



FINAL
APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED
By Brendan M. Smith at 10:30 am, Dec 22, 2016

APPROVED

APPROVED
By gturner at 2:41 pm, Dec 19, 2016

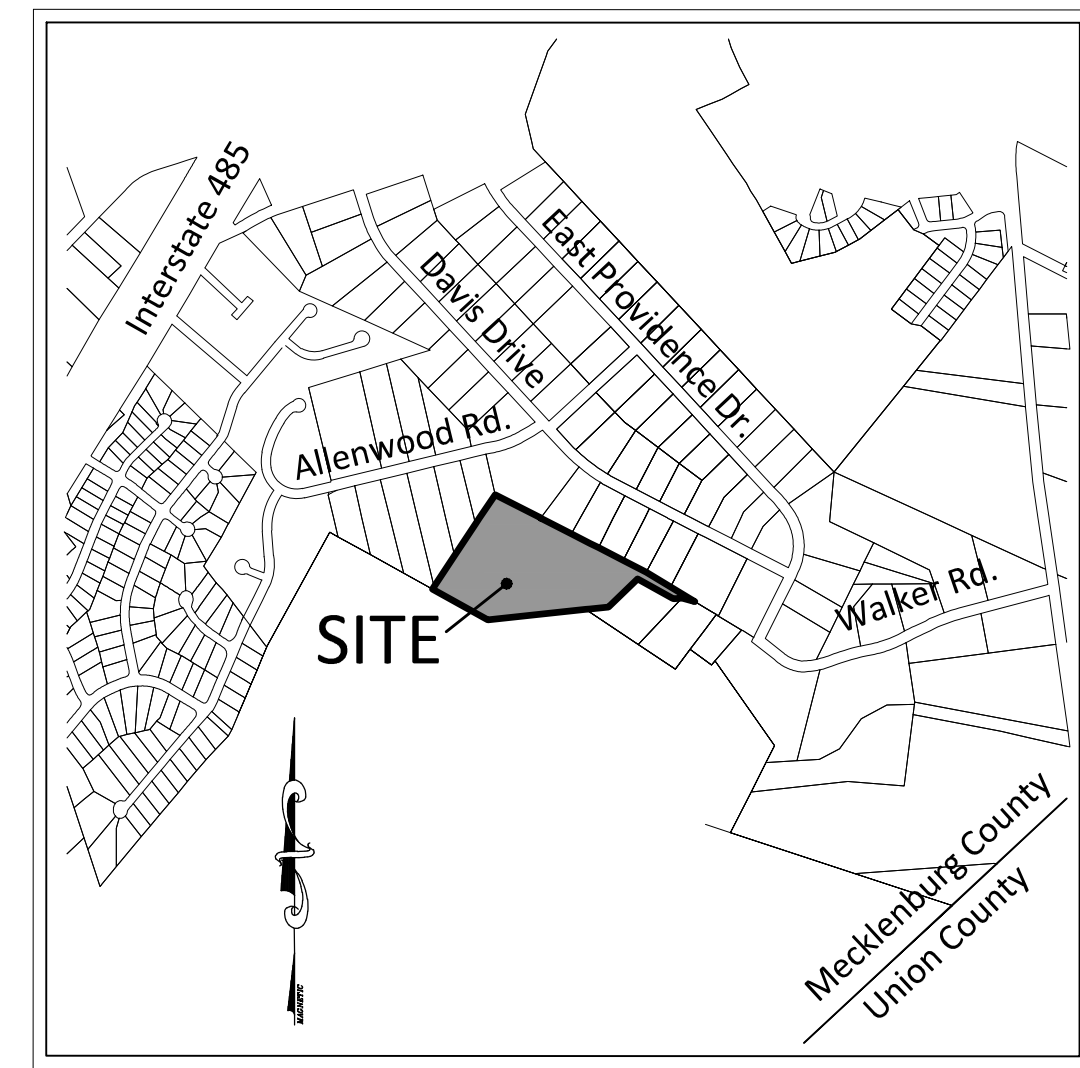
APPROVED

PCCO SUMMARY	
Original Parcel ID Number(s):	23105318, 23105322
Development Type:	Single-Family
Subject to PCCO? Y/N	YES
If NO, why?	-- Click for Dropdown --
Watershed:	Six Mile
Overlay	XX
Disturbed Area (ac):	12.98
Site Area (Net) (ac):	
	BMP # 1
	Sand Filter
	10.7 ac
Total Drainage Area (ac):	
Existing Built-upon-area (ac):	0.78 Ac.
Existing BUA to be removed (ac):	0.78 Ac.
Existing BUA to remain (ac):	0.00 Ac.
Proposed New BUA (ac):	5.12 Ac.
Proposed % BUA:	47.89% (used 50% for Design)
Density (High / Low):	High
Total Post-Project BUA for site:	5.12 Ac.
Development or Redevelopment?	Development
Natural Area Required: (>24%, <50% BUA)	17.5% = 2.27
Natural Area Provided (ac):	2.27
Total stream buffer protected on-site (ac):	+/-00,000sf (00' Stream Buffer)
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	85% TSS and 70% TP removal
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

Estimated Impervious Area Breakdown			
On-Site (37 Lots Total)			
Proposed Single Family	60' Lots @ 4,300 sf pad x 37 lots	159,100 sq ft =	3.65 ac
(avg house pad 3,500 sf + 18x25' Driveway + 150 sf Patio + 200 for future homeowner use)			
MAXIMUM BUILD-UPON-AREA PER LOT (PER PCCO DESIGN CALCULATIONS)		4,300 sq ft =	0.10 ac
Cluster Mailbox, Entry monuments, Misc.		3,000 sq ft =	0.07 ac
Proposed Streets:			
Walker Road, B/C (approx. 26' x 1,100 ft)		28,600 sq ft =	0.66 ac
Sagewood Park Road, B/C-B/C (approx. 26' x 335 ft)		8,710 sq ft =	0.20 ac
