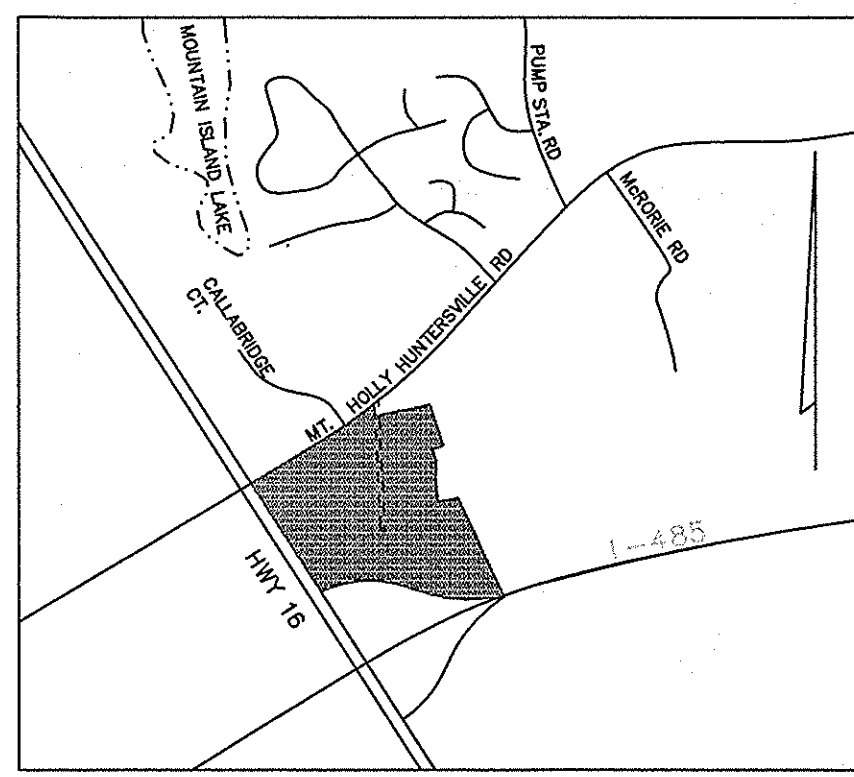


# RIVERBEND MT. HOLLY-HUNTERSVILLE ROAD (ON-SITE ONLY)



## ZONING CODE SUMMARY

PROJECT NAME: RIVERBEND  
ADDRESS: 3950 MT. HOLLY-HUNTERSVILLE ROAD  
PLANS PREPARED BY: THE ISAACS GROUP, P.C.  
PHONE #: 704-527-3440  
ZONING: NS & B(CO) REZONING: 2008-031  
JURISDICTION: CITY OF CHARLOTTE  
TAX PARCEL #: 03304110 7 03304111  
LOT SIZE: 5,171,878/118.73 SQ. FEET/ACRES (INCLUDES R/W DEDICATION)  
DISTURBED/CONSTRUCTION AREA: 99.00 ACRES  
PROPOSED IMPERVIOUS AREA: 3,447,774/79.15 SQ. FT./ACRES  
YARD REQUIREMENTS:  
SETBACK (FRONT): 24' FROM B/C  
SIDE YARD: 10' REAR YARD: 20'

## LEGEND

PROPOSED PAVEMENT  
PROPOSED CONCRETE



ENGINEERING  
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY  
TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-314-CODE(2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED  
By mchpman at 10:17 am, Nov 09, 2016

APPROVED

APPROVED

APPROVED FOR  
CONSTRUCTION  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 11-9-2016

## NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY LANDOWNER.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT 704-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE BACKYARD ARE PROTECTED BY LAW. CONTACT LAND DEVELOPER AT 704-336-6992 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NO ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GIS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- NO LIGHT/UTILITY POLES TO BE PLACED IN TREE ISLANDS.
- THE PURPOSE OF THE STORM DRAINAGE DETENTION IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORMWATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

