

# MORNINGSIDE MEWS TOWNHOMES - PHASE ONE

CHARLOTTE, NORTH CAROLINA

PREPARED FOR:

THE DRAKEFORD  
COMPANY  
1914 Brunswick Avenue  
Charlotte, NC 28207

PREPARED BY:



Wirth & Associates

LANDSCAPE ARCHITECTS AND LAND PLANNERS

1230 W. Morehead St. Suite 212

Charlotte, NC 28208

Phone: 704-375-1588 Fax: 704-375-3844

Email: gwirth@wirthassociates.com

DRAWINGS ISSUED:

12.21.2015100% CONSTRUCTION DOCUMENTS

DRAWINGS REVISED:

03.07.2016PER CITY COMMENTS

## DRAWING LIST - 100% CONSTRUCTION DOCUMENTS

SHEET NO.	SHEET TITLE
CIVIL PLANS	
L1.0	EXISTING CONDITIONS PLAN
L2.0	DEMOLITION PLAN
L3.0	SITE PLAN
L3.1	SIGHT DISTANCE PLAN & PROFILE
L3.2	TRAFFIC CONTROL PLAN
L3.3	CROSS SECTIONS
L4.0	GRADING PLAN
L5.0	PLANTING PLAN
L6.0	SITE DETAILS
C1.0	UTILITY PLAN AND NOTES
C1.1	UTILITY DETAILS

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 4/12/16



FINAL  
APPROVAL

http://development.charmeck.org

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

APPROVED

By Robert Zink at 2:32 pm, Apr 11, 2016

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING  
AT LEAST 48 HRS. PRIOR TO ANY LAND  
DISTURBING ACTIVITY USING THE ONLINE  
FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