Additional Pavement for Cut-De-Sacs (approx. 3,425sf x 1 CDS)		3,425 sq ft =	0.08 ac
Sidewalk (approx. 5' x 2,811 ft)		14,055 sq ft =	0.32 ac
Driveway within R/W (37' x 8' x 18 ft)		5,328 sq ft =	0.12 ac
Total Proposed Streets		60,118 sq ft =	1.38 ac
Existing Off-Site Streets (With Improvements)			
Walker Rd (approx. (14.5'+5') x xxx ft)		0,000 sq ft =	0.00 ac
Total Off-Site Existing Streets		0,000 sq ft =	0.00 ac
Sub-Total Impervious Area (Excluding Bypass)		222,218 sq ft =	5.10 ac
Bypass			
Misc.		1,000 sq ft =	0.02 ac
Total Impervious Area		220,218 sq ft =	5.06 ac
Total Net Site Area			12.98 ac
Total BMP Watershed Area			10.70 ac
Impervious Area Summary			
	Imperv. Area (Ac)	% of Imp. Area of Site Area	% of Imp. Area of WS Area
Proposed Single Family	3.65	26.14%	34.13%
Proposed Amenity Area			
+ Misc. Site Features	0.07	0.53%	0.64%
Proposed Streets	1.38	10.63%	12.90%
Existing Streets	0.00	0.00%	0.00%
Bypass	0.02	0.18%	0.21%
Total Imp. Area		5.12	39.48%
			47.89%
			50%
*NOTE: OVERALL BUA			

SHEET SCHEDULE

- L - 1 COVER SHEET
- L - 2 EXISTING CONDITIONS & DEMOLITION PLAN
- L - 3 SITE PLAN
- L - 4 OVERALL GRADING & STORM DRAINAGE PLAN
- L - 5 EROSION CONTROL PLAN - INITIAL PHASE
- L - 6 EROSION CONTROL PLAN - INTERMEDIATE PHASE
- L - 7 EROSION CONTROL PLAN - FINAL PHASE
- L - 8 BMP ENLARGEMENT AND DETAILS PLAN
- L - 9 STORM DRAINAGE AREA PLAN - EXISTING
- L - 10 STORM DRAINAGE AREA PLAN - PROPOSED
- L - 11 ROAD PROFILES : WALKER ROAD
- L - 12 ROAD PROFILES : SAGEWOOD PARK ROAD
- L - 13 PLANTING, NATURAL AREA & TREE SAVE PLAN
- L - 14 STANDARD DETAILS
- L - 15 STANDARD DETAILS
- L - 16 USPS CLUSTER MAILBOX LOCATION PLAN



Vicinity Map

(NTS)

