

LINE TABLE		
LINE	LENGTH	BEARING
L1	45.91	N029°24'E
L2	42.92	N04°02'E
L3	40.20	N55°18"E
L4	38.78	S87°34"E
L5	37.05	S88°00"E
L6	32.01	S86°12"E
L7	28.43	S77°00"E
L8	25.42	N73°30"E
L9	2.29	S60°37"E
L10	43.52	S88°00"E
L11	44.48	N39°32"E
L12	43.52	S88°00"E
L13	68.45	N73°12"E
L14	62.51	N41°32"E
L15	58.00	S81°00"E
L16	50.26	N81°17"E
L17	50.26	S81°00"E
L18	53.68	S54°58"E
L19	36.17	S14°16"E
L20	36.17	S77°00"E
L21	25.48	N85°58"E
L22	35.00	S00°00"E
L23	36.69	S80°25"E
L24	33.59	S56°16"E
L25	33.59	S43°00"E
L26	43.82	N43°57"E
L27	23.55	N73°38"E
L28	45.20	N83°09"E
L29	45.20	N72°28"E
L30	20.34	S59°28"E
L31	14.77	S29°42"E
L32	14.77	S59°28"E
L33	25.57	S44°44"E
L34	25.57	S44°44"E
L35	89.41	S13°42"E
L36	64.19	S17°53"E
L37	64.19	S00°00"E
L38	48.06	N83°08"E
L39	48.06	N83°08"E
L40	74.73	S84°49"E
L41	63.20	S32°08"E
L42	63.20	N11°00"E
L43	26.40	N30°38"E
L44	66.25	S39°18"E
L45	66.25	N72°58"E
L46	57.89	N61°00"E
L47	57.89	N73°00"E
L48	6.65	N81°10"E
L49	28.44	S69°01"E
L50	28.44	S69°01"E
L51	29.42	N83°23"E
L52	29.42	N83°23"E
L53	29.42	S69°00"E
L54	29.42	S69°00"E
L55	69.13	S63°53"E
L56	69.13	N72°58"E
L57	23.55	N24°50"E
L58	23.55	N43°00"E
L59	23.55	N83°08"E
L60	74.29	S76°53"E
L61	74.29	S88°00"E
L62	54.11	N86°35"E
L63	54.11	N86°35"E
L64	11.91	S64°32"E
L65	11.91	S64°32"E
L66	58.39	S69°01"E
L67	58.39	S69°01"E
L68	13.92	S80°08"E
L69	36.98	S95°27"E
L70	36.98	S95°27"E
L71	69.22	N57°23"E
L72	69.22	N57°23"E
L73	5.90	S83°45"E
L74	24.61	S84°00"E
L75	4.96	S00°40"E
L76	4.96	N54°47"E
L77	5.43	S00°40"E

NOW OR FORMERLY
WILLIAM A &
LINDA T HODGES
MB:38-805
DEED:25224-383

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LAKE WYLIE

✓
NOW OR FORMERLY
TIMBERLAKE GOLF CLUB LLC
DEED: 14573-586
TAX #: 217-181-81

EAGLES LAND
THE PALISA
PHASE 5A
T3E MAP
MB:51-3

10' PRIVATE
SEWER LATERAL
EASEMENT
DEED: 23244-824
SAN. 5' CMUD
MB. 49-181
DES PARKWAY
SAN. 5' CMUD

GENERAL NOTES:

A PRELIMINARY PLAN APPROVED UNDER THE PROVISIONS OF THE SUBDIVISION ORDINANCE WILL BE VALID FOR A PERIOD OF THREE YEARS. FOR SUCH APPROVAL TO REMAIN VALID BEYOND THREE, WORK ON THE SITE IN FURTHERANCE OF THE PLAN IS REQUIRED.

THE OWNER WISHES TO SAVE CERTAIN TREES ON THE SITE. PLACE TREE BARRICADES AS SHOWN ON THE PLAN OR AS SPECIFIED BY THE OWNER BEFORE CONSTRUCTION ACTIVITY BEGINS.

THE DEVELOPER SHALL MAINTAIN THE STREAMBED OF EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7080) TO IDENTIFY ANY OF PERSONS WITH TRAFFIC SIGNALIZATION EQUIPMENT, 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.

ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO NCDOT/CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC ROADWAYS.

ALL STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.

"AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DETAILS, MUST BE SUBMITTED PRIOR TO SUBVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

PRIOR TO PLANT RECDORATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE IMPROVEMENT PLAN.

IN ROLLING AND HILLY TERRAINS, SLOPING OF STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

ALL CONSTRUCTION SHALL CONFORM TO CITY OF CHARLOTTE STANDARDS. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.005 SLOPE ON CURB.

NON-STANDARD ITEMS (CURB PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRES A "RIGHT OF WAY ENCROACHMENT AGREEMENT" FROM THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

COORDINATE ALL CURB AND STREET GRADERS IN INTERSECTION WITH INSPECTOR.

CURB AND CUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS 50.05 (5" SIGNS ONLY).

SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.

ALL SEARED SHOP DRAWINGS FOR RETAINING WALL MUSTED BE SUBMITTED TO CITY ENGINEERING PRIOR TO CONSTRUCTION.

SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.

C.O.S. - COMMON OPEN SPACE

C.M. - CONCRETE MONUMENT

ALL CURB AND R/W RADIUS DIMENSIONS ARE 25' UNLESS SHOWN OTHERWISE.

COMMON OPEN SPACE TO BE MAINTAINED BY PAUSADEES HOMEOWNERS ASSOCIATION.

SIDEWALKS ARE TO MEET ALL A.D.A. REQUIREMENTS FOR SLOPE AND FLANG BEING WITHIN TURNAROUND AREA.

BEGIN CONSTRUCTION IN 2014. APPROXIMATELY 5 YEARS TO FULLY BUILD OUT.

ALL RIGHT-OF-WAY AND CURB TAPERS ARE 20.1' UNLESS OTHERWISE NOTED.

ALL ON SITE TOPOGRAPHY IS FROM FIELD SURVEY.

ACCESSIBLE RAMP SHALL BE INSTALLED AT ALL INTERSECTIONS PER CLDS #01.31 10.35.

SANITARY SEWER WILL BE PROVIDED BY CHARLOTTE MECKLENBURG UTILITIES.

ALL ROAD IMPROVEMENTS AT KALABASH ROAD AND CUDY COVE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPIDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) BEFORE PLACED. SHOULDER MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

ANY BUILDING WITHIN THE 100+1 SUBDIVISION ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) STORMWATER ORDINANCE, SECTION 20-25(c).

CERTIFICATION AND STREET GUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT <http://www.charmedot.org/Departments/Transportation/Street+Maintenance/Home.htm>

S.W.E.L. - 100 YR+1 STORM WATER ELEVATION LINE.

THERE SHALL BE NO GRADING INSIDE 100+1 S.W.E.L.

XXXX - STORMWATER PROTECTION ELEVATION (100 YEAR FLOOD ELEVATION PLUS ONE FOOT)(SWE)

XXXX - FLOOD PROTECTION ELEVATION (100 YEAR FMEA FLOOD ELEVATION PLUS TWO FEET) (FPE)

PROJECT INFORMATION
 TOTAL SITE AREA = 75.25 ACRES
 COS = 5.00 ACRES (6.64%)
 LOTS PROPOSED = 134
 TREE SAVE: 11,991 AC.

ZONING: MX-3 PETITION #2001-16(C)
TAX PARCEL: #217-16-106
HEI (NOT WITH): 106

NOTE: PROJECT BENCHMARK USED FOR 100+1 FLOOD STUDY

PROJECT BENCHMARK
 @458 GPS (REBAR FOUND)
 NAD 83 GRID COORDINATES
 N 462,508.9139
 E 139,114.0213
 ELEV: 590.23

LAKE ACCESS LOT CALCULATIONS:
 AREA OF INTERNAL LOTS WITHIN 450' OF LAKE: 648,644 SQ. FT.
 648,644 SQ. FT. X 10% = 64,865 SQ. FT.
 64,865 SQ. FT. > 20,000 SQ. FT.
 LAKE ACCESS REQUIRED (64,865 / 43,560 = 1.49 AC.)
 LAKE ACCESS PROVIDED: 161 AC.

