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RIVERGATE OFFICE SUBDIVISION

CHARLOTTE, NORTH CAROLINA
CHILDRESS KLEIN PROPERTIES

PARCEL ID: 21906109
NO ADDRESS ASSIGNED
TOTAL SITE AREA=6.70 AC.
ZONING: CC

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
BY: Joshua Weaver 11-17-2016



FINAL
APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED

EROSION CONTROL

APPROVED

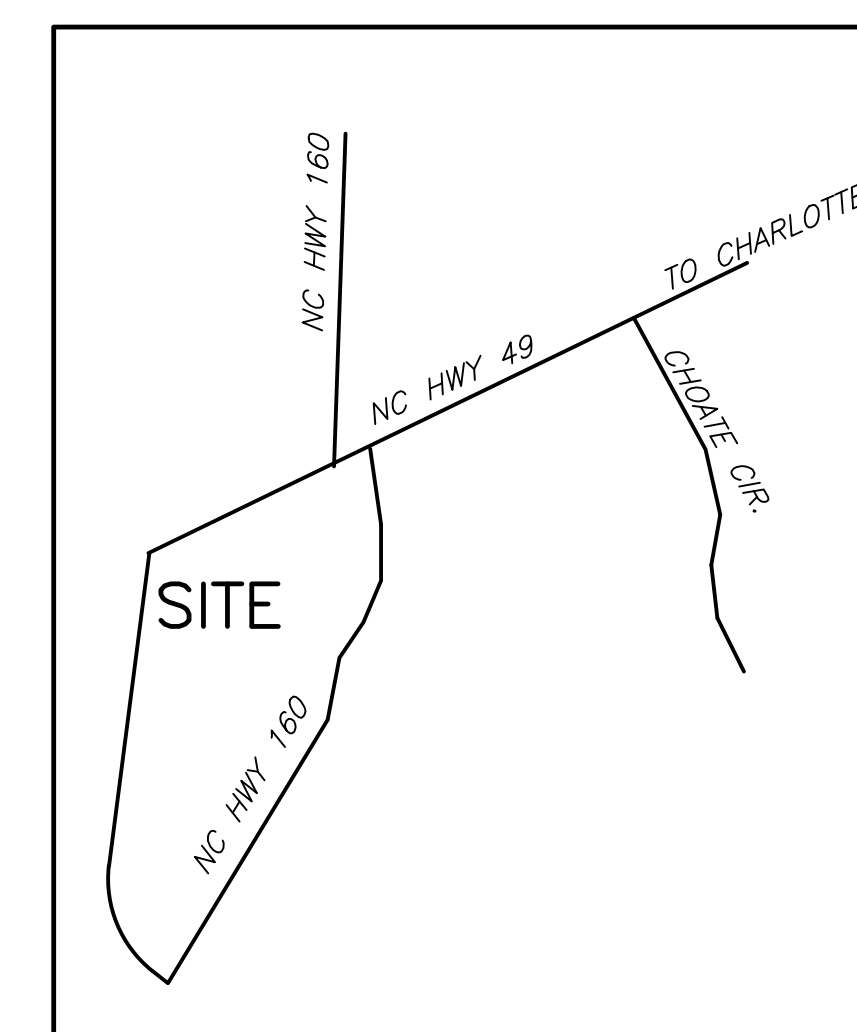
URBAN FORESTRY
TREE ORDINANCE

APPROVED

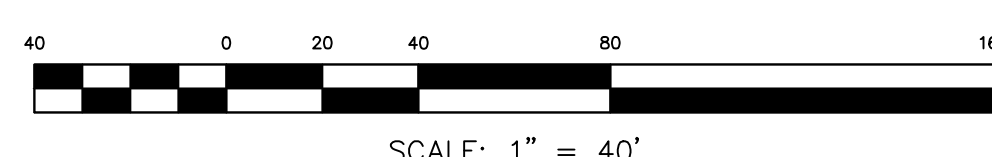
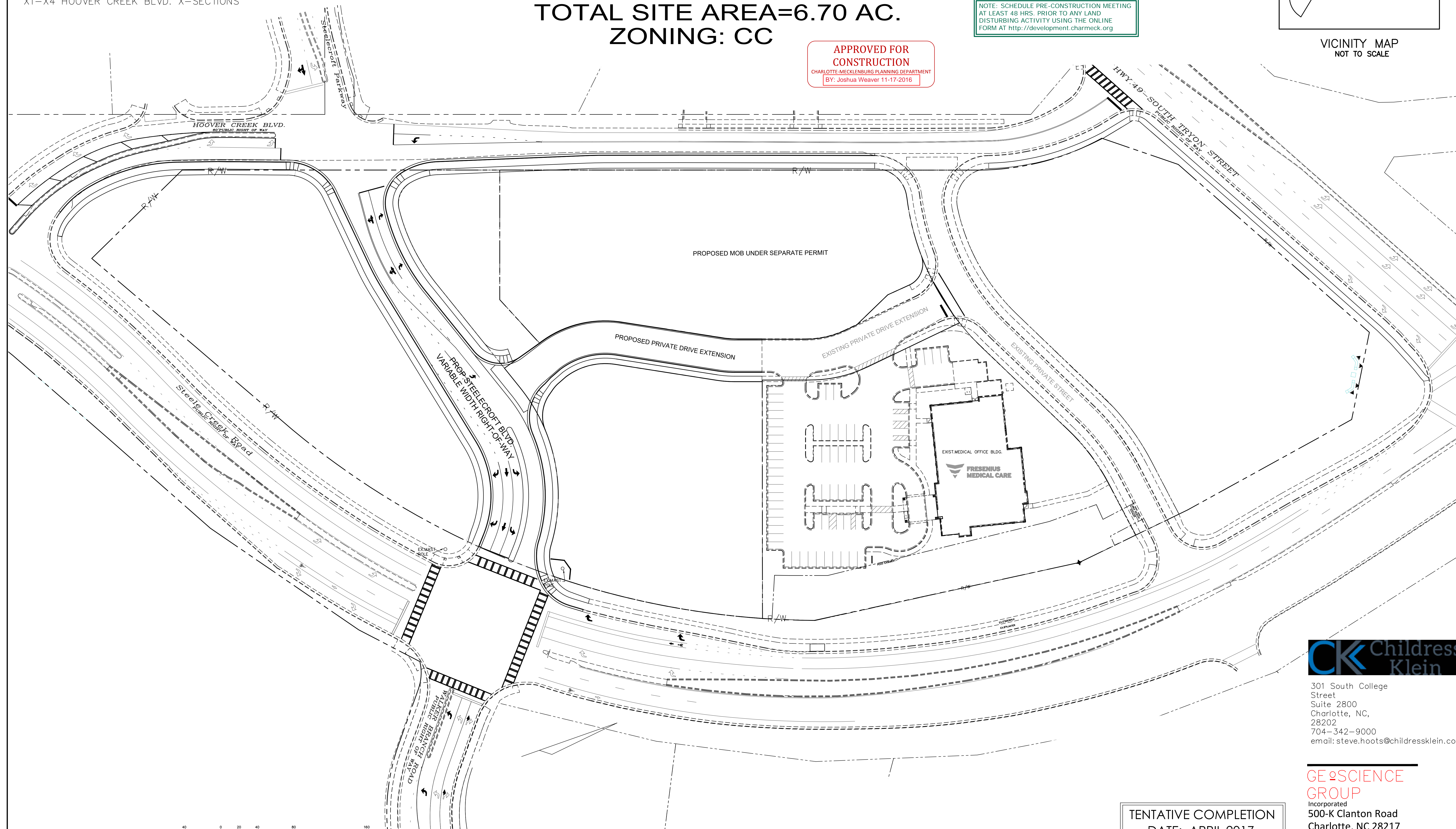
CDOT

APPROVED

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>



VICINITY MAP
NOT TO SCALE



301 South College
Street
Suite 2800
Charlotte, NC,
28202
704-342-9000
email: steve.hoots@childressklein.com

GEOSCIENCE
GROUP

Incorporated
500-K Clanton Road
Charlotte, NC 28217
(704) 525-2003

NC FIRM LICENSE: F-0585(ENG)
NC FIRM LICENSE: C-279(LA)

TENTATIVE COMPLETION
DATE: APRIL 2017

DOT PROJ.# 16-068-M

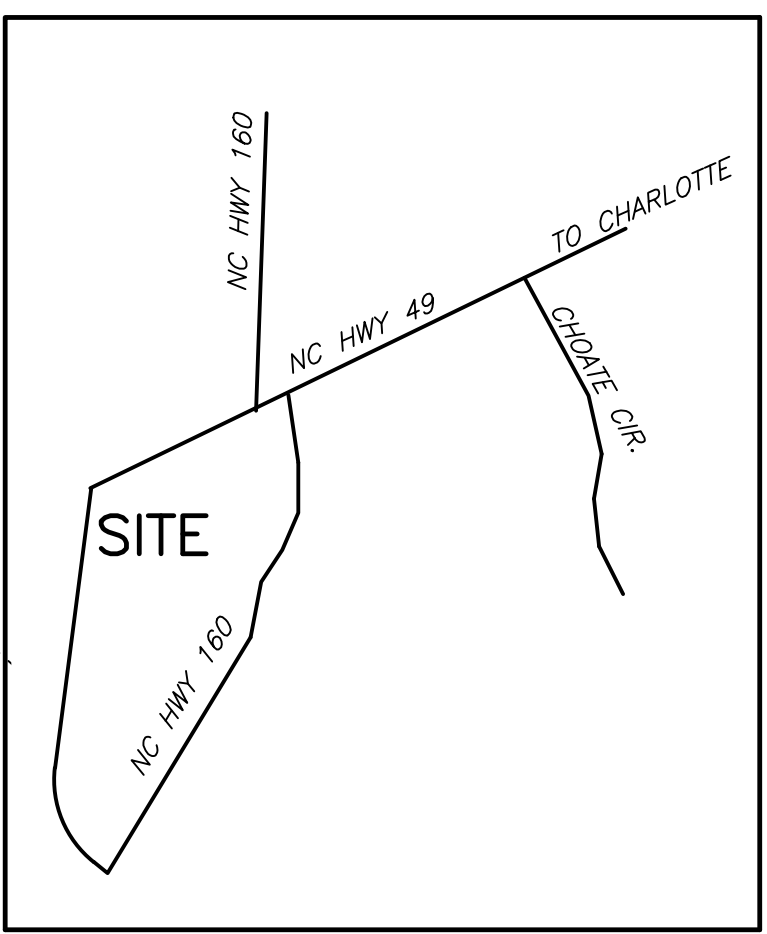
CHARLOTTE/MECKLENBURG LAND DEVELOPMENT GENERAL NOTES

- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation/North Carolina Department of Transportation before installation. For City of Charlotte maintained streets, contact CDOT at (704) 336-3888.
- Sidewalk within the City's R/W that requires replacement as part of the development and/or street improvements should be phased in such a way as to minimize the duration of the sidewalk closure to the extent feasible. The developer should make every attempt to have sidewalk repaired and reopened for public use within 30 days of removal.
- Any work within the City's R/W that requires closure of the sidewalk or travel lane for less than 30 days requires a R/W use permit. Traffic control plans for any sidewalk or travel lane closures must be submitted as part of the R/W use permit request. Traffic control plans must be in accordance with CDOT's Work Area Traffic Control Handbook (WATCH) and must be reviewed and approved. Contractor shall contact CDOT at least 5 business days in advance of beginning of work at (704) 432-1562.
- Right-of-way closures longer than 30 days require a R/W Lease agreement which will include the submittal of a traffic control plan. Traffic control plans required through a lease agreement may be different from the one required during the Land Development plan review and are subject to revisions. The revised traffic control plans must be submitted as part of the lease agreement process for approval prior to start of R/W closures. Contractor shall contact CDOT at (704) 336-8348.
- Construction staging within City R/W lasting more than 30 days requires a R/W Lease agreement. Contractor shall contact CDOT at (704) 336-8348.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jordt, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer

Tax ID# 21912201
14338 Steele Creek Road
Owner Name:
THE CHARLOTTE-MECKLENBURG
HOSPITAL AUTHORITY
Zoned: O-2(CD)

Tax ID# 21912302
14210 STEELE CREEK RD CHARLOTTE NC
28273
Owner Name:
ANTEZANA MANAGEMENT LLC
Zoned: R-3

Tax ID# 21912303
13105 S.Tryon Street
Owner Name:
SOLIAN LLC
Zoned: B-2(CD)



VICINITY MAP
NOT TO SCALE

CURRENT SUBDIVISION OPEN SPACE SUMMARY

LOT 1 = 0.94 AC. (0.94/2.08=45%)
LOT 2 = 2.37 AC. (2.37/2.37=100%)
REVISED LOT 3 = 0.31 AC (0.31/1.78=17%, SEPARATE PERMIT)
PROPOSED LOT 4 = 1.75 AC. (1.75/1.78=99%)
PROPOSED LOT 5 = 1.32 AC. (1.32/1.32=100%)
PROPOSED LOT 6 = 0.38 AC (0.38/0.38=100%)
PROPOSED LOT 7 = 0.05 AC (0.05/0.56=9%)
PROPOSED LOT 8 = 0.09 AC (0.09/0.59=15%)
STEELECROFT PKWY. = 0.16 (0.16/0.88=18%)
TOTAL = 7.37/11.72=63%

GENERAL NOTES:
1. A 15% TREE SAVE AREA IS REQUIRED FOR EACH INDIVIDUAL LOT AS THEY ARE DEVELOPED
2. UPON COMPLETION OF GRADING: PERIMETER TREES REQUIRED TO BE PLANTED WITHIN 18 MONTHS. (UNLESS BUILDING ACTIVITY HAS BEGUN)

LOT 2
Tax ID #21906105
Owner Name:
STEELE CREEK (1997) LIMITED PARTNERSHIP
(2.947 Ac. CURRENT) 2.367 AC
Zoned: CC

EXIST. MEDICAL OFFICE BLDG.
LOT 1
Tax ID#21906133
14166 STEELE CREEK RD
Owner Name:
DRE HOLDINGS-SW CHARLOTTE
LLC
2.076 Ac.
Zoned: CC

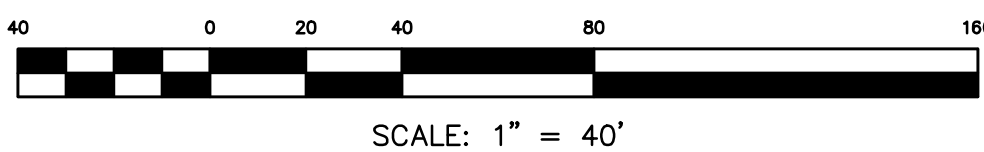
Tax ID# 21906113
14125 STEELE CREEK RD
Owner Name:
CVS 75159 NC LLC
Zoned: CC

Tax ID# 21906112
Owner Name:
Ipara Rivergate
Zoned: CC

Tax ID# 21906127
14157 STEELE CREEK RD CHARLOTTE NC
28273
Owner Name:
RIVERGATE INVESTMENTS LLC
Zoning: CC

Tax ID# 21906128
12916 WALKER BRANCH DR CHARLOTTE NC
28273
Owner Name:
SUNTRUST BANK
Zoning: CC

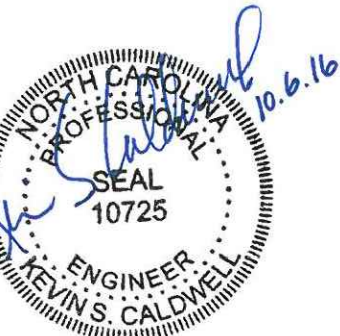
Tax ID# 21906121
12822 WALKER BRANCH DR CHARLOTTE NC
28273
Owner Name:
HAWTHORNE CO
Zoning: CC



ZONING CODE SUMMARY

PROJECT NAME: RIVERGATE OFFICE SUBDIVISION
PLANS PREPARED BY: GEOSCIENCE GROUP, INC.
ZONING: CC REZONING PETITION 2011-082 (SEE ATTACHED RE-ZONING PLAN)
JURISDICTION: Charlotte, North Carolina

RIVERGATE OFFICE SUBDIVISION
CHARLOTTE, NORTH CAROLINA
CHILDRESS KLEIN PROPERTIES



OVERALL SITE PLAN

C1.1