APPROVED

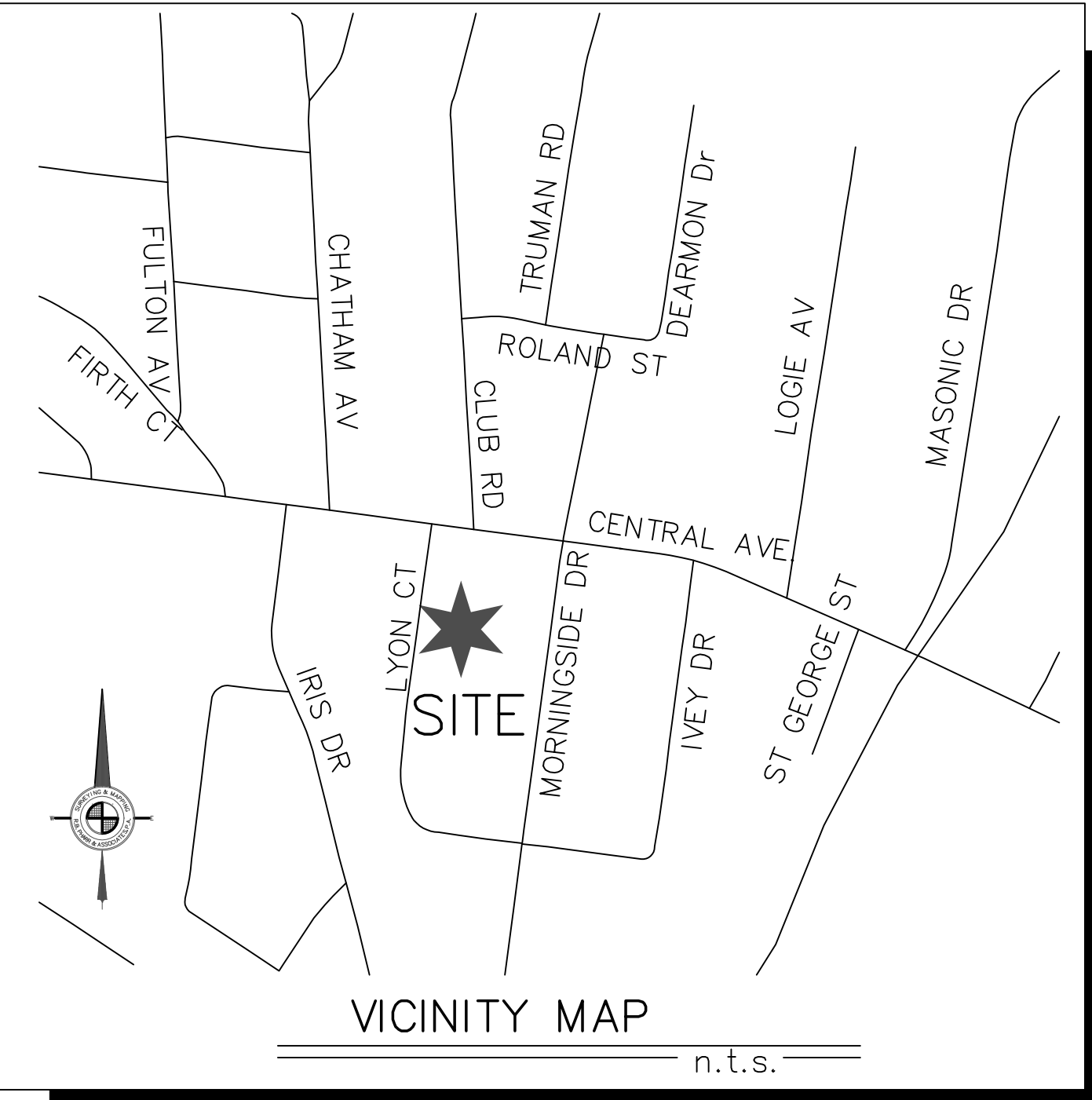
with comments

By Laurie Reid Dukes at 4:36 pm, Mar 24, 2016

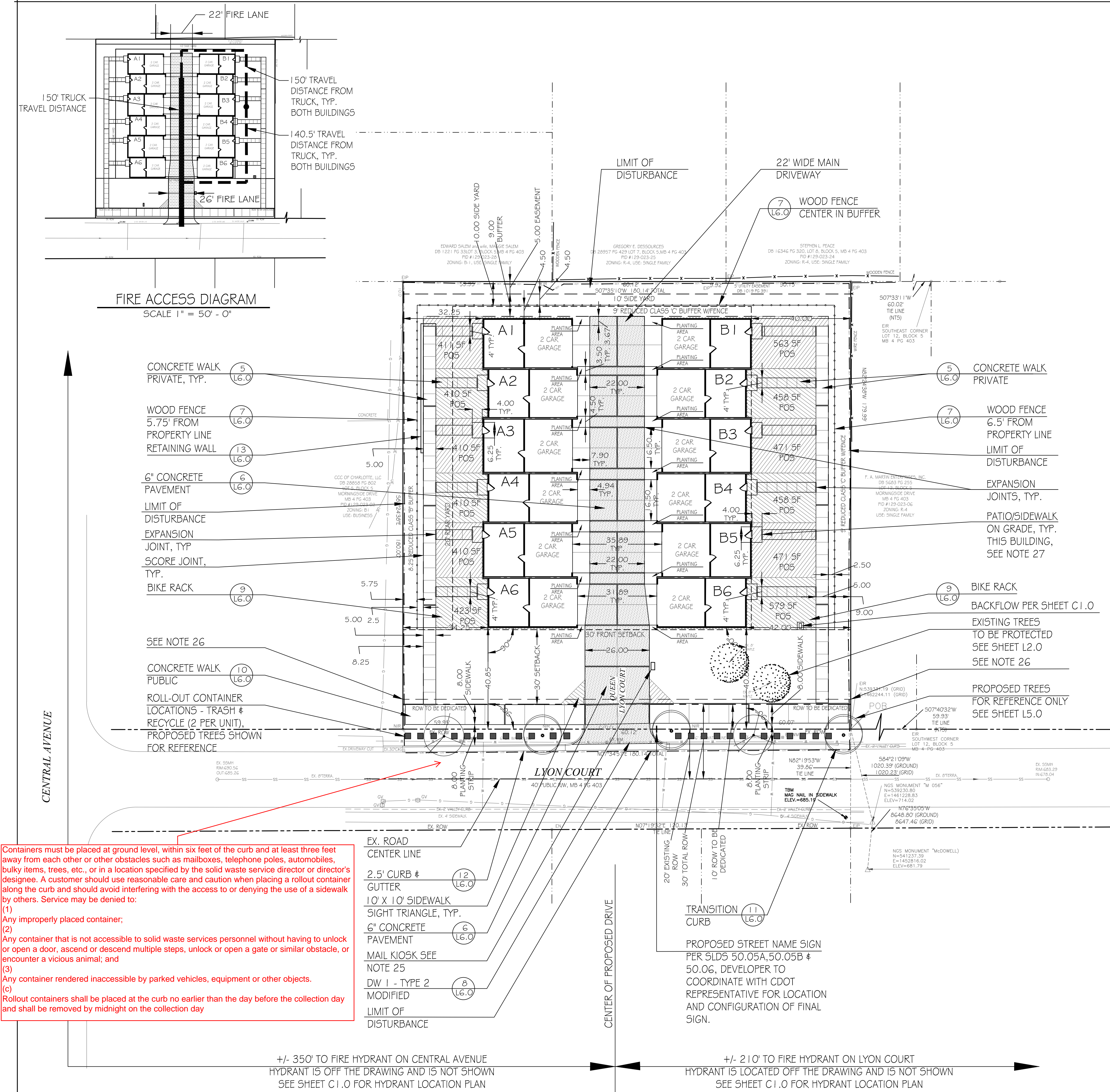
CDOT

APPROVED

NOTE: THIS PLAN APPROVAL DOES NOT  
INCLUDE COMMERCIAL ZONING. ALL BUILDING  
PERMITS AND ZONING APPROVALS CAN BE  
OBTAINED AT MECKLENBURG COUNTY CODE  
ENFORCEMENT. PLEASE CALL CTAC AT  
704-336-3829 FOR MORE INFORMATION.







Containers must be placed at ground level, within six feet of the curb and at least three feet away from each other or other obstacles such as mailboxes, telephone poles, automobiles, bulky items, trees, etc., or in a location specified by the solid waste service director or director's designee. A customer should use reasonable care and caution when placing a rollout container along the curb and should avoid interfering with the access to or denying the use of a sidewalk by others. Service may be denied to:

- (1) Any improperly placed container;
- (2) Any container that is not accessible to solid waste services personnel without having to unlock or open a door, ascend or descend multiple steps, unlock or open a gate or similar obstacle, or encounter a vicious animal; and
