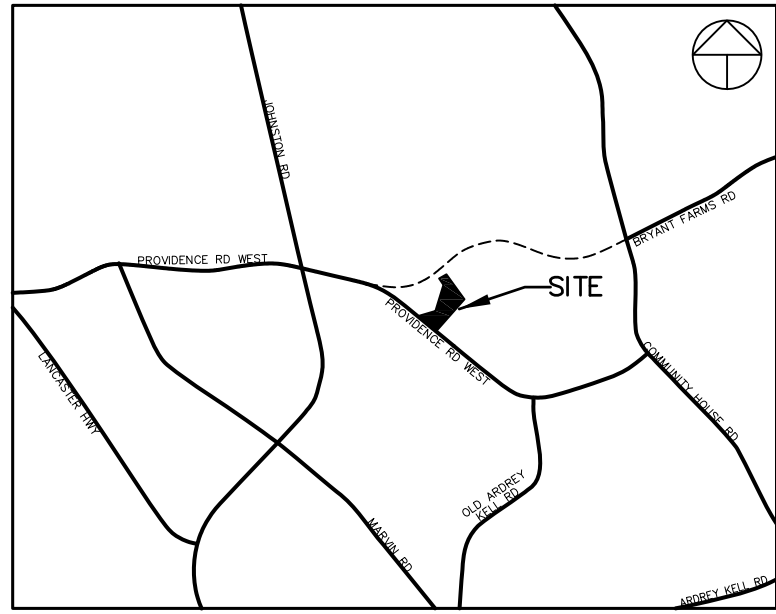


P:\2014 Jobs\14035 - Oakhaven Ryland\CAD\14035 Site Plan.dwg



VICINITY MAP
NTS

DEVELOPMENT STANDARDS PETITION #2013-069

- GENERAL PROVISIONS**
 - These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by The Ryland Group, Inc. to accommodate the development of a 19 lot single family residential community on that 5 acre site located on the north side of Providence Road West near the intersection of Tolliver Drive and Providence Road West (the "Site").
 - The use and development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
 - Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-1 zoning district shall govern the use and development of the Site.
 - The depiction and layout of the internal street, the lots and other improvements to be developed on the Site are conceptual in nature and may be altered or modified during design development and construction phases subject to the requirements of the Ordinance and the Rezoning Plan.
 - Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Section 6.207 of the Ordinance.
- PERMITTED USES**

