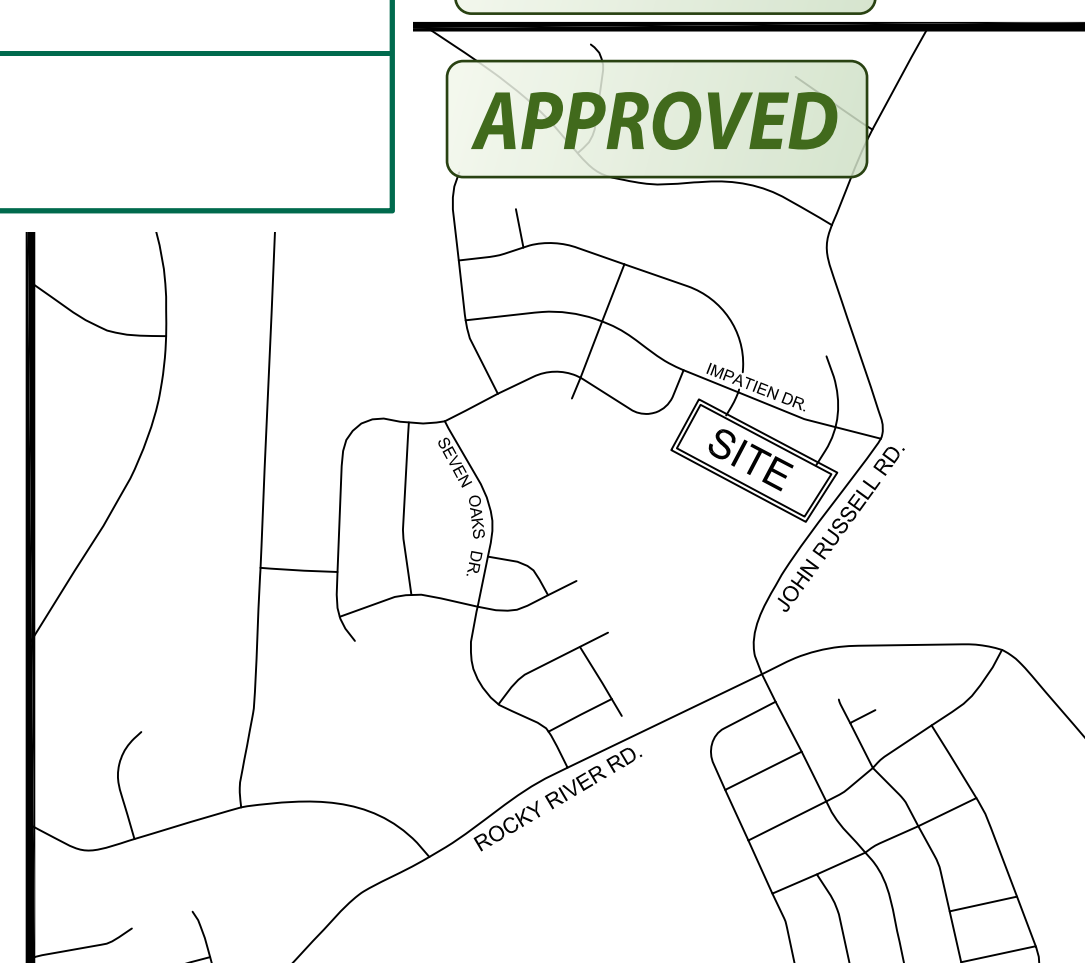
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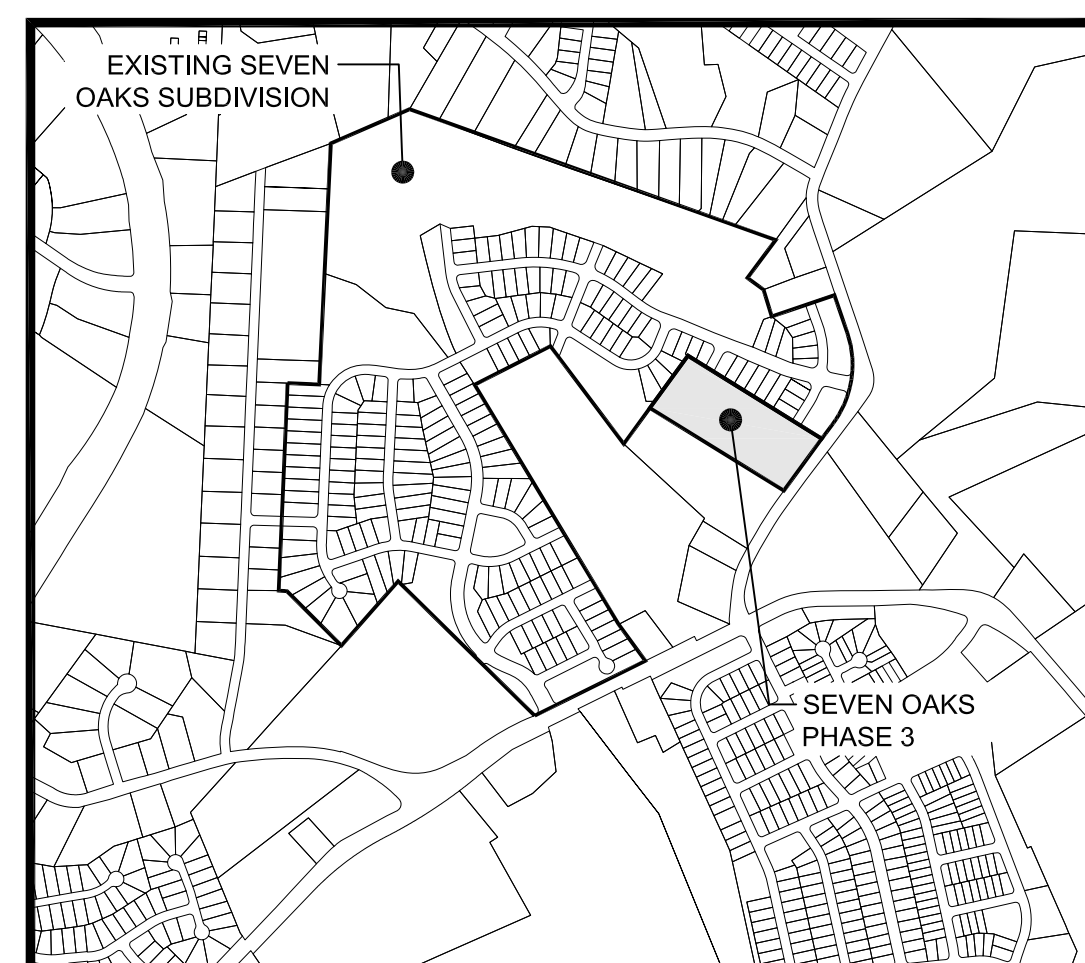
APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 7-5-2016