**LOWER LAKE WYLIE WATERSHED
OVERLAY PROTECTED AREA**

HIGH DENSITY IMPERVIOUS AREA CALCULATIONS


SUB BASIN 3: NUMBER OF LOTS = 8 @ 3500 SF = 0.24 AC.
IMPERVIOUS AREA = 26,233 SF(STREETS & SIDEWALK)
TOTAL AREA = 4.52 AC.(LOTS:16-23)

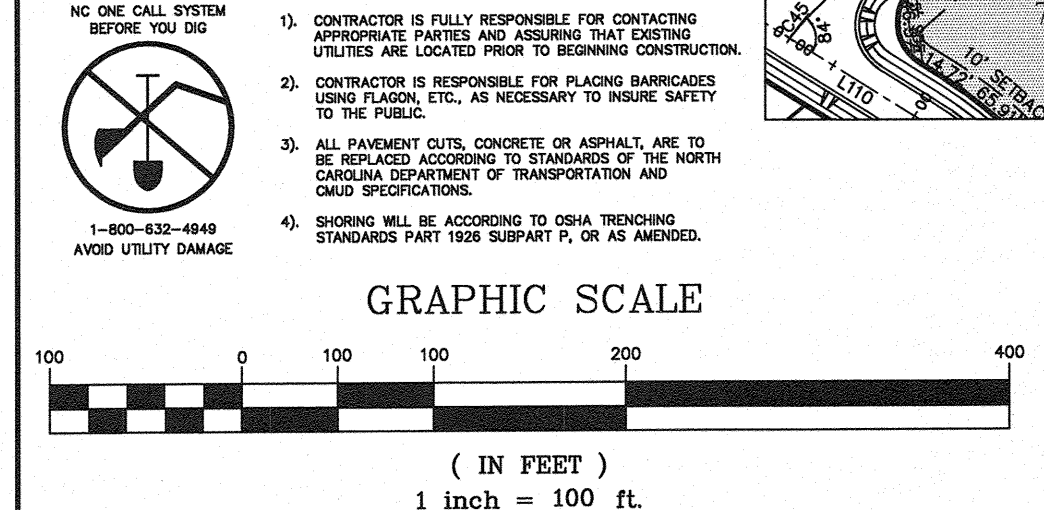
SUB BASIN 4: NUMBER OF LOTS = 30 @ 3500 SF/34 @ 5000 SF = 6.31 AC.
IMPERVIOUS AREA = 155,256 SF(STREETS & SIDEWALK)
TOTAL AREA = 35.83 AC.(LOTS:1-15, 29-43 @ 3500 SF)
(LOTS:24-28,49-65,73-79 @ 5000 SF)

SUB BASIN 5: NUMBER OF LOTS = 28 @ 5000 SF = 3.21 AC.
IMPERVIOUS AREA = 72,810 SF(STREETS & SIDEWALK)
TOTAL AREA = 17.33 AC.(LOTS:66-72, 80-100)

SUB BASIN 6: NUMBER OF LOTS = 33 @ 3500 SF/ 1 @ 5000 = 2.77 AC.
IMPERVIOUS AREA = 91,041 SF(STREETS & SIDEWALK)
TOTAL AREA = 15.00 AC.(LOTS:102-134 @ 3500 SF)
(LOT: 101 @ 5000 SF)

THIS PLAN IS A **FINAL DRAWING-NOT
RELEASED FOR CONSTRUCTION**
UNLESS INITIALED/DATED AS APPROVED:
APPROVED: MM / 3/23/16
INITIALS DATE

8	3/23/06	REVISED UP FOR COMMENTS	WKO
7	12/14/05	REVISED VEGETATED BUFFER	WKO
6	8/13/05	REVISED LOTS 37-42, 45 AND 50E	WKO
5	05/29/05	ADDED ADDRESSES	YMH
4	6/05/04	PER NCDDOT AND CITY ENGINEERING COMMENTS	BTG
3	7/14/04	REVISED PER CITY OF CHARLOTTE AND NCDDOT COMMENTS	WKO
2	06/10/04	REVISED PER NCDDOT AND CITY OF CHARLOTTE COMMENTS	YMH
1	4/17/04	REVISED PER CITY COMMENTS	WKO
NEL	DATE	REVISION	BY
SHEET TITLE			PROJECT NEL
SITE PLAN #1			SCALE 1" = 100'
			DATE 12/09/13
			DRAWN BY BTG CHECKED BY MA/H
PROJECT PALISADES TRACTS 5 & 6 STEELE CREEK TWPSP, MECK. CO., N.C.(CHARLOTTE ETJ) FOR: STANDARD PAVEMENT OF THE CAROLINAS, LLC			DRAWING NO. 235-53
 <p>YARBROUGH-WILLIAMS & HOULE, INC. <i>Planning • Surveying • Engineering</i> 730 Windsor Oak Court (28273) P.O. Box 7007 (28241) Charlotte, North Carolina 704.556.1900 704.556.0050(fax)</p> <p>NC Corporate Registration #C-0475</p>			SHEET 1 OF 47 SHEETS