The Site may only be devoted to a maximum of 19 single family detached homes and to any accessory uses relating thereto that are permitted under the Ordinance.
- TRANSPORTATION**
 - Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
 - Petitioner will construct a left turn lane with 150 feet of storage on Providence Road West to serve the Site.
 - Petitioner shall dedicate and convey (by quitclaim deed and subject to a reservation for any necessary utility easements) those portions of the Site immediately adjacent to Providence Road West as required to provide right of way measuring 30 feet from the existing centerline of Providence Road West if such right of way does not currently exist. Petitioner shall dedicate and convey such right of way with the final platting of the Site.
 - Driveways and parking pads shall have a minimum length of 20 feet measured from the back of the sidewalk.
- ARCHITECTURAL STANDARDS**
 - Submitted with this Rezoning Plan and a part hereof is a booklet containing schematic architectural renderings of the front elevations of the single family detached homes proposed to be constructed on the Site that are intended to depict the general conceptual architectural style and character of the front elevations of such single family detached homes. Accordingly, each single family detached home constructed on the Site shall be designed and constructed so that the front elevation of such single family detached home is substantially similar in appearance to one of the schematic architectural renderings contained in the booklet. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.
 - The exterior of the side and rear elevations of each single family detached home constructed on the Site shall be all brick, excluding windows and trim.
 - The permitted exterior building materials for the front elevation of each single family detached home shall be face brick, manufactured stone, architectural block or similar masonry materials, stucco and cementitious siding and shake or a combination thereof.
 - Vinyl siding shall not be a permitted exterior building material. However, vinyl accents, such as trim components, shall be permitted, vinyl may be utilized on the soffits of the single family detached homes and vinyl windows may be installed on the single family detached homes.
- STREETSCAPE AND LANDSCAPING**
 - Landscaping will meet or exceed the requirements of the Ordinance.
 - The streetscape treatment along the new public street will meet or exceed the standards of the Ordinance and shall include large maturing trees.
 - Petitioner shall install an 8 foot planting strip and a 6 foot sidewalk along the proposed internal local residential medium street.
 - Petitioner shall install an 8 foot planting strip and a 6 foot sidewalk along the Site's frontage on Providence Road West.
 - Any sidewalk located outside of right of way shall be located within a minimum 2 foot utility easement from back of curb.
 - Prior to the issuance of a building permit for the construction of a single family detached home on any of the lots designated as Lot 9, Lot 10 or Lot 11 on the Rezoning Plan, the Petitioner shall install the following:
 - A 6 foot tall shadowbox fence along the rear property line of Lot 9, the rear property line of Lot 10 and a portion of the rear property line of Lot 11 as depicted on the Rezoning Plan. The 6 foot shadowbox fence must be substantially similar in appearance to the fence depicted on the fence detail on the Rezoning Plan.
 - Trees and shrubs along the rear property line of Lot 9 and the rear property line of Lot 10 as depicted on the Rezoning Plan. The location and types of trees and shrubs to be installed are identified on the Rezoning Plan.
- ENVIRONMENTAL FEATURES**
 - The Site shall comply with all applicable environmental regulations.
 - Petitioner shall comply with the adopted post construction controls ordinance. The location, size and type of storm water management system as depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- PARKS, GREENWAYS AND OPEN SPACE**

Approximately 0.75 acres of open space shall be provided as generally depicted on the Rezoning Plan.
- BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS**
 - If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
 - Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
 - Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