LOCATION MAP - NOT TO SCALE



OVERALL DEVELOPMENT SITE MAP - NOT TO SCALE

PHASE 3

DEVELOPMENT PLANS

City of Charlotte
Mecklenburg County
North Carolina
Date: June 2, 2016

APPLICANT

True Homes
2649 Brekonridge Center Dr. Suite 104
Monroe, NC 28110 704.238.1150
dkost@truehomesusa.com

SURVEYOR

Providence Land Group
3716 Providence Road South
Waxhaw, NC 28173
704.608.4206
jking@providencelandgroup.com

ENGINEER

Denver D. Toler, PE
5917 Tillery Drive
Charlotte, NC 28226
704.526.7994
denverd@bellsouth.net

SHEET INDEX

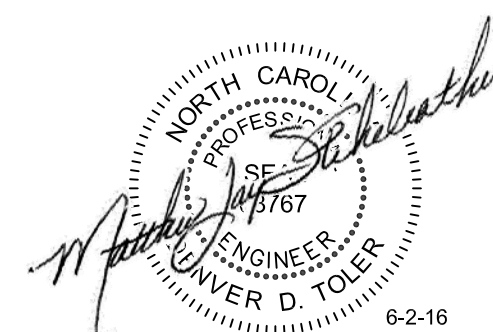
P-1	EXISTING CONDITIONS
P-2	PRELIMINARY PLAT
E-1	EROSION CONTROL PLAN - STAGE 1
E-2	EROSION CONTROL PLAN - STAGE 2
E-3 TO E-4	EROSION DETAILS
S-1	GRADING AND STORMDRAINAGE PLAN
S-2	STORMDRAINAGE DETAILS
S-3	BMP POND PLAN
S-4 TO S-5	BMP POND DETAILS
S-6	BMP PLANTING PLAN AND DETAILS
S-7	PRE-DEVELOPMENT DRAINAGE AREA PLAN
S-8	POST-DEVELOPMENT DRAINAGE AREA PLAN
U-1	OVERALL UTILITY PLAN
R-1	PLAN & PROFILE - AMERIA DRIVE
R-2	PLAN & PROFILE - SNOWBELL DRIVE
L-1	LANDSCAPING PLAN
D-1 TO D-6	CONSTRUCTION DETAILS
OS-1 TO OS-2	OFFSITE ROAD IMPROVEMENTS

NOTE

1. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY AND GET SUBMITTAL DATA APPROVED PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
2. EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE A GRADING PERMIT IS RELEASED.


