

Sheet Index

- Sheet 1 - COVER SHEET
Sheet 2 - EXISTING CONDITIONS PLAN
Sheet 3 - SITE & LANDSCAPE PLAN
Sheet 4 - GRADING & DRAINAGE PLAN
Sheet 5 - PHASE 1 EROSION CONTROL PLAN
Sheet 6 - PHASE 2 EROSION CONTROL PLAN
Sheet 7 - PROFILE SHEET
Sheet 8 - GREEN REA ROAD CROSS-SECTIONS
Sheet 9 - GREEN REA ROAD CROSS-SECTIONS
Sheet 10 - DETAIL SHEET
Sheet 11 - STORMWATER MANAGEMENT PLAN - OVERALL PLAN
Sheet 12 - STORMWATER MANAGEMENT PLAN - LOT INFILTRATION SYSTEMS
Sheet 13 - STORMWATER MANAGEMENT PLAN - LOT INFILTRATION SYSTEMS
Sheet 14 - STORMWATER MANAGEMENT PLAN - STREET INFILTRATION SYSTEM
Sheet 15 - STORMWATER MANAGEMENT - DETAILS

Site Development Data

Tax Parcel No.: 211-183-58
Zoning Jurisdiction: City of Charlotte
Zoning Classification: R-3
Total Site Area: 3.49 acres
Max. No. Lots Allowed: 10 (3.49 x 3.0)
No. lots proposed: 7
R-3 Lot Data:
Minimum Lot Area: 10,000 sq ft
Lot Width: 70' Min.
Minimum Setback: 27'
Minimum Side Yard: 6'
Minimum Side Yard on Corner: 13.5'
Minimum Rear Yard: 45'
Maximum Building Height: 40'
Required Tree Save Area: 0.35 ac. (10%)
Proposed Tree Save Area: 0.36 ac. (10.3%)
Common Open Space Required: 0.0 ac. (0%)
Common Open Space Provided: 0.08 ac. (2.3%)

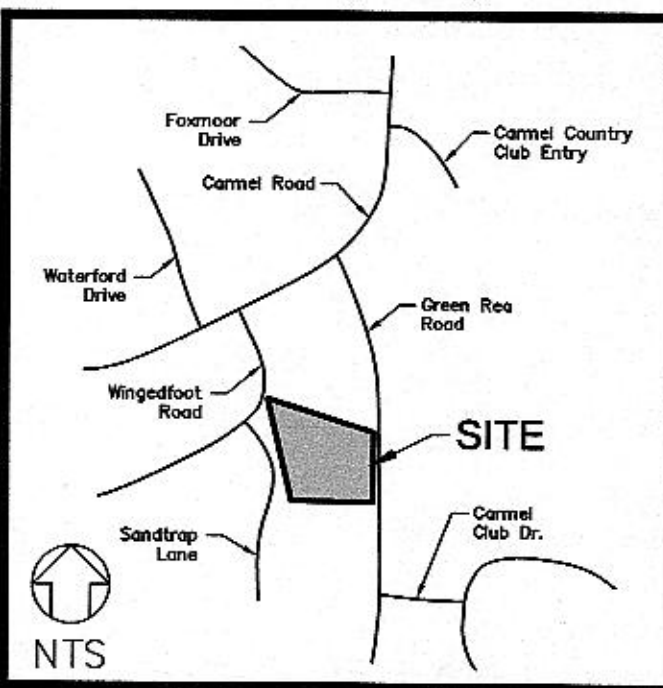
Engineer

Harris Engineering
1325 Harding Place
Charlotte, NC 28204
Phone: (704) 334-1325
Fax: (704) 334-1330
Contact: Wayne M. Harris, P.E.
(wharris@harris-engr.com)

Developer / Builder

Kingswood Custom Homes, Inc.
106 Oakley Avenue, Suite 100
Pineville, NC 28134
Phone: (704) 889-1600
Contact: Brian Hedgepeth
(brian@kingswoodhomes.com)