LINE	LENGTH	BEARING
L18	45.61	N02°24'00"E
L19	47.83	N24°38'32"E
L20	42.39	S89°16'28"E
L21	10.65	S87°54'28"E
L22	37.08	S88°37'28"E
L23	72.01	S86°12'28"E
L24	64.78	S77°23'28"E
L25	43.42	N72°58'32"E
L26	3.26	S40°07'38"E
L27	45.30	N58°31'32"E
L28	44.48	N38°25'32"E
L29	26.12	N68°21'32"E
L30	68.45	N73°12'32"E
L31	62.57	N41°10'32"E
L32	51.89	N44°57'18"E
L33	50.28	N81°17'32"E
L34	51.30	S74°37'28"E
L35	53.88	S54°38'28"E
L36	18.74	S14°16'28"E
L37	30.38	S72°30'38"E
L38	32.45	N80°38'00"E
L39	15.19	S21°12'34"E
L40	36.69	S80°38'42"E
L41	53.59	S58°19'42"E
L42	63.09	S35°38'42"E
L43	19.82	N44°57'18"E
L44	23.58	N72°38'18"E
L45	63.37	S86°37'42"E
L46	45.20	N83°09'18"E
L47	38.81	N72°28'18"E
L48	10.34	S89°29'42"E
L49	141.77	S29°48'42"E
L50	49.28	S28°38'42"E
L51	25.87	S48°44'42"E
L52	14.21	N31°31'18"E
L53	89.41	S13°32'42"E
L54	64.19	S14°53'42"E
L55	38.19	S58°47'18"E
L56	48.08	S75°09'42"E
L57	38.89	N83°08'18"E
L58	94.73	S84°49'42"E
L59	63.20	S32°38'42"E
L60	38.82	N11°17'18"E
L61	28.40	N36°38'18"E
L62	66.29	N58°38'18"E
L63	36.23	N75°31'18"E
L64	57.89	N81°00'14"E
L65	92.18	N79°09'42"E
L66	8.65	N81°10'31"E
L67	29.44	S89°02'18"E
L68	32.30	S81°28'42"E
L69	28.42	N83°23'18"E
L70	6.40	N49°53'18"E
L71	28.45	S89°00'42"E
L72	59.13	S28°53'42"E
L73	51.87	S28°46'42"E
L74	23.52	N24°05'18"E
L75	56.09	N53°48'18"E
L76	28.39	N67°08'18"E
L77	74.29	S75°53'42"E
L78	26.07	S85°41'42"E
L79	24.51	N89°06'18"E
L80	118.91	S84°43'42"E
L81	77.54	S73°37'42"E
L82	26.39	S89°01'42"E
L83	13.88	S49°51'42"E
L84	13.92	S80°08'18"E
L85	30.98	S59°29'37"E
L86	37.34	N43°56'37"E
L87	59.22	N67°23'28"E
L88	14.37	S30°18'45"E
L89	24.81	S89°40'01"E
L90	4.86	S29°40'45"E
L91	11.20	N83°47'43"E
L92	8.43	S09°40'46"E



GENERAL NOTES

A PRELIMINARY PLAN APPROVED UNDER THE PROVISIONS OF THE SUBDIVISION ORDINANCE WILL BE VALID FOR A PERIOD OF THREE YEARS. FOR SUCH APPROVAL, THE PLAN MUST BE SUBMITTED TO THE CITY ENGINEER WITHIN THE PERIOD OF THREE MONTHS AFTER THE DATE OF APPROVAL. THE OWNER MUST MAINTAIN THE STREAMED OF EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTAINED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, CUS JORDI (704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.

ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO NC DOT/CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC ROADS.

ALL STORM PIPE TO BE CLASS III RPP UNLESS OTHERWISE NOTED.

"AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

PRIOR TO PLAT RECDICATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

IN ROLLING AND HILLY TERRAINS, SWEEPING OF STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

ALL CONSTRUCTION SHALL CONFORM TO CITY OF CHARLOTTE STANDARDS. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM 4% GROSS SLOPE ON ALL CURBS.