- (3) Any container rendered inaccessible by parked vehicles, equipment or other objects.

(c) Rollout containers shall be placed at the curb no earlier than the day before the collection day and shall be removed by midnight on the collection day

## ZONING CODE SUMMARY:

PROJECT NAME: MORNINGSIDE MEWS - PHASE ONE

PROPERTY OWNER: THE DRAKEFORD COMPANY (PARCELS UNDER CONTRACT) PHONE: 704-344-0332

OWNER ADDRESS: 1914 Brunswick Avenue, Suite 1A Charlotte, NC 28207

DEVELOPMENT DATA: SITE WORK TO BE PERFORMED BY THE DRAKEFORD CO. - TOWNHOUSES TO BE DEVELOPED BY RYAN HOMES

PLANS PREPARED BY: WIRTH & ASSOCIATES, INC. PHONE: 704-375-1588

PROJECT TIME TABLE: APRIL 1, 2016 TO JULY 1, 2017

ZONING: B-1 & O-2 JURISDICTION: CITY OF CHARLOTTE

TAX PARCEL NUMBERS: 129-023-03, 129-023-04, 129-023-05

PROPOSED USE: PLANNED MULTI-FAMILY - SINGLE FAMILY ATTACHED FOR SALE NUMBER OF UNITS/SUITES: 12

MAX. RESIDENTIAL DENSITY: 22 UNITS/AC FOR BOTH B-1 & O-2 PROPOSED DENSITY: 17.14 UNITS/AC

RESIDENTIAL UNITS ALLOWED: 15 UNITS

LOT SIZE: 0.70 ACRES (30,623 SF) NET DEDICATED ROW

REQUIRED OPEN SPACE: 40% (0.28 AC) PROVIDED OPEN SPACE: 45% (0.32 AC)