Vicinity Map



FINAL
APPROVAL

<http://development.charmeck.org>

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

APPROVED

By Brendan Smith at 9:38 am, Jun 22, 2016

APPROVED

APPROVED

By gturner at 7:10 pm, Jun 13, 2016

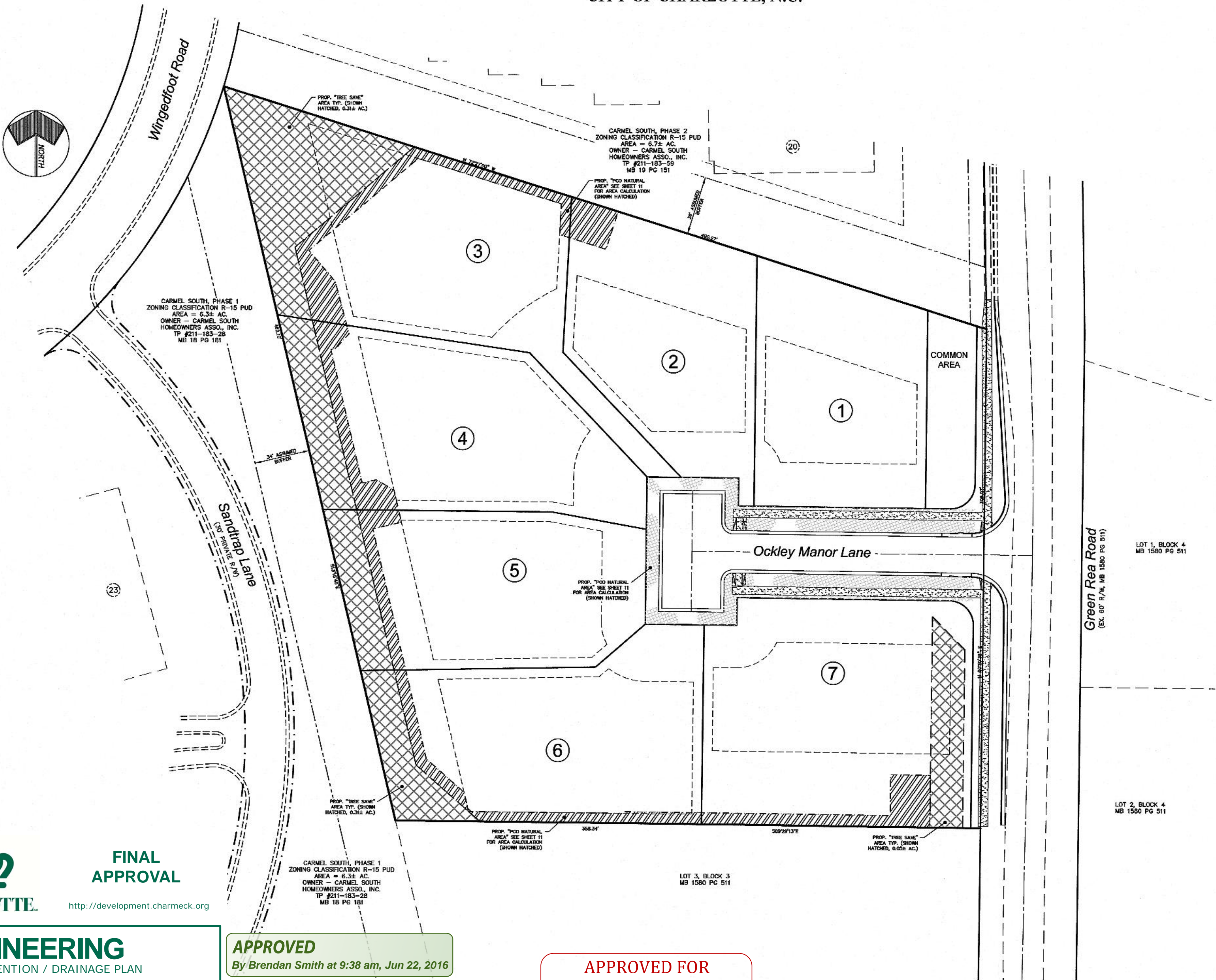
APPROVED

Ockley Manor Subdivision

PRELIMINARY SUBDIVISION PLANS

for
Kingswood Custom Homes

CITY OF CHARLOTTE, N.C.



APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 6-29-2016

General Notes

- This Preliminary Subdivision Plan is submitted, and shall be constructed in accordance with the requirements of the City of Charlotte Zoning and Subdivision Ordinances, and the Charlotte Land Development Standards Manual.
- Boundary information per Boundary Survey prepared by Harris Engineering dated 6/29/15.
- Existing topographic information based on field-run survey performed by Harris Engineering.
- All lot dimensions and Tree Save areas are approximate. Reference record plat for exact lot dimensions and Tree Save areas.
- Approximate completion time is summer 2016.
- No on-site demolition landfills (i.e., Stump Holes) will be located on this site.
- Construction of all development improvements shall be in accordance with the Charlotte Land Development Standards Manual (CLDSM). See Sheet 10 for site-related details. The following additional details are included by reference:

Item	Standard No.
Curb & Gutter	10.17 (CLD)
Curb Transition	10.19 (CLD)
Concrete Sidewalk	10.22 (CLD)
Catch Basin Location	10.29 & 10.30 (CLD)
Accessible Ramps	10.33 (CLD)
Brick Catch Basin	840.01 & 840.02 (NCDOT)
Street Name Sign	50.05 (CLD)
Concrete Monument	50.03 (CLD)
- All storm drainage pipe shall be Class 3 Reinforced Concrete Pipe (RCP) unless otherwise noted. Pipe lengths indicated on the plans are approximate and are subject to change due to field conditions.
- See Sheets 5 & 6 for Erosion Control Plan information and notes. See Sheet 10 for Erosion Control Details.
- Site development and Grading Permit shall be in accordance with the Charlotte City Code. Encroachment agreements may be required for work within existing rights-of-way.
- The Chief Subdivision Inspector shall be given 48 hours advance notice prior to commencement of construction.
- Sidewalk Note: The Contractor shall coordinate with the Subdivision Inspector for the latest revision of the Handicap Ramp Detail(s) prior to placement of any sidewalk or handicap ramps.
- Coordinate all curb and street grades in intersections with the City Inspector.
- All road improvements at the tie-in to existing Green Rea Road shall be coordinated with City Engineering Department prior to construction.
- The developer shall provide street signs at all intersections per CLDSM Std. #50.05 (9" signs only).
- Direct vehicular access to Green Rea Road from Lots 1 & 7 is prohibited.
- Sight Triangles shown are the minimum required.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owner(s).
- To insure proper drainage, minimum curb and gutter grade shall be 0.50%.
- Subsurface drainage facilities may be required in the street right-of-way as deemed necessary by the Inspector.
- Curb & gutter shown on the plans along Green Rea Road may be adjusted based on field staking by City Engineering. Any associated storm drainage may also require modification based on field conditions.
- The purpose of the "Storm Drain Easement" (SDE) is to provide storm water conveyance. Structures are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public street rights-of-way must be approved by the City Inspector prior to any backfill placement. Backfill material must be approved by the City Inspector prior to placement of the material within the public right-of-way.
- The Developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- P.E. sealed shop drawings for any proposed retaining walls must be submitted to City Engineering prior to construction.
- "As-Built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City of Charlotte Engineering Department in accordance with the City of Charlotte Subdivision Ordinance.
- Prior to installation, P.E. sealed shop drawings for underground detention systems must be furnished to City of Charlotte Engineering for approval.
- All non-standard items (i.e., pavers, irrigation systems, etc.) in the right-of-way require a right-of-way encroachment agreement with CDOT prior to installation.
- Prior to issuance of the Certificate of Occupancy, surveyor sealed as-built drawings of all water quality BMPs and detention systems must be provided.
- Prior to plat recording, any off-site R/W and/or construction easements are required to be obtained according to the guidelines of the "Off-site R/W Acquisition Process". Any required off-site R/W and/or easements shall be clearly shown on the roadway improvement plan.
- Per Section 18-175(e) of the City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCEs) must be recorded prior to issuance of the Certificate of Occupancy.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jodi, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. The Developer shall be responsible for all related relocation cost and/or repair cost caused by the Contractor/Developer.
- Certification and Street Cut Permits are required for utility cuts on City streets. Allow 7 days processing for permits. For information, contact the Charlotte Department of Transportation (704-336-4025) or visit <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm>.
- Any work within the City's R/W that requires closure of the sidewalk or travel lane for less than 30 days requires a R/W Use Permit. Traffic control plans for any sidewalk or travel lane closures must be submitted as part of the R/W use permit request. Traffic control plans must be in accordance with CDOT's Work Area Traffic Control Handbook (WATCH) and must be reviewed and approved. Contractor shall contact CDOT at least 5 business days in advance of beginning of work at (704) 432-1562.
- Construction staging within City R/W lasting more than 30 days requires a R/W Lease agreement. Contractor shall contact CDOT at (704) 336-2562.
- Right-of-way closures longer than 30 days require a R/W Lease agreement which will include the submittal of a traffic control plan. Traffic control plans required through a lease agreement may be different from the one required during the Land Development plan review and are subject to revisions. The revised traffic control plans must be submitted as part of the lease agreement process for approval prior to start of R/W closures. Contractor shall contact CDOT at (704) 336-2562.
- Common Open Space shall be conveyed to the Ockley Manor Homeowners Association.
- See Sheet 3 for Landscape Plan information (street trees) and Notes. See Sheet 10 for details related to tree protection and tree planting.
- The temporary on-site benchmark used as the basis for all on-site surveys is a Sanitary Sewer manhole located on the east side of Green Rea Road, approximately 77' south of the proposed intersection of Green Rea Road and Ockley Manor Lane, rim elevation = 614.29 (NAVD 88).