FINAL
APPROVAL

<http://development.charmeck.org>

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

APPROVED

By Brendan Smith at 3:19 pm, Jan 21, 2016

APPROVED

APPROVED

By gturner at 8:56 am, Feb 01, 2016

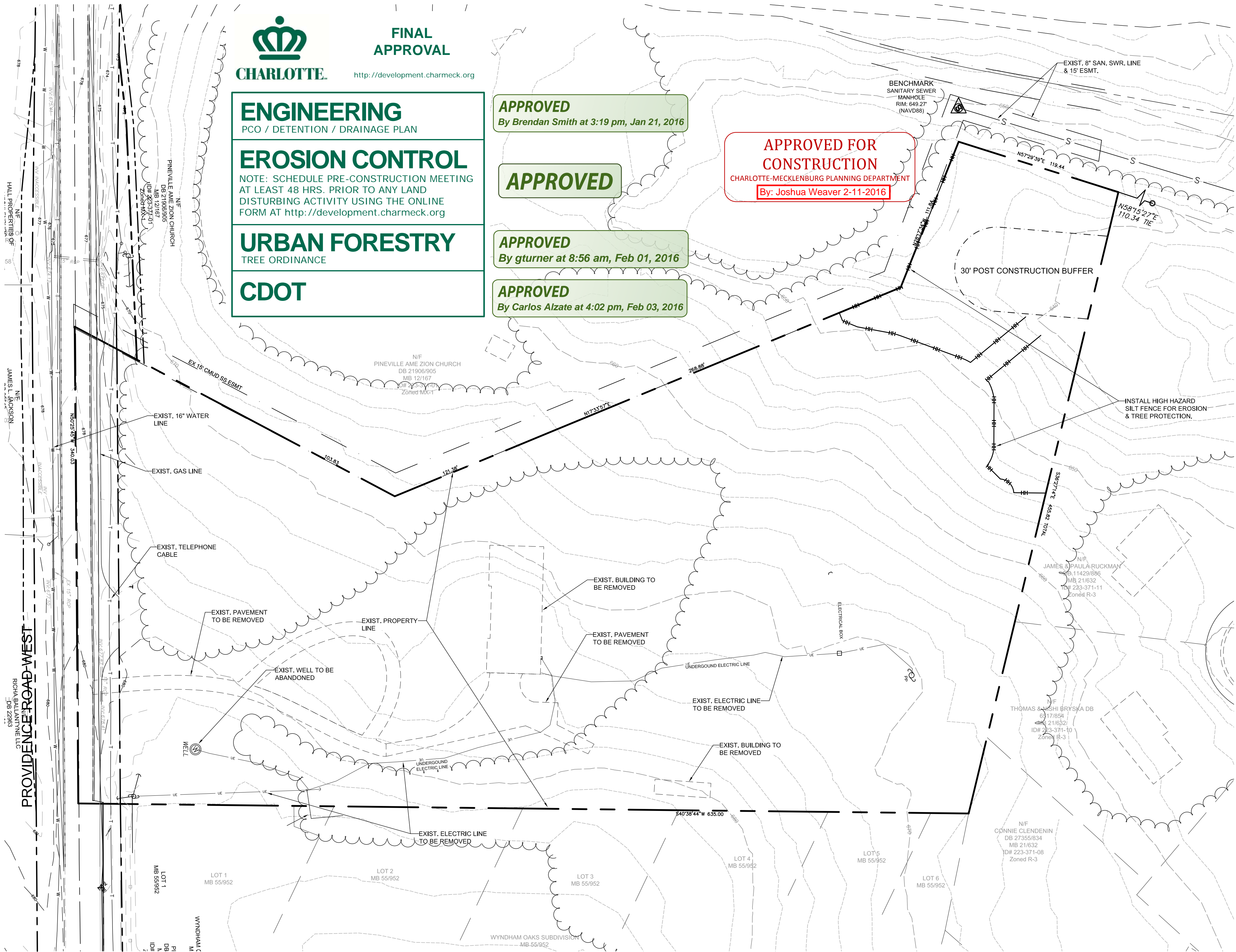
APPROVED

By Carlos Alzate at 4:02 pm, Feb 03, 2016

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 2-11-2016



DRAWING INDEX

EXISTING CONDITIONS
SITE PLAN
GRADING PLAN & STORM DRAINAGE PLAN
WATER QUALITY SAND FILTER #1
DRAINAGE AREA PLAN
EROSION CONTROL PLAN - PHASE 1
EROSION CONTROL PLAN - PHASE 2
PROVIDENCE ROAD WEST IMPROVEMETS
PROVIDENCE ROAD TRAFFIC CONTROL
PROVIDENCE ROAD WEST CROSS-SECTIONS
PROVIDENCE ROAD WEST CROSS-SECTIONS
PROVIDENCE ROAD WEST CROSS-SECTIONS
PROVIDENCE ROAD WEST SIGHT DISTANCE
OAKHAVEN GLEN LANE PROFILE & DETAILS
SITE DETAILS
EROSION CONTROL DETAILS

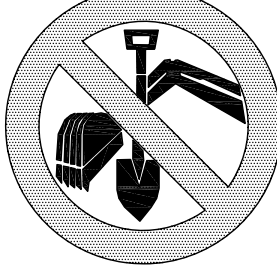
DEMOLITION GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMIT PRIOR TO ANY DEMOLITION.
- THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY GRADING OR DEMOLITION WORK.
- ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS.
- NOTE TO CONTRACTOR: POST CONSTRUCTION BUFFER IS PRESENT. STREAM SIDE ZONE OF THE BUFFER IS TO BE LEFT COMPLETELY UNDISTURBED EXCEPT WHERE SANITARY SEWER CONNECTION IS MADE. REQUIRED 30' FROM EDGE OF WATER (HORIZONTALLY). LOCATION ON PLANS IS APPROXIMATE, BASED UPON DATA PROVIDED BY SURVEYOR AND MECKLENBURG COUNTY. SOME FIELD ADJUSTMENT OF BUFFER LINE MAY BE REQUIRED.
- REFER TO EROSION CONTROL PLANS FOR LIMITS OF DISTURBANCE.