NON-STANDARD ITEMS (CURBS, PAVEMENT, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRES A "RIGHT-OF-WAY ENCROACHMENT AGREEMENT" WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS 50.05 (9" SIGNS ONLY).

SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.

PC SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.

C.O.S. - COMMON OPEN SPACE

C.M. - CONCRETE MONUMENT

ALL CURB AND R/W RADIUS DIMENSIONS ARE 25' UNLESS SHOWN OTHERWISE.

COMMON OPEN SPACE TO BE MAINTAINED BY PALISADES HOMEOWNERS ASSOCIATION.

SEWERLINES ARE TO MEET ALL A.D.A. REQUIREMENTS FOR SLOPE AND SPACING BETWEEN TURNAROUND AREA.

BEGIN CONSTRUCTION IN 2014. APPROXIMATELY 5 YEARS TO FULL BUILD OUT.

ALL RIGHT-OF-WAY AND CURB TAPERS ARE 20:1 UNLESS OTHERWISE NOTED.

ALL ON SITE TOPOGRAPHY IS FROM FIELD SURVEY.

ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CLDS #10.31 THRU 10.35.

SANITARY SEWER WILL BE PROVIDED BY CHARLOTTE MECKLENBURG UTILITIES.

ALL ROAD IMPROVEMENTS AT KALABASH ROAD AND COZY COVE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SIDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPIDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE SHALL BE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 20-25(f).

CERTIFICATION AND STREET OUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4023) OR VISIT <http://www.charmeck.org/Departments/Transportation/StreetMaintenance/Home.htm>

S.W.E.L. - 100 YR+1 STORM WATER ELEVATION LINE.

THERE SHALL BE NO GRADING INSIDE 100+1 S.W.E.L.

XXX - STORMWATER PROTECTION ELEVATION (100 YEAR FLOOD ELEVATION PLUS ONE FOOT)(SWPE)

XXX - FLOOD PROTECTION ELEVATION (100 YEAR FEMA FLOOD ELEVATION PLUS TWO FEET) (FPE)

NOTE: PROJECT BENCHMARK USED FOR 100+1 FLOOD STUDY

PROJECT BENCHMARK

#149 GPS (REBAR FOUND)

NAD 83 GRID COORDINATES

E 1,392,146.0213

ELEV. 590.23

LAKE ACCESS LOT CALCULATIONS:

AREA OF INTERNAL LOTS WITHIN 450' OF LAKE: 646,644 SQ. FT.

646,644 SQ. FT. X 10% = 64,664 SQ. FT.

64,664 SQ. FT. > 20,000 SQ. FT.

LAKE ACCESS PROVIDED (64,665 / 43,560 = 1.49 AC.)

LAKE ACCESS REQUIRED: 1.61 AC.

THIS PLAN IS A FINAL DRAWING-NOT RELEASED FOR CONSTRUCTION UNLESS INITIALLED/DATED AS APPROVED:

APPROVED: / 10/14/15

INITIALS DATE

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.

1-800-832-1488

AVOID UTILITY DAMAGE

NO ONE CALL SYSTEM BEFORE YOU DIG

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.

2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGGING, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.

3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CITY ENGINEERING.

4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

YARBROUGH WILLIAMS & HOULE, INC.

Planning • Surveying • Engineering

700 Windsor Oak Court (28273) P.O. Box 7007 (28841)

Charlotte, North Carolina 704.558.1990 704.558.0505(fax)

NC Corporate Registration #C-0475

SHEET TITLE

SITE PLAN #2

PROJECT

PALISADES TRACTS 5 & 6

STEELE CREEK TWP, MECK. CO., N.C.(CHARLOTTE ETJ)

FOR: STANDARD PACIFIC OF THE CAROLINAS, LLC

REVISION

4	12/14/15	REVISED VEGETATED BUFFER	WMO
3	08/27/15	ADDED ADDRESSES	WMO
2	9/25/14	PER NC DOT AND CITY ENGINEERING COMMENTS	WMO
1	06/10/14	REVISED PER NC DOT AND CITY OF CHARLOTTE COMMENTS	WMO
ND	DATE	REVISION	BY

PROJECT NDL

SCALE

1"=100'

DATE

12/09/13

DRAWN BY

BTG

CHECKED BY

MAH

PROJECT NDL

235-52

SHT 8 OF 47