EXISTING SITE DATA

TAX PARCEL NO.: 23105318, 23105322

EXIST. ZONING: R - 3
TOTAL SITE AREA: 12.98 AC
ROW TO BE DEDICATED: 0.00 AC
NET SITE AREA: 12.98 AC

DEVELOPMENT STANDARDS

R - 3 CLUSTER
MIN. LOT SIZE: 8,000 S.F.
MIN. LOT WIDTH: 60 FT.
FRONT SETBACK: 20 FT. MIN. FROM R/W OR BACK OF S.WALK
SIDE YARD: 5 FT.
CORNER SETBACK: 10 FT.
REAR YARD: 30 FT. INTERNAL, 45' EXTERNAL
BUILDING HEIGHT: 40 FT. - 48 FT.
MAX. BUILDING COVERAGE: 50% OF LOT (UP TO 4,000 SF LOT SIZE)
45% OF LOT (4,001 - 6,500 SF LOT SIZE)
40% OF LOT (6,501 - 8,500 SF LOT SIZE)
35% OF LOT (8,501 - 15,000 SF LOT SIZE)
30% OF LOT (15,001 OR GREATER SF LOT SIZE)

* NOTE: NO DENSITY INCENTIVES ARE PROPOSED

DEVELOPMENT DATA

WATERSHED DISTRICT: **SIX MILE CREEK, YADKIN - S.E. CATAWBA**
DEVELOP AS: R - 3 CLUSTER
DENSITY ALLOWED: 3 UNITS PER AC
LOTS ALLOWED: 38
PROPOSED # OF LOTS: 37
PROPOSED DENSITY: 2.85 LOTS / AC.
TREE SAVE REQUIRED: 1.30 AC. (10% TOTAL AREA)
TREE SAVE PROVIDED: 1.30 AC. MINIMUM
C.O.S. REQUIRED: 1.29 AC. (10% TOTAL AREA)
C.O.S. PROVIDED: 1.29 AC. MIN.
NOTE: REFER TO SHEET L-13 FOR THE BREAKDOWN

POST CONSTRUCTION CONTROLS ORDINANCE (PCCO) REQUIREMENTS

WATERSHED DISTRICT: **SIX MILE CREEK**

DENSITY CLASSIFICATION: HIGH DENSITY (>= 12%)
NATURAL AREA REQD: 2.27 AC. (17.5% TOTAL AREA)
NATURAL AREA PROVIDED: 2.27 AC.

(NATURAL AREA REQUIREMENTS ARE TO BE PROVIDED PER SECTION 802 FROM THE CITY OF CHARLOTTE POST CONSTRUCTION CONTROLS ORDINANCE, JULY 1, 2008. TOTAL SITE BUA IS ESTIMATED TO BE FROM 24%-50% RANGE --> NA REQUIRED = 17.5%)

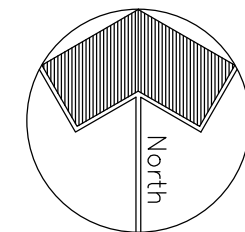
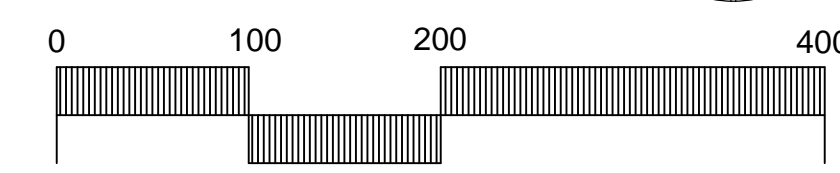
NOTE: REFER TO SHEET L-13 FOR THE BREAKDOWN
PCCO NOTE:
WATER QUALITY BEST MANAGEMENT PRACTICES (BMP) WILL BE INCORPORATED INTO THE SITE TO ACHIEVE 85% TOTAL SUSPENDED SOLID (TSS) AND 70% TOTAL PHOSPHORUS (TP) REMOVAL FOR THE ENTIRE POST-DEVELOPMENT RUNOFF VOLUME GENERATED FROM THE FIRST 1-INCH OF RAINFALL. BMP'S (STORM WATER QUALITY TREATMENT VOLUME, VOLUME CONTROL, AND PEAK CONTROL) MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHARLOTTE POST CONSTRUCTION CONTROLS ORDINANCE, JULY 1, 2008 AND MECKLENBURG COUNTY BMP DESIGN MANUAL, JULY 2013.