ENGINEER

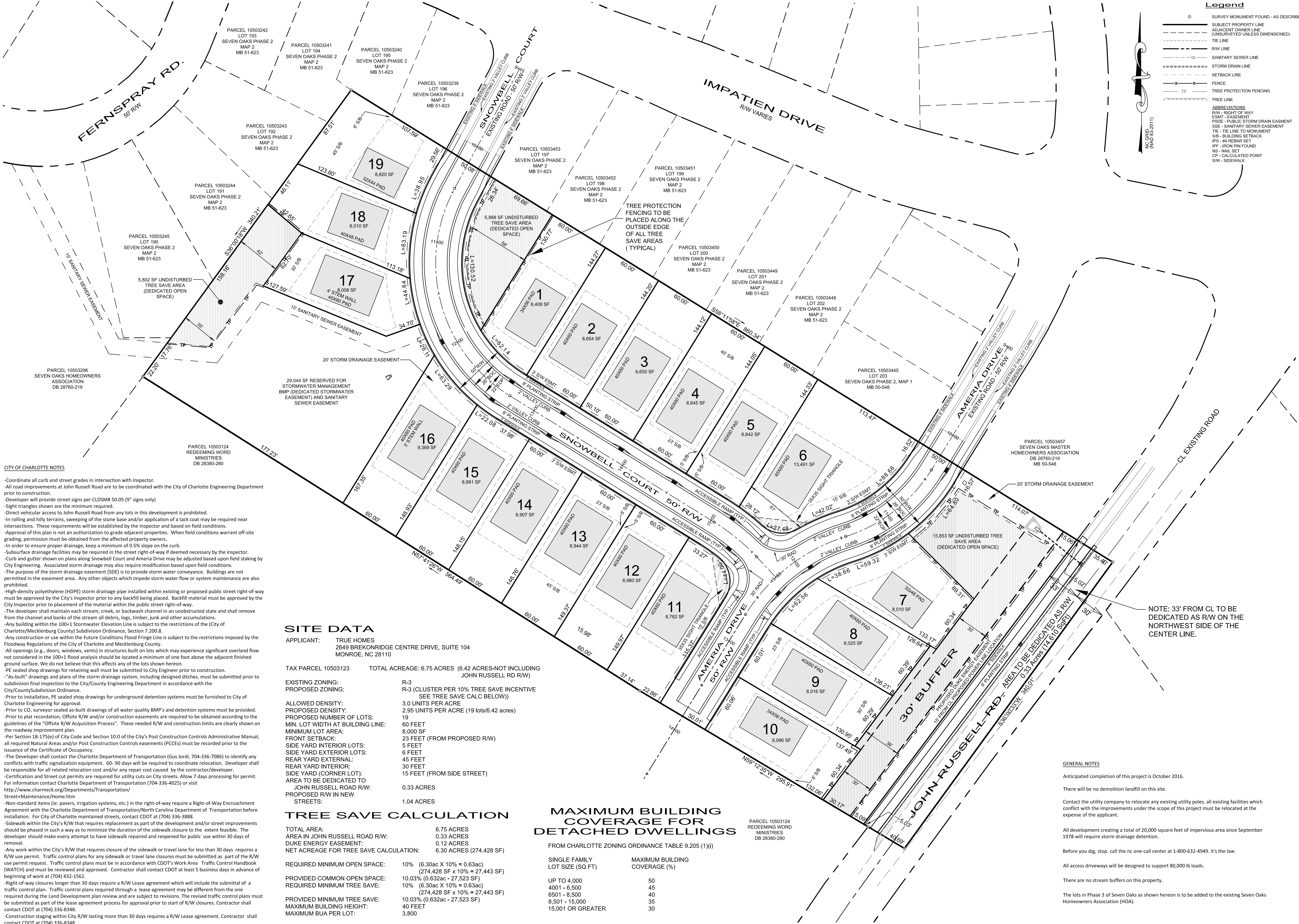
Denver D. Toler, PE
5917 Tillery Drive
Charlotte, North Carolina 28226
704.526.7994



Contractor shall notify "North Carolina One Call" (811) to have utilities located at least 72 hours prior to beginning construction or excavation. Contractor shall contact any local utilities that provide their own location services independent of "North Carolina One Call". Any discrepancies should be reported to the engineer immediately.




Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 ~ SC COA #4356



CITY OF CHARLOTTE NOTES

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements at John Russell Road are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CLDSMH 50.05 (9" signs only)
- Sight triangles shown are the minimum required.
- Direct vehicular access to John Russell Road from any lots in this development is prohibited.
- In rolling and hilly terrains, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
- Curb and gutter shown on plans along Snowbell Court and Ameria Drive may be adjusted based upon field staking by City Engineering. Associated storm drainage may also require modification based upon field conditions.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public street right-of-way must be approved by the City's Inspector prior to any backfill being placed. Backfill material must be approved by the City Inspector prior to placement of the material within the public street right-of-way.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- Any building within the 100+1 Stormwater Elevation Line is subject to the restrictions of the (City of Charlotte/Mecklenburg County) Subdivision Ordinance, Section 7.200.8.
- Any construction or use within the Future Conditions Flood Fringe Line is subject to the restrictions imposed by the Floodway Regulations of the City of Charlotte and Mecklenburg County.
- All openings (e.g., doors, windows, vents) in structures built on lots which may experience significant overland flow not considered in the 100+1 flood analysis should be located a minimum of one foot above the adjacent finished ground surface. We do not believe that this affects any of the lots shown herein.
- PE sealed shop drawings for retaining wall must be submitted to City Engineer prior to construction.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with the City/County Subdivision Ordinance.
- Prior to installation, PE sealed shop drawings for underground detention systems must be furnished to City of Charlotte Engineering for approval.
- Prior to CO, surveyor sealed as-built drawings of all water quality BMP's and detention systems must be provided.
- Prior to plat recordation, Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "Offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- Per Section 18-175(e) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCES) must be recorded prior to the issuance of the Certificate of Occupancy.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jorci, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing for permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm>
- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation/North Carolina Department of Transportation before installation. For City of Charlotte maintained streets, contact CDOT at (704) 336-3888.
- Sidewalk within the City's R/W that requires replacement as part of the development and/or street improvements should be phased in such a way as to minimize the duration of the sidewalk closure to the extent feasible. The developer should make every attempt to have sidewalk repaired and reopened for public use within 30 days of removal.
- Any work within the City's R/W that requires closure of the sidewalk or travel lane for less than 30 days requires a R/W use permit. Traffic control plans for any sidewalk or travel lane closures must be submitted as part of the R/W use permit request. Traffic control plans must be in accordance with CDOT's Work Area Traffic Control Handbook (WATCH) and must be reviewed and approved. Contractor shall contact CDOT at least 5 business days in advance of beginning of work at (704) 432-1562.
- Right-of-way closures longer than 30 days require a R/W Lease agreement which will include the submittal of a traffic control plan. Traffic control plans required through a lease agreement may be different from the one required during the Land Development plan review and are subject to revisions. The revised traffic control plans must be submitted as part of the lease agreement process for approval prior to start of R/W closures. Contractor shall contact CDOT at (704) 336-8348.
- Construction staging within City R/W lasting more than 30 days requires a R/W Lease agreement. Contractor shall contact CDOT at (704) 336-8348.

SITE DATA

APPLICANT: TRUE HOMES
2649 BRECKENRIDGE CENTRE DRIVE, SUITE 104
MONROE, NC 28110

TAX PARCEL 10503123 TOTAL ACREAGE: 6.75 ACRES (6.42 ACRES-NOT INCLUDING JOHN RUSSELL RD R/W)

EXISTING ZONING: R-3
PROPOSED ZONING: R-3 (CLUSTER PER 10% TREE SAVE INCENTIVE SEE TREE SAVE CALC BELOW))

ALLOWED DENSITY: 3.0 UNITS PER ACRE
PROPOSED DENSITY: 2.95 UNITS PER ACRE (19 lots/6.42 acres)