0 40' 80' 160'

SCALE: 1" = 40'

WARNING!



This Plan Is A
Preliminary Design.
NOT Released For
Construction.

REVISIONS:

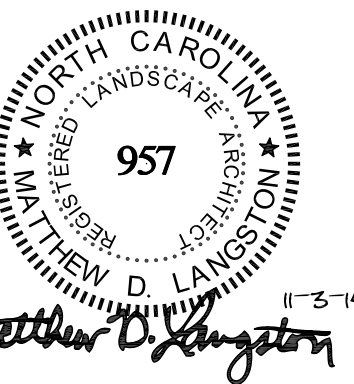
No.	Date	By	Description
1	11/10/15	SMW	REV. PER CITY COMMENTS AND REMOVED 0.11 AC. CHURCH PROPERTY

Landworks
Design Group, P.A.
7671 Little Ave. Suite 111
Charlotte, NC 28226
704-841-1804 Fax: 704-841-1804

OAKHAVEN SUBDIVISION
RYLAND HOMES
CHARLOTTE, NC

EXISTING CONDITIONS

seals

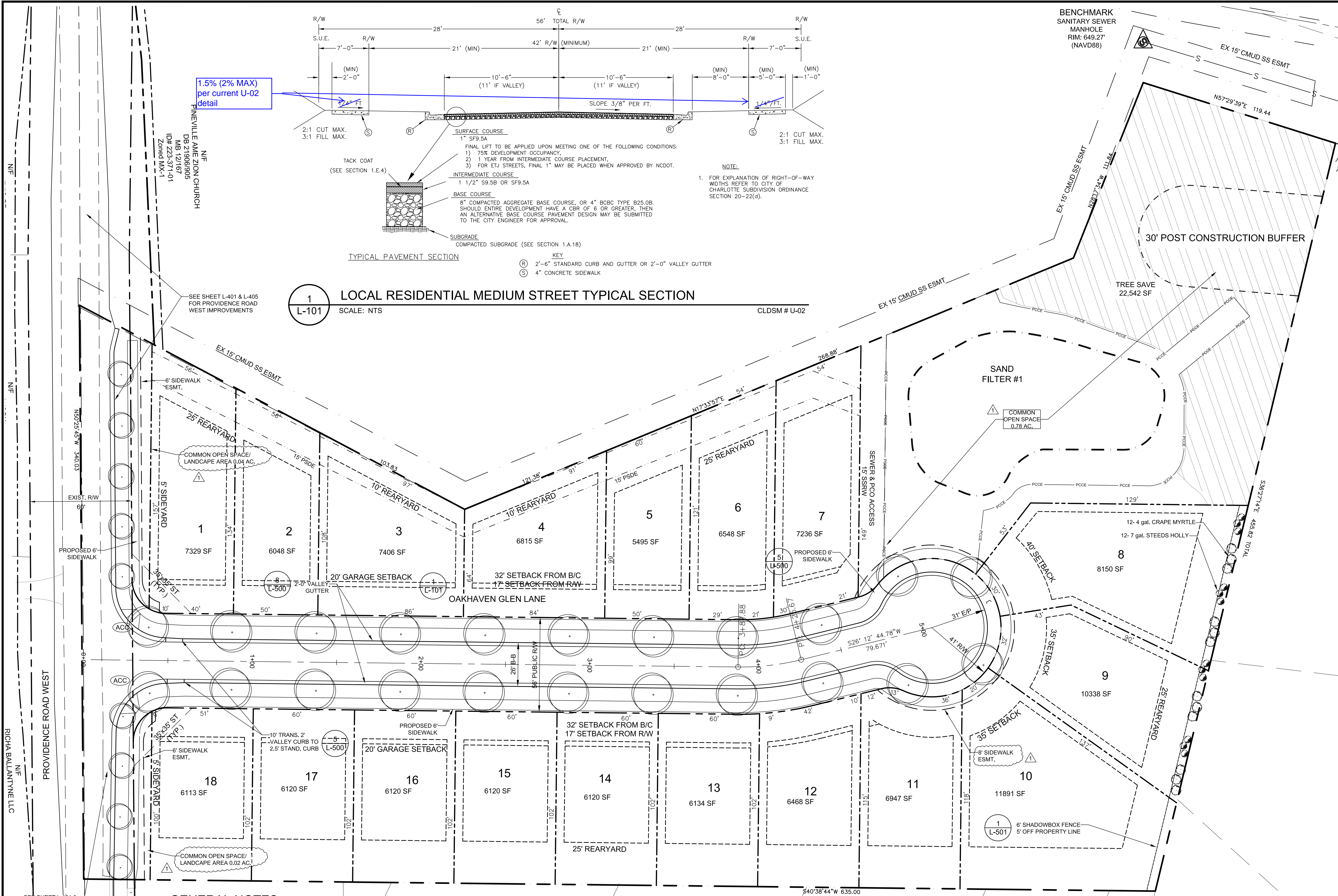


CORPORATE CERTIFICATIONS
NC PE : C-2930 NC LA : C-253

Project Manager: MDL
Drawn By:
Checked By:
Date: 11/3/2014
Project Number: 14035
Sheet Number:

L-100

SHEET 1 OF 16

**GENERAL NOTES:**

- BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY SURVEY BY CAROLINA SURVEYORS, INC., DATED 1/7/14.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT SHARON ACRES DRIVE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DIRECT VEHICULAR ACCESS TO PROVIDENCE ROAD WEST FROM LOTS 1 & 18 IS PROHIBITED.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG SHARON ACRES DRIVE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- APPROXIMATE TIME OF COMPLETION OF INFRASTRUCTURE: 12 MONTHS
- CURB CUTS IN GUTTER TO SERVE LOTS TO BE COORDINATED WITH BUILDER.
- SEE GRADING PLANS FOR S.W.I.M. BUFFER NOTES.