NOTES

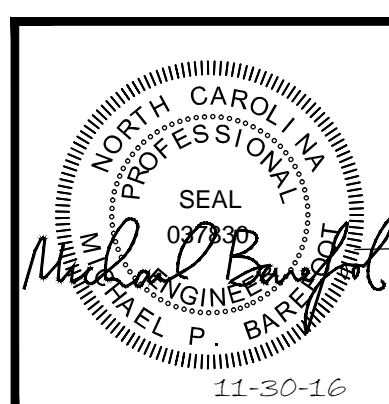
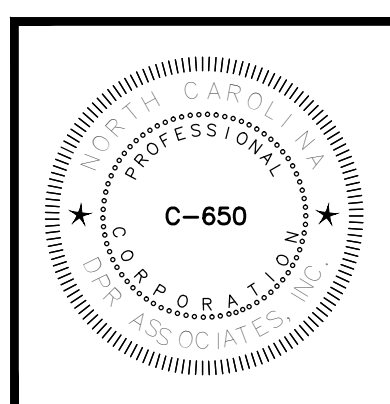
- BOUNDARY SURVEY WAS PREPARED BY LAWRENCE ASSOCIATES DATED DECEMBER 12, 2015. 704-289-1013
- WETLANDS DETERMINATION AND STREAM ASSESSMENT WAS PROVIDED BY WETLANDS AND WATERS, INC.
- GEOTECHNICAL REPORT WAS PREPARED BY SUMMIT ENGINEERING.

LEGEND

--- EXISTING PROPERTY LINE
--- PROPOSED LOT LINE
BMP PROPOSED BMP



REVISIONS:		Description	
No.	Date	By	
1	8-17-16	MB	1st SUBMITTAL REVISIONS
2	11-28-16	MB	2nd SUBMITTAL REVISIONS



COVER SHEET

SAGEWOOD SUBDIVISION
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
SHEA HOMES

CLIENT / OWNER:
SHEA HOMES
8008 CORPORATE CENTER DRIVE
SUITE # 300
CHARLOTTE, NC 28226
CONTACT: MR. CHASE KERLEY
(704) 319 - 5000

Scale: 1" = 100'

Sheet Number
L-1
SHEET 1 OF 16 TOTAL

T:\PROJECTS\2016 PROJECTS\16025 SAGEWOOD Subdivision - Shea\CADDs\16025-L-1 COVER.dwg

LAND DEVELOPMENT NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSURE 50.05 (9' SIGNS ONLY).
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG WALKER RD. AND SAGEWOOD DR. MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO C.O., SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.
- PRIOR TO PLANT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDDT AT (704) 336-3888.
- SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.