HARRIS ENGINEERING
Engineering
Planning • Surveying

1325 Harding Place
Charlotte, NC 28204
704.334.1325
704.334.1330 Fax
NC #C-1170 & SC #C00946

COVER SHEET

Ockley Manor

KINGSWOOD CUSTOM HOMES, INC.
106 OAKLEY AVENUE, SUITE 100 PINEVILLE, NC 28134

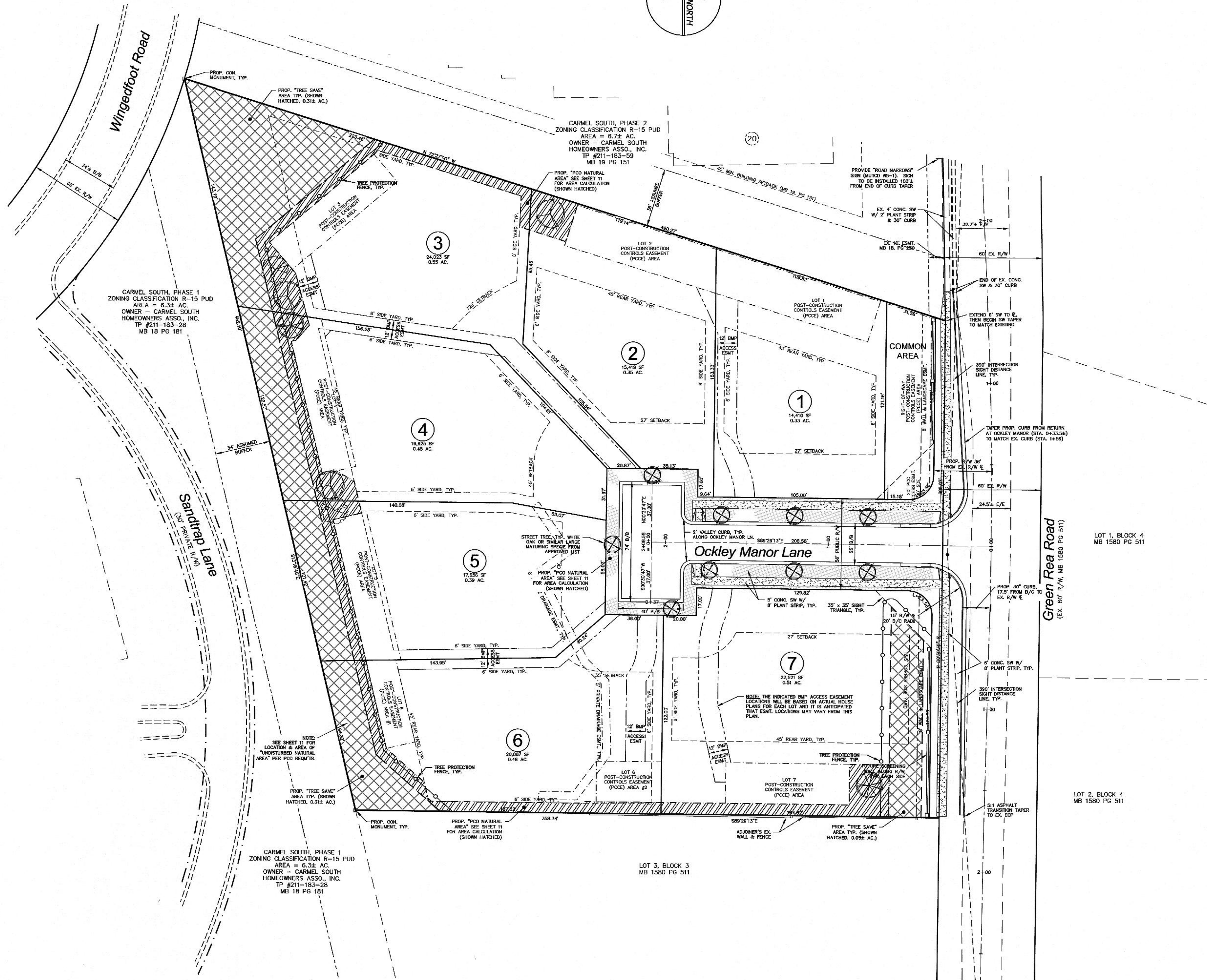
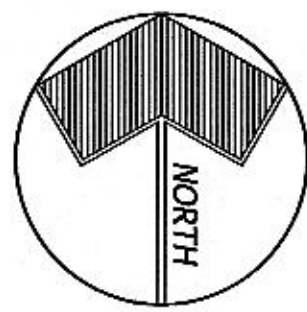
Revisions
#1 - 3/27/16: Revised Sheets 4-6 & 8-14, and added Sheet 15 per
#2 - 5/22/16: Revised Sheets 3-8 and 11-14 per review comments

Job No. 21520
Date 12/21/15
Proj. Mgr. WMH
Drawn EAB/WMH



Scale: NOTED

Sheet No. 1
of 15



Tree Protection & Landscaping Notes

- All trees shall be planted in accordance with CLDSM Std. Details 40.01 & 40.09.
- Street trees shall be provided which will meet or exceed the standards of the Charlotte Tree Ordinance. Reference Site Plan for approximate tree locations. Street trees shall be White Oak or similar large maturing variety selected from the City of Charlotte approved tree list.
- All strapping and top 2/3 of wire basket must be cut away and removed from the root ball prior to backfilling planting pit. Remove top 1/3 of burlap from root ball.
- For new planting areas, remove all construction debris. Un-compact and amend the top 24" of existing soil to meet topsoil/planting mix standards for trees.
- Large maturing trees may not be planted where overhead distribution or transmission lines exist. If trees conflict with power lines or signs, call the urban forester to resolve before planting.
- Adjust tree planting locations to avoid conflicts with underground utilities and/or proposed driveway locations.
- New trees shall be a minimum of 8' tall & min. 2" caliper for street tree requirements.
- No heritage trees are present on this site.
- Reference Sheets 4, 5 & 6 for proposed grading & erosion control information.
- Final location of required "10% tree save" areas may vary from the locations indicated on this plan, but will be identified and shown on the final plat. Additional trees will be provided as required to insure compliance with the requirement of 18 trees per acre.
- Major revisions to tree save areas will require a preliminary plan revision before planting.
- Contact Urban Forestry Specialist, Gary Turner at 704-336-4330 concerning landscape questions.

Tree Planting and Preservation Reqm'ts.