PROPOSED NUMBER OF LOTS: 19
MIN. LOT WIDTH AT BUILDING LINE: 60 FEET
MINIMUM LOT AREA: 8,000 SF
FRONT SETBACK: 23 FEET (FROM PROPOSED R/W)
SIDE YARD INTERIOR LOTS: 5 FEET
SIDE YARD EXTERIOR LOTS: 6 FEET
REAR YARD EXTERNAL: 45 FEET
REAR YARD INTERIOR: 30 FEET
SIDE YARD (CORNER LOT): 15 FEET (FROM SIDE STREET)
AREA TO BE DEDICATED TO JOHN RUSSELL ROAD R/W: 0.33 ACRES
PROPOSED R/W IN NEW STREETS: 1.04 ACRES

TREE SAVE CALCULATION

TOTAL AREA: 6.75 ACRES
AREA IN JOHN RUSSELL ROAD R/W: 0.33 ACRES
DUKE ENERGY EASEMENT: 0.12 ACRES
NET ACREAGE FOR TREE SAVE CALCULATION: 6.30 ACRES (274,428 SF)

REQUIRED MINIMUM OPEN SPACE: 10% (6.30ac X 10% = 0.63ac)
(274,428 SF x 10% = 27,443 SF)

PROVIDED COMMON OPEN SPACE: 10.03% (0.632ac - 27,523 SF)
REQUIRED MINIMUM TREE SAVE: 10% (6.30ac X 10% = 0.63ac)
(274,428 SF x 10% = 27,443 SF)
10.03% (0.632ac - 27,523 SF)

PROVIDED MINIMUM TREE SAVE: 40 FEET
MAXIMUM BUILDING HEIGHT: 40 FEET
MAXIMUM BUA PER LOT: 3,800

MAXIMUM BUILDING COVERAGE FOR DETACHED DWELLINGS

FROM CHARLOTTE ZONING ORDINANCE TABLE 9.205 (1)(i)

SINGLE FAMILY LOT SIZE (SQ FT)	MAXIMUM BUILDING COVERAGE (%)
UP TO 4,000	50
4001 - 6,500	45
6501 - 8,500	40
8,501 - 15,000	35
15,001 OR GREATER	30

PARCEL 10503124
REDEEMING WORD
MINISTRIES
DB 28380-280

Legend

- SURVEY MONUMENT FOUND - AS DESCRIBED
- SUBJECT PROPERTY LINE
- ADJACENT OWNER LINE (UNSURVEYED UNLESS DIMENSIONED)
- TIE LINE
- RW LINE
- SS SANITARY SEWER LINE
- STORM DRAIN LINE
- SETBACK LINE
- FENCE
- TP TREE PROTECTION FENCING
- TREE LINE
- ABBREVIATIONS
RW - RIGHT OF WAY
ESMT - EASEMENT
PSDE - PUBLIC STORM DRAIN EASEMENT
SSE - SANITARY SEWER EASEMENT
TIE - TIE LINE TO MONUMENT
S/B - BUILDING SETBACK
IPS - #4 REBAR SET
IPF - IRON PIN FOUND
NS - NAIL SET
CP - CALCULATED POINT
S/W - SIDEWALK



NC GRID
(NAD 83/2011)

Surveyor

Providence

Providence Land Group, PLLC
3716 Providence Road South
Waxhaw, North Carolina 28173
704.400.0117
NC Firm #P-0910 - SC COA #4356

Denver D. Toler
DENVER D. TOLER
6-2-16

Engineer

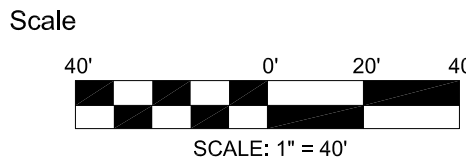
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Denver D. Toler
DENVER D. TOLER
6-2-16

This drawing is not to be used for construction purposes unless the signature of the responsible registrant is affixed hereon and the appropriate forms and fees have been sent to the Authority having jurisdiction by the Owner, Owner's Agent, or the Contractor.

Client Name

True Homes
2649 Breckonridge Center Drive
Suite 104
Monroe, NC 28110
704.238.1229



Project Name

Seven Oaks Phase 3
City of Charlotte
Mecklenburg County, North Carolina

Sheet Title

Preliminary Plat

Date	Issued For	Rev
June 2, 2016	First Submittal	0
1/29/16	Revised Lot Layout	1
3/17/16	Rev. per City Comments dated 3-9-16	2
6/2/16	Rev. per City Comments dated 4-27-16	3

Print Date

Drawn By Jason C. King	Checked By Denver D. Toler M. Jay Stickleather
Job Number 15163	Sheet Number
Drawing File 15163-Plan Base.dwg	