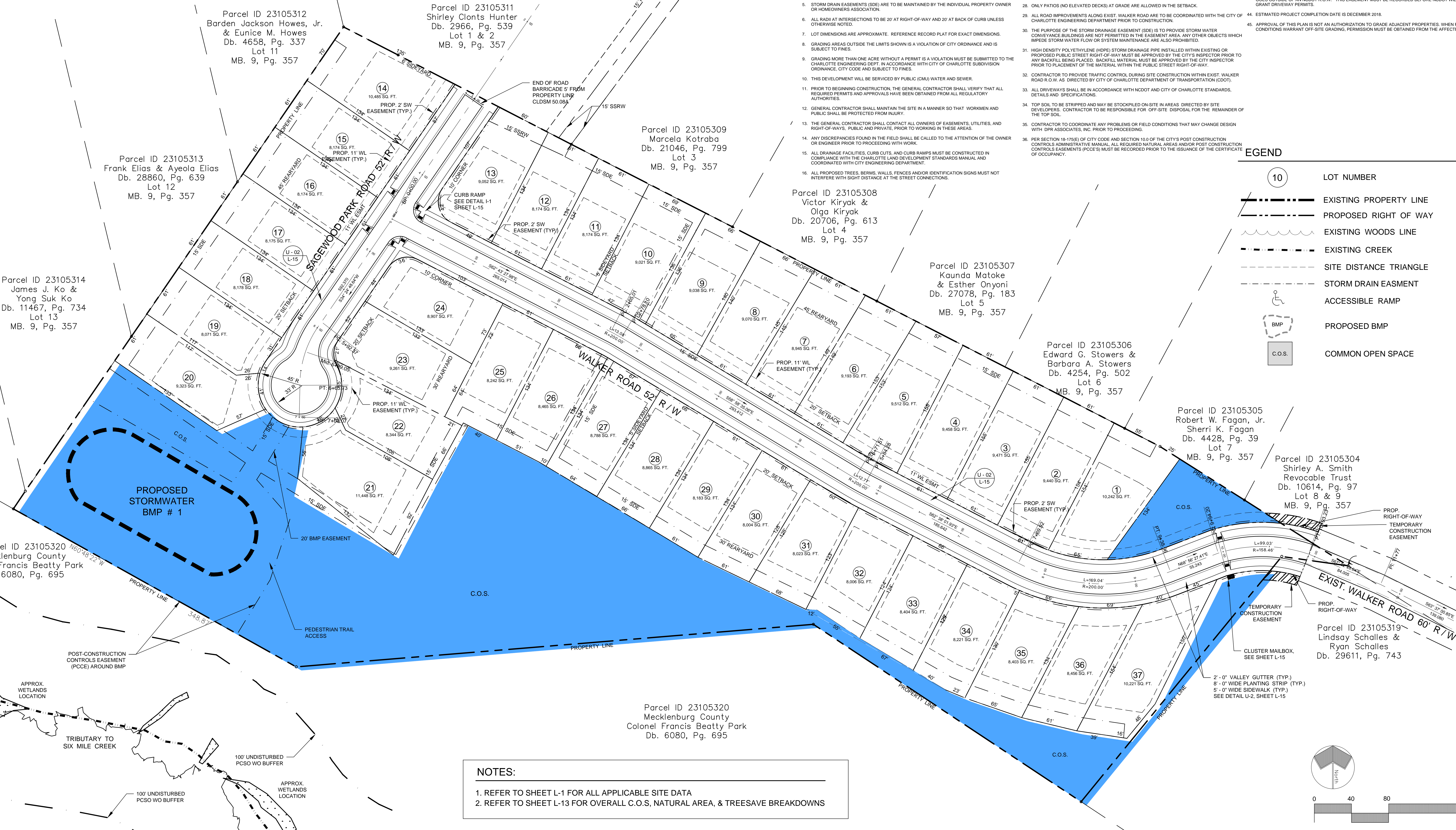
GENERAL / SITE NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY LAWRENCE ASSOCIATES, DATED 12/15/2015. OFF-SITE TOPOGRAPHIC INFORMATION TAKEN FROM MECKLENBURG COUNTY GIS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- STORM DRAIN EASEMENTS (SDE) ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER OR HOMEOWNERS ASSOCIATION.
- ALL RADI AT INTERSECTIONS TO BE 20' AT RIGHT-OF-WAY AND 20' AT BACK OF CURB UNLESS OTHERWISE NOTED.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY ORDINANCE AND IS SUBJECT TO FINES.
- GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION MUST BE SUBMITTED TO THE CHARLOTTE ENGINEERING DEPT. IN ACCORDANCE WITH CITY OF CHARLOTTE SUBDIVISION ORDINANCE, CITY CODE AND SUBJECT TO FINES.
- THIS DEVELOPMENT WILL BE SERVICED BY PUBLIC (CMU) WATER AND SEWER.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS. PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH CITY ENGINEERING DEPARTMENT.
- ALL PROPOSED TREES, BERMS, WALLS, FENCES AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTIONS.