## GENERAL NOTES:

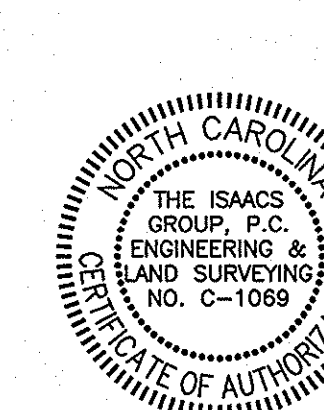
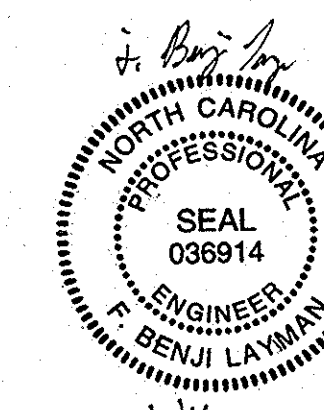
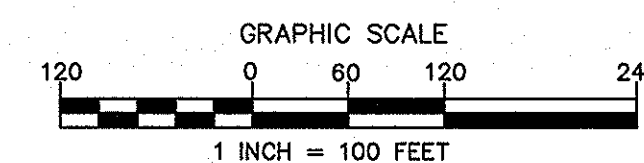
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT 704-432-1562. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. PLEASE SEE TRAFFIC CONTROL PLAN NOTES FOR DETAILS. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- NON-STANDARD ITEMS (E.G., PAVES, IRRIGATION SYSTEMS, ETC.) IN THE CITY R/W REQUIRES A R/W ENFORCEMENT AGREEMENT WITH CDOT BEFORE INSTALLATION. CONTACT CDOT AT 704-336-3888 FOR TRAFFIC CONTROL PLAN NOTES.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS.
- THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.
- PER SECTION 18-175(a) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CO.
- SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE 30 DAYS OF REMOVAL.

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PUBLIC ROAD 1 STORM DRAINAGE  
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POSTDEVELOPED AREA  
STORM DRAINAGE PUBLIC ROAD  
STORM DRAINAGE PRIVATE STORM

"THE PETITIONER SHALL MONITOR PUBLIC STREET 2 BEFORE IMPLEMENTING TRAFFIC CALMING MEASURES AS IDENTIFIED AND JUSTIFIED BY CDOT'S TRAFFIC CALMING POLICIES, MONITORING, APPROVAL, AND INSTALLATION OF TRAFFIC CALMING MEASURES, IF NEEDED WILL BE DETERMINED BY CDOT THROUGHOUT PERMITTING AND PROJECT BUILD-OUT. THE PETITIONER WILL BE REQUIRED TO PERFORM FINAL MONITORING AND TRAFFIC CALMING MEASURE INSTALLATION, IF NEEDED, WITHIN TWO (2) YEARS AFTER THE DEVELOPMENT'S LAST CO IS ISSUED." ADDITIONALLY, THE PETITIONER SHOULD REVISE THE SITE PLAN TO INDICATE "POTENTIAL TRAFFIC CALMING LOCATION" ON STREET 2 INSTEAD OF SPECIFIC SPEED TABLE LOCATIONS AS TRAFFIC CALMING MEASURES MAY BE REVISED DURING PERMITTING. CDOT REQUESTS A MEETING PRIOR TO PERMITTING SUBMITTAL TO DISCUSS TRAFFIC CALMING. THERE ARE SEVERAL ALTERNATIVES THAT CAN BE EVALUATED BEFORE IMPLEMENTATION. CDOT DOES NOT SUPPORT A ONE-WAY "CHOKER" ALTERNATIVE AT THIS TIME.

PCCO SUMMARY	
Original Parcel ID Number(s):	03304110 & 03304111
Development Type:	Commercial
Subject to PCCO? Y/N	Yes
IF NO, why?	
Watershed:	Western Catawba
Disturbed Area (ac):	107
Site Area (ac):	118.73 - 114.69 After RW Dedication
	DA#1 DA#2
Total on-site Drainage Area (ac):	113.1
Existing Built-upon-area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	3,447,774
Proposed % BUA:	70
Density (High / Low):	High
Total Post-Project BUA for site:	3,447,774
Development or Redevelopment?	Development
Natural Area Required (ac):	499,154
Natural Area provided, total (ac):	502,885
Undisturbed Treated Natural Area Preserved (ac):	502,885
Total stream buffer protected on-site (ac):	No
Transit Station Area? Y/N	No
Distressed Business District? Y/N	No
Mitigation Type (if applicable)	N/A
Natural Area Mitigation? Y/N	No
Buffer Mitigation? Y/N	No
Total Phosphorous Mitigation? Y/N	No



NO.	BY	DATE	REVISION
1	FBL	07/01/16	PER CITY COMMENTS
2	FBL	8/22/16	PER CITY COMMENTS
3	FBL	10/20/16	PER CITY COMMENTS
4	FBL	11/09/16	PER CDOT COMMENTS

Project: RIVERBEND  
MOUNT HOLLY-HUNTERSVILLE ROAD  
CHARLOTTE, NORTH CAROLINA

Title: COVER SHEET

File #: 15023-PB.DWG Date: 12/22/15 Project Egr: FBL

Design By: FBL  
Drawn By: FBL  
Scale: 1"=120'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

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