- Plant Material**
- Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be true form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified/required the minimum height shall be 10' tall. If multi-stem trees are specified then they shall be a minimum of 12' tall.
 - All new trees must have straight trunks with strong central leaders intact to the top of the crown, unless multi-stem trees are specified. All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with major girdling roots will NOT be accepted. Trees with co-dominant branching will NOT be accepted. Trees that have been sheared, topped or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and cracks. All pruning cuts greater than 1/2 inch diameter shall have callus tissue formed prior to planting. No pruning cut on the trunk shall be more than one-half the diameter of the central leader at the height where the cut was made. Root flares shall be located at grade. Trees with more than 2" of soil covering the root ball/flare from will NOT be accepted (CLDSM 40.09).
 - Size of required plants, spread of roots and size of bolls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
 - All required trees of a particular species and variety shall be uniform in size and configuration.
 - Perimeter trees in urban zones shall be 3" in caliper and be free of branches up to 6' from the top of root crown (ball).
 - A minimum of 50% of new trees must be native species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
 - 75% of required trees must be large mature species except in situations with overhead power line conflicts.

- Planting Requirements**
- See CLDSM 40.01 & 40.09 (on plan) for detailed tree planting requirements.
 - Plastic hose parts will NOT be accepted for tree staking. See CLDSM 40.01 for approved staking methods/materials.
 - All strapping, and top 1/3 of wire basket and burlap must be cut away and removed from root ball when planting.
 - For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 24" new topsoil, or till and amend the top 24" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet per large mature tree and 200 square feet per small mature tree).
 - Trees planted on public property will need approval from the City Arborist and/or NCDOT.
 - Review soil requirements in the Tree Ordinance Guidelines at: <http://landpermits.charmeck.org> then click Trees.

- Utility Issues**
- If any utility is being installed in or near any required tree(s) or Tree Save Area(s), call Urban Forester to resolve prior to utility installation.
 - Large maturing trees may not be planted within 25' of overhead power distribution or transmission lines.
 - If trees conflict with any utilities or signs, call Urban Forester to resolve BEFORE planting.
 - Adjust tree planting locations to avoid existing underground utilities. Plant 15' from all underground utilities.
 - No light poles, utilities or transformers can be installed in tree islands.
 - Commercial scale lighting (> 15' in height) must be a minimum distance of 30' from a tree. Pedestrian scale lighting (< 15' in height) must be a minimum distance of 15' from a tree. Show site lighting on landscape plan.

- Tree Save and Preservation**
- Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
 - Show tree protection and tree save areas on erosion control, grading and landscape plan sheets.
 - Commercial tree save areas must be recorded on a final plat with the Mecklenburg County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.
 - Tree Save Areas shall be free of invasive plant species. If an area proposed for tree save contains invasive plant species at time of proposal, such invasive plant species shall be removed prior to final CO.
 - The area of any easements (water, sewer, utility, etc.) can NOT be counted toward the tree save requirement.
 - Any alterations to tree save areas must be accomplished without mechanized equipment.
 - No structure will be allowed within 10' of tree save areas unless approved by Urban Forestry.
 - All trees on public property are protected and removal must be permitted by the City Arborist (704)336-4262.
 - All open areas within Tree Save Areas are to be planted with several large maturing tree species at a rate of 36 trees per acre.

- General**
- Call for an inspection of tree protection/planting areas, a minimum of 5 days before a CO is needed.
 - Visit City of Charlotte's Land Development website for additional information and urban forestry requirements: <http://landpermits.charmeck.org> then click Trees.

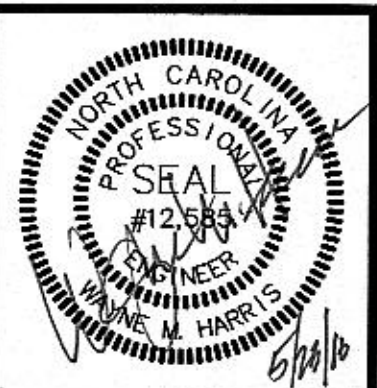
PROPOSED SITE & LANDSCAPE PLAN

Ockley Manor
KINGSWOOD CUSTOM HOMES, INC.

106 OAKLEY AVENUE, SUITE 100 PINEVILLE, NC 28134

Job No. 21520
Date 12/21/15
Proj. Mgr. WMH
Drawn EAB/WMH

Scale: 1" = 30'
Sheet No. 3
of 15



Scale: 1" = 30'
Sheet No. 3
of 15