22. THERE WILL BE NO DEMOLITION/LANDFILL ON SITE.

TREE ORDINANCE NOTES

- MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES).
- ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- PLEASE CALL (704) 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704)336-5752 OR (704)336-5753.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.
- THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) THAT PASS THROUGH TREE SAVE AREAS CANNOT BE COUNTED TOWARD THE REQUIRED TREE SAVE REQUIREMENT.

LEGEND

- SETBACK LINE
- PROPERTY LINE
- S.W.I.M. STREAM BUFFER
- PROPOSED ACCESSIBLE CURB RAMP
- PROPOSED STREET TREE (FROM CHARLOTTE APPROVED TREE LIST)
- TREE SAVE AREA
- EXISTING TREE

SITE DEVELOPMENT DATA

TAX PARCEL NO.	22337104
PROPERTY OWNER:	THE RYLAND GROUP, INC.
ZONING:	UR-1 (CD) Petition #2013-069
JURISDICTION:	CITY OF CHARLOTTE
PROPOSED LOTS:	18
TOTAL ACREAGE:	4.99
DENSITY PROPOSED:	3.5 DU/AC
MINIMUM LOT WIDTH:	50'
MINIMUM SETBACK:	32' FROM B/C
GARAGE SETBACK:	20' FROM R/W
MINIMUM SIDE YARD:	5'
MINIMUM REAR YARD:	25'
MINIMUM LOT AREA:	3,000 S.F.
MAX. BUILDING HEIGHT:	40'
MIN. OPEN SPACE:	0.75 AC. (15% PER REZONING PLAN)
PROP. OPEN SPACE:	0.84 AC. (16.8%)

TREE SAVE CALCULATIONS

OVERALL SITE AREA:	217,364 S.F.
MINUS DEDICATED R/W:	-9,966 S.F.
NET SITE AREA:	-207,398 S.F.