REQUIRED PRIVATE OPEN SPACE: 400 SF PER UNIT PROVIDED PRIVATE OPEN SPACE: 400 SF MIN. PER PLAN

PROPOSED IMPERVIOUS AREA: 0.38 AC (16,534 SF) DENIED AREA: 0.75 ACRES

BUILDING HEIGHT: MAX. ALLOWED HEIGHT 40' PROPOSED BUILDING HEIGHT: 38' - 8 1/2"

REQUIRED TREE SAVE: 0.70 (TOTAL SITE) X .15 = 0.10 AC/4,356 SF

PROVIDED TREE SAVE: OWNER TO USE BUY OUT OPTION AS STATED IN THE TREE ORDINANCE TO SATISFY THE REQUIRED TREE SAVE

YARD REQUIREMENTS:

SETBACK: 30' from RIGHT OF WAY TO BE DEDICATED - PER SECTION 12.102(1)

SIDE YARD: 10 FT. REAR YARD: 40 FT/ADJ. TO RES. - 20FT/ADJ. TO BUSINESS

BUFFERS - ABUTTING SINGLE FAMILY USE/ZONING AND BUSINESS ZONING:

REQUIRED: 12' CLASS "C" BUFFER/ADJ. TO RES. - 1/2 22' CLASS "B" BUFFER/ADJ. TO BUSINESS

PROVIDED: 9' REDUCED CLASS "C" WITH FENCE ADJ. TO RES. / 8.25' REDUCED CLASS "B" WITH FENCE/ADJ. TO BUSINESS

PARKING DATA: 1.5 SPACES / PER UNIT

REQUIRED: 12 X 1.5 = 18 PROVIDED: 2 SPACES PER UNIT = 24 - TWO CAR GARAGE PER UNIT

BICYCLE PARKING: REQUIRED: NA PROVIDED: 4 - IN TWO LOCATIONS (TWO EACH)

## GENERAL NOTES:

1. SURVEY DATA HAS BEEN PROVIDED BY R.B. PHARR & ASSOCIATES, AND IS DATED MARCH 25, 2014.
2. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL PROPERTY/ROW LINES AND PHYSICAL ELEMENTS PRIOR TO CONSTRUCTION TO ASSURE THAT ALL WORK IS CONDUCTED ON THE OWNERS PROPERTY AND IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
3. THE OWNER SHALL BE GIVEN A MIN. 24 HOUR NOTICE PRIOR TO BEGINNING CONSTRUCTION. ALL WORK WITHIN STREET RIGHTS OF WAY SHALL BE COORDINATED WITH CDOT AND THE CITY OF CHARLOTTE ENGINEERING.
4. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
5. ALL DIMENSIONS ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH OVERHEAD, AND UNDERGROUND PRIOR TO ANY DEMOLITION OR EARTH MOVING ACTIVITIES. UTILITIES SHOWN ON THESE PLANS MAY OR MAY NOT BE CORRECTLY LOCATED.
7. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
8. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEM, ECT...) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
9. ALL WORK IN THE ROW, SHALL BE PERFORMED IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH). SEE SHEET L2.2 FOR TRAFFIC CONTROL PLAN.
10. TREES WITHIN THE THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT 704-336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT 704-336-6692 FOR REQUIRED PERMITS.
11. SEE SHEET L2.1 FOR INTERSECTION SIGHT DISTANCE PLAN AND PROFILE.
12. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SF OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
13. SEE SHEET L2.2 FOR TRAFFIC CONTROL REQUIREMENTS.
14. IF EXISTING ASPHALT IN FRONT OF NEW CURB AND GUTTER IS IN GOOD CONDITION THE CONTRACTOR SHALL MILL 2" TO A DEPTH OF 1.5" AND OVERLAY WITH 1.5" OF 5F9.5A ASPHALT. AREAS THAT ARE IN POOR CONDITION OR DAMAGED SHALL BE SAW CUT TO 1' FROM FACE OF CURB AND REPAIR FULL DEPTH OF ASPHALT AND BASE AS NEEDED TO MEET CDOT STANDARDS.
15. ALL PORTIONS OF RESIDENTIAL BUILDINGS WILL BE LOCATED WITHIN 400' OF A PUBLIC STREET.
16. ALL BUFFER PLANTING, SCREENING, PERIMETER AND INTERNAL PLANTINGS WILL BE IN ACCORDANCE WITH THE APPROPRIATE ORDINANCE.
17. THIS PROJECT IS IN THE SOUTHEAST CORRIDOR AS DEFINED IN THE TREE ORDINANCE, THE OWNER WILL UTILIZE THE BUY OUT OPTION FOR TREE SAVE UNDER THE TREE ORDINANCE.
18. SOLID WASTE WILL BE HANDLED WITH ROLL OUT CONTAINERS FOR EACH INDIVIDUAL UNIT. SOLID WASTE CONTAINERS WILL BE STORED IN THE GARAGES OF EACH UNIT. SEE PLAN FOR STREET LAYOUT OF ROLL OUT CONTAINERS. BOTH SOLID WASTE AND RECYCLE CONTAINERS ARE SHOWN.
19. THIS SITE IS LESS THAN 1 ACRE AND WITHIN THE DISTRESSED BUSINESS DISTRICT AS DEFINED IN THE POST CONSTRUCTION ORDINANCE (PCO). DEVELOPER TO USE THE PAYMENT IN LEIU OPTION AS ALLOWED BY THE PCO TO SATISFY PCO REQUIREMENTS.
20. SETBACKS WILL BE ESTABLISHED FROM THE RIGHT OF WAY AS ALLOWED BY THE ORDINANCE AND IN ACCORDANCE WITH SECTION 12.102(1).
22. LAND WILL BE SOLD WITH THE UNITS EACH UNIT WILL HAVE A MINIMUM 400' PRIVATE OPEN SPACE (POS) AS SHOWN ON THE PLAN.
23. WATER AND SEWER WILL BE CONNECTED TO PUBLIC FACILITIES IN ACCORDANCE WITH CMU REQUIREMENTS AND PER SHEET C1.0.
24. THE MAIL KIOSK TO BE PROVIDED BY THE DEVELOPER. DEVELOPER TO COORDINATE WITH THE POST OFFICE AND OBTAIN APPROVAL FOR TYPE OF BOX AND LOCATION. CONTRACTOR TO INSTALL.
25. ALL PROPOSED UTILITIES WILL BE UNDERGROUND.
26. DEVELOPER TO PROVIDE A 2' SIDEWALK/UTILITY EASEMENT BEHIND SIDEWALK. EASEMENT TO BE INCLUDED ON FINAL PLAT.
27. ALL PATIOS AND WALKS AT THE FRONT OF BUILDING B SHALL BE AT GRADE, NO STEPS WILL BE ALLOWED.

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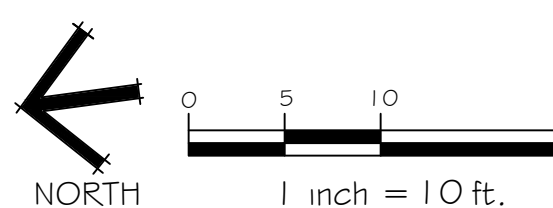
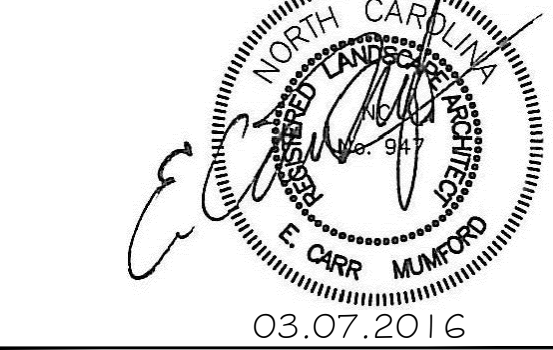
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SEAL:



DRAWN BY: ECM  
CHECKED BY: ECM  
SCALE: 1"=20'  
DATE: 12.21.2015

REVISIONS:

NO: DATE: DESCRIPTION: BY:  
1. 03.07.16 PER CITY COMMENTS ECM

SHEET TITLE:

SITE PLAN

SHEET NO.:

L3.0