- PROPOSED SIGNAGE AND LANDSCAPING AND OTHER MONUMENTATIONS SHALL BE PERMITTED IN CONFORMANCE WITH ZONING ORDINANCE REQUIREMENTS.
- ALL PAVEMENT MARKINGS SHALL HAVE A MIN. WIDTH OF FOUR (4) INCHES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE SITE.
- ALL DISTURBED AREAS NOT TO RECEIVE BUILDING OR PAVEMENT SHALL BE SEEDED AND STRAW MULCHED.
- COORDINATE PUBLIC STREET CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLOS 50.05 (9' SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ORDER TO ENSURE PROPER DRAINAGE, MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO FINAL SUBDIVISION INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPT. IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
- ONLY PATIOS (NO ELEVATED DECKS) AT GRADE ARE ALLOWED IN THE SETBACK.
- ALL ROAD IMPROVEMENTS ALONG EXIST. WALKER ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL DURING SITE CONSTRUCTION WITHIN EXIST. WALKER ROAD R.O.W. AS DIRECTED BY CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDDT).
- ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH NCDOT AND CITY OF CHARLOTTE STANDARDS, DETAILS AND SPECIFICATIONS.
- TOP SOIL TO BE STRIPPED AND MAY BE STOCKPILED ON-SITE IN AREAS DIRECTED BY SITE DEVELOPERS. CONTRACTOR TO BE RESPONSIBLE FOR OFF-SITE DISPOSAL FOR THE REMAINDER OF THE TOP SOIL.
- CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS THAT MAY CHANGE DESIGN WITH DPR ASSOCIATES, INC. PRIOR TO PROCEEDING.
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR. BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER (811). IT'S THE LAW.
- ALL NCDOT STANDARDS ARE PER HIGHWAY DESIGN BRANCH ROADWAY STANDARD DRAWINGS JANUARY 2012 OR LATEST EDITION.
- PROPOSED SIGNAGE SHALL COMPLY WITH CITY OF CHARLOTTE ZONING REQUIREMENTS.
- ALL ADA RAMPS TO BE INSTALLED PER CITY OF CHARLOTTE STANDARDS, AND NCDOT STANDARDS AT PUBLIC STREET R.O.W. ALONG SAGEWOOD DRIVE AND WALKER ROAD.
- CONTRACTOR TO OBTAIN BUILDING DEMOLITION PERMIT AS REQUIRED PER ALL APPLICABLE REGULATIONS.
- ON-SITE BURIAL RITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM ZONING ADMINISTRATION. ANY ON-SITE DEMOLITION LANDFILLS OR STUMPHOLES SHALL BE A MINIMUM OF 100' FROM ANY EXISTING PROPERTY LINE. (NO ON-SITE BURIAL WILL BE PERMITTED FOR THIS PROJECT).
- ADDITIONAL PAVEMENT SHOWN ON PLANS ALONG EXIST. WALKER ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- A SIGHT DISTANCE EASEMENT IS REQUIRED TO BE RECORDED WHERE A SIGHT DISTANCE LINE SHOWN GOES OUTSIDE OF AN NCDOT R.O.W. THIS EASEMENT MUST BE RECORDED BEFORE NCDOT WILL GRANT DRIVEWAY PERMITS.
- ESTIMATED PROJECT COMPLETION DATE IS DECEMBER 2018.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED.

LEGEND

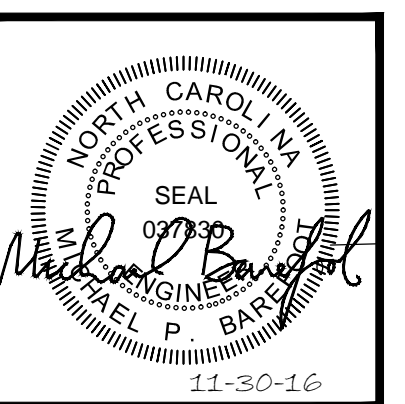
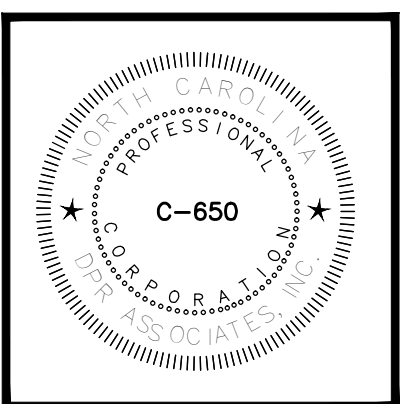
- 10 LOT NUMBER
- EXISTING PROPERTY LINE
- PROPOSED RIGHT OF WAY
- EXISTING WOODS LINE
- EXISTING CREEK
- SITE DISTANCE TRIANGLE
- STORM DRAIN EASMENT
- ACCESSIBLE RAMP
- PROPOSED BMP
- COMMON OPEN SPACE



NOTES:

- REFER TO SHEET L-1 FOR ALL APPLICABLE SITE DATA
- REFER TO SHEET L-13 FOR OVERALL C.O.S, NATURAL AREA, & TREESAVE BREAKDOWNS

REVISIONS:			
No.	Date	By	Description
1	8-17-16	MB	1st SUBMITTAL REVISIONS
2	11-28-16	MB	2nd SUBMITTAL REVISIONS



DPR landscape architecture
civil engineering
planning

DPR Associates, Inc. • 420 Hawthorne Lane • Charlotte, NC 28204
phone 704.332.1204 • fax 704.332.1210 • www.dprassociates.net

SITE PLAN

SAGEWOOD SUBDIVISION

CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

SHEA HOMES

Scale: 1" = 40'

Sheet Number: **L-3**

SHEET 3 OF 16 TOTAL

CLIENT/OWNER:
SHEA HOMES
8008 CORPORATE CENTER DRIVE
SUITE # 300
CHARLOTTE, NC 28226
CONTACT: MR. CHASE KERLEY
(704) 311-5000