TREE SAVE REQUIRED (10%):	20,740 S.F.
TREE SAVE PROVIDED:	22,542 S.F. (10.4%)

NOTE: NO HERITAGE TREES HAVE BEEN OBSERVED ON SITE.

STREET TREE CALCULATIONS

	FRONTAGE	TREES REQ'D.	TREES PROV.
PROVIDENCE ROAD WEST:	271'	9 (30' O.C.)	9 (SMALL MATURING)
OAKHAVEN GLEN DRIVE:	1064'	21 (50' O.C.)	22 (LARGE MATURING)

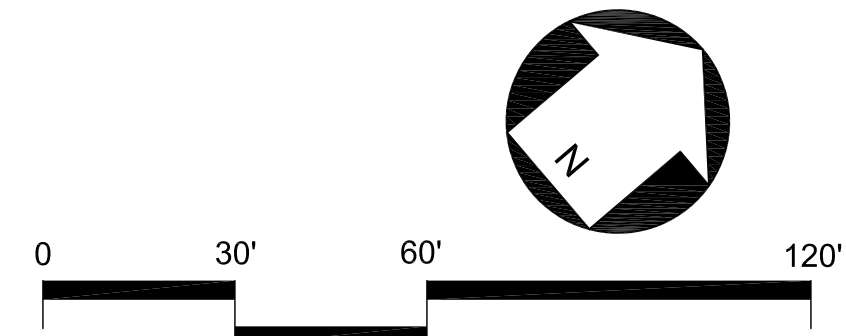
NOTE: PROVIDENCE ROAD WEST FRONTAGE EXCLUDES NEW R/W.

TREE PLANTING NOTES

- SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.
- PROPOSED STREET TREES SHALL BE 2" CALIPER, LARGE MATURING, AND SHALL BE SELECTED FROM THE CITY OF CHARLOTTE APPROVED PLANTING LIST. COORDINATE WITH OWNER.
- STREET TREE SPACING: 30'-50' O.C.
- PROPOSED STREET TREES SHALL BE GENETIC CLONES (CULTIVARS), SELECTED FOR UNIFORMITY. TREES SHALL MEET REQUIREMENTS OF AMERICAN STANDARDS FOR NURSERY STOCK FOR THEIR GIVEN SPECIES AND SHALL BE SINGLE-STEM, WITH A STRONG CENTRAL LEADER.
- STREET TREES PLANTED WITHIN THE INTERSECTION SIGHT TRIANGLES SHALL BE 12'-14' MIN. HT. AT PLANTING, WITH NO BRANCHES BELOW 6' ABOVE ADJACENT GRADE.

IMPERVIOUS CALCULATIONS:

BUILDING AREA:	64,800 S.F.
STREET & SIDEWALKS:	26,565 S.F.
DRIVEWAY APRONS WITHIN R/W:	3600 S.F.
ASSUMED WYNDHAM OAKS IMP.:	9444 S.F.
TOTAL IMPERVIOUS AREA:	104,409 S.F. (2.4 AC.)
MAX. IMPERVIOUS PER LOT:	3,600 S.F.
TOTAL SITE AREA:	4.99 AC.
DRAINAGE AREA TO BMP:	5.26 AC.
TOTAL % IMPERVIOUS:	2.4/5.26 = 45.6%

**WARNING!****REVISIONS:**

No.	Date	By	Description
1	11/10/15	SMW	REV. PER CITY COMMENTS AND REMOVED 0.11 AC. CHURCH PROPERTY
2	1/14/16	PGJ	REV. PER CITY COMMENTS

seals

CORPORATE CERTIFICATIONS
NC PE - C-2930 NC LA - C-253

Project Manager: MDL

Drawn By:

Checked By:

Date: 11/3/2014

Project Number: 14035

